

0 1/2" 1" 2"

PERKINS+WILL

IVY ON THE PARK

LOT 8

DEVELOPMENT PERMIT RE-SUBMISSION

2018-03-02



3/7/2018 11:44:49 AM
C:\Temp\A\UBC Lot 8 DDP Master_abdulhishri

PROJECT STATISTICS

| | | |
|--|--|------------------|
| SITE AREA | 63,150sf (0.5868ha) | |
| ZONING | SC3B - WEBBROOK PLACE NEIGHBOURHOOD PLAN | |
| PERMITTED USES | ALLOWED | PROPOSED |
| TOWN HOUSING | YES | YES |
| TOWN HOUSING, STACKED | YES | YES |
| APARTMENT HOUSING | YES | YES |
| HOME BUSINESS | YES | NO |
| DEVELOPMENT REGULATIONS | ALLOWED | PROPOSED |
| FRONT YARD SETBACK | 2.5m MIN | 2.5m |
| SIDE YARD SETBACK | 2.5m MIN | 2.5m |
| REAR YARD SETBACK | 2.5m MIN | 2.5m* |
| TOWER SEPARATION | 30m MIN | 31.89m |
| BUILDING HEIGHT TOWER | 22 LEVELS (65m) | 22 (64.95m) |
| BUILDING HEIGHT NORTH TH BLOCK | 4.5 | 4.5 |
| BUILDING HEIGHT SOUTH TH BLOCKS | 4.5 | 2.5 |
| FSR | 3.5 (221,025sf) | 3.5 (221,014sf) |
| AMENITY AREA EXCLUSION | 10% OF GFA (23,428sf) | 3,755sf |
| SITE COVERAGE | 50% (31,575sf) | 39.0% (24,660sf) |
| OTHER REGULATIONS | REQUIRED | PROPOSED |
| BUILDING AND SITE DESIGN COMPLIANCE WITH SECTION 3.5 WEBBROOK PLACE NEIGHBOURHOOD PLAN | YES | YES |
| COMPLIANCE WITH SECTION 7.0 OF THE DEVELOPMENT HANDBOOK | YES | YES |

* REFER TO SHEET DP-006 - DP-008 FOR REQUESTED VARIANCES AND RATIONALE

PROJECT OVERVIEW

LOT 8 (IVY ON THE PARK) consists of a 22 storey residential tower on the east edge of the site, a 4 storey stacked townhouse block along Village Walk, and 2 storey townhouses long Birney Avenue. The tower contains 159 homes, the majority of which are two and three bedroom suites. There are 14 one-bedroom units on levels 3-16. There are four penthouse suites on level 22.

The four-storey stacked townhouse block contains 16 units. Levels 1 and 2 contain eight through-unit townhomes, while eight shallow-wide townhomes are stacked above on levels 3 and 4. These units have access to generous roof top terraces, while the at-grade units have patios fronting Village Walk and the shared courtyard to the south. The two-storey townhouse block along Birney has 7 units, each with a private roof deck and at-grade patios along the north and south.

There are three levels of underground parking to provide resident and visitor parking, as well as storage and bicycle parking.

DESIGN POLICY COMPLIANCE

IVY ON THE PARK is designed to conform with the Westbrook Place Neighbourhood Plan, respect the neighbouring residential developments and create a dialogue with the natural setting of the forest adjacent. The sites along Birney are important in that they have the responsibility of bridging the urban forms of the street grid with the adjacent natural setting of the Pacific Spirit Park forest. We try to negotiate this dialogue with both the architecture and the landscape design.

INDEX OF DRAWINGS

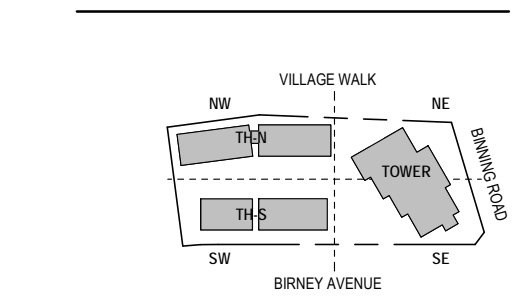
| SHEET NUMBER | SHEET NAME | 2017-12-06 PRE-APP SUBMISSION | 2018-01-23 DP SUBMISSION | 2018-03-02 DP RE-SUBMISSION |
|--------------|---|-------------------------------|--------------------------|-----------------------------|
| DP-000 | COVER SHEET | • | • | • |
| DP-001 | INDEX OF DRAWINGS / PROJECT STATISTICS / TEAM | • | • | • |
| DP-002 | PROJECT RATIONALE - DESIGN | • | • | • |
| DP-003 | PROJECT RATIONALE - CPTED / SUSTAINABILITY | • | • | • |
| DP-004 | PROJECT RATIONALE - BUILDING MATERIALS & PRECEDENTS | • | • | • |
| DP-005 | PROJECT RATIONALE - SCHEMATIC DETAILS & MATERIALS | • | • | • |
| DP-006 | VARIANCE - LANDSCAPING OVER RAMP AT SETBACK | • | • | • |
| DP-007 | VARIANCE - CANOPIES AND BALCONIES OVER SETBACK | • | • | • |
| DP-008 | VARIANCE - ENTRANCE CANOPY | • | • | • |
| DP-011 | CODE COMPLIANCE DATA - PARKING / BICYCLE STORAGE STALL DIMENSIONS | • | • | • |
| DP-041 | SITE CONTEXT - VIEW | • | • | • |
| DP-042 | SITE CONTEXT - PHOTOS | • | • | • |
| DP-043 | SITE CONTEXT - STREET ELEVATIONS | • | • | • |
| DP-044 | SITE CONTEXT - PLAN | • | • | • |
| DP-051 | SITE PLAN | • | • | • |
| DP-052 | SITE SURVEY | • | • | • |
| DP-053 | BASE SURFACE CALCULATION PLAN | • | • | • |
| DP-054 | SHADOW STUDY | • | • | • |
| DP-061 | UTILITY PLAN - SANITARY | • | • | • |
| DP-062 | UTILITY PLAN - STORM | • | • | • |
| DP-063 | UTILITY PLAN - WATER | • | • | • |
| DP-064 | UTILITY PLAN - GAS | • | • | • |
| DP-065 | UTILITY PLAN - ELECTRICAL | • | • | • |
| DP-066 | UTILITY PLAN - STREET LIGHTS | • | • | • |
| DP-101 | FLOOR PLAN - PARKING - LEVEL P1 | • | • | • |
| DP-102 | FLOOR PLAN - PARKING - LEVEL P2 | • | • | • |
| DP-103 | FLOOR PLAN - PARKING - LEVEL P3 | • | • | • |
| DP-111 | FLOOR PLAN - TOWNHOUSE - LEVEL 01 | • | • | • |
| DP-112 | FLOOR PLAN - TOWNHOUSE - LEVEL 02 | • | • | • |
| DP-113 | FLOOR PLAN - TOWNHOUSE - LEVEL 03 | • | • | • |
| DP-114 | FLOOR PLAN - TOWNHOUSE - LEVEL 04 | • | • | • |
| DP-115 | FLOOR PLAN - TOWNHOUSE - LEVEL 05 | • | • | • |
| DP-121 | FLOOR PLAN - TOWER - LEVEL 01 | • | • | • |
| DP-122 | FLOOR PLAN - TOWER - LEVEL 02 | • | • | • |
| DP-123 | FLOOR PLAN - TOWER - LEVELS 03-16 | • | • | • |
| DP-124 | FLOOR PLAN - TOWER - LEVELS 17-21 | • | • | • |
| DP-125 | FLOOR PLAN - TOWER - LEVEL 22 | • | • | • |
| DP-126 | FLOOR PLAN - TOWER - LEVEL ROOF | • | • | • |
| DP-127 | FLOOR PLAN - TOWER - LEVEL ELEV MACHINE ROOM | • | • | • |
| DP-301 | NORTH ELEVATION | • | • | • |
| DP-302 | SOUTH ELEVATION | • | • | • |
| DP-303 | WEST ELEVATION | • | • | • |
| DP-304 | EAST ELEVATION | • | • | • |
| DP-305 | TOWNHOUSE ELEVATIONS | • | • | • |
| DP-306 | TOWER NORTH & SOUTH ELEVATIONS | • | • | • |
| DP-307 | TOWER WEST & EAST ELEVATIONS | • | • | • |
| DP-350 | BUILDING SECTIONS | • | • | • |
| DP-351 | BUILDING SECTIONS | • | • | • |
| DP-352 | BUILDING SECTIONS | • | • | • |
| DP-401 | PERSPECTIVE VIEW | • | • | • |
| DP-402 | PERSPECTIVE VIEW | • | • | • |
| DP-403 | PERSPECTIVE VIEW | • | • | • |
| DP-404 | PERSPECTIVE VIEW | • | • | • |
| DP-405 | PERSPECTIVE VIEW | • | • | • |
| DP-406 | PERSPECTIVE VIEW | • | • | • |
| DP-407 | PERSPECTIVE VIEW | • | • | • |
| FSR-001 | FSR SUMMARY SHEET | • | • | • |
| FSR-111 | FSR PLAN - TOWNHOUSES - LEVEL 01 | • | • | • |
| FSR-112 | FSR PLAN - TOWNHOUSES - LEVEL 02 | • | • | • |
| FSR-113 | FSR PLAN - TOWNHOUSES - LEVEL 03 | • | • | • |
| FSR-114 | FSR PLAN - TOWNHOUSES - LEVEL 04 | • | • | • |
| FSR-115 | FSR PLAN - TOWNHOUSES - LEVEL 05 | • | • | • |
| FSR-121 | FSR PLAN - TOWER - LEVEL 01 | • | • | • |
| FSR-122 | FSR PLAN - TOWER - LEVEL 02 | • | • | • |
| FSR-123 | FSR PLAN - TOWER - LEVELS 03-16 | • | • | • |
| FSR-124 | FSR PLAN - TOWER - LEVELS 17-21 | • | • | • |
| FSR-125 | FSR PLAN - TOWER - LEVEL 22 | • | • | • |

PROJECT TEAM

| | |
|-------------------------------------|--|
| DEVELOPER | WALL FINANCIAL CORPORATION 1010 BURRARD STREET VANCOUVER, BC, V6Z 2R9 |
| CONTACT: | BRUNO WALL, PRESIDENT PHONE: 604.893.7137 |
| ARCHITECTURE | PERKINS + WILL CANADA ARCHITECTS CO. 1220 HOMER STREET VANCOUVER, BC, V6B 2Y5 |
| CONTACT: | DAVID DOVE, MAIBC, LEED AP PHONE: 604.484.1652 |
| CONTACT: | JÖRK GRÄVENSTEIN, LEED AP PHONE: 604.484.1594 |
| LANDSCAPE | HAPA COLLABORATIVE 403 - 375 WEST 5TH AVENUE VANCOUVER, BC, V5Y 1J6 |
| CONTACT: | JOSEPH FRY, BCSLA, CSLA, ASLA PHONE: 604.909.4150 |
| CONTACT: | SARAH SIEGEL, BCSLA, CSLA, ASLA PHONE: 604.909.4150 |
| STRUCTURE | GLOTMAN SIMPSON CONSULTING ENGINEERS 1661 WEST 5TH AVENUE VANCOUVER, BC, V6J 1N5 |
| CONTACT: | ANTHONY EL-ARAJ, P.ENG, STRUCT ENG, PE, SE, LEED AP PHONE: 604.484.2294 |
| MECHANICAL / ENERGY MODELING | WILLIAMS ENGINEERING CANADA 280 - 1130 WEST PENDER STREET VANCOUVER, BC, V6E 4A4 |
| CONTACT: | PETER KUO, P. ENG, PMP, LEED AP BD+C PHONE: 604.689.1915 |
| ELECTRICAL | NEMETZ (S/A) & ASSOCIATES LTD. 2009 W 4TH AVENUE VANCOUVER, BC, V6J 1N3 |
| CONTACT: | GERRY EWERT, PROJECT MANAGER PHONE: 604.736.6562 |
| INTERIORS | BYU DESIGN UNIT 307, 375 WEST 5TH AVE VANCOUVER, BC, V5Y 1J6 |
| Contact: | Ada Bonini, RID IDC IIDA LEED AP Phone: 604.801.5330 x 216 |
| SUSTAINABILITY / REAP | E3 ECO GROUP INC 230 - 5689 BYRNE ROAD BURNABY, BC, V5J 3J1 |
| CONTACT: | TROY GLASNER, LEED AP BD+C, CEM, CEA, CSBA PHONE: 604.874.3715 X 1765 |
| BUILDING ENVELOPE | BC BUILDING SCIENCE LTD. 611 BENT COURT NEW WESTMINSTER, BC, V3M 1V3 |
| CONTACT: | CHAD CRANSWICK PHONE: 604.520.6456 X 114 |
| CIVIL | WSP CANADA INC. SUITE 300, 65 RICHMOND STREET NEW WESTMINSTER, BC, V3L 5P5 |
| CONTACT: | BRIAN ROONEY, MANAGER PHONE: 604.525.4651 |
| SURVEYOR | WSP CANADA INC. SUITE 300, 65 RICHMOND STREET NEW WESTMINSTER, BC, V3L 5P5 |
| CONTACT: | BERT HOL, SURVEYOR PHONE: 604.527.6061 |
| GEOTECHNICAL | GEOPACIFIC CONSULTANTS LTD. SUITE 215, 1200 73RD AVE W VANCOUVER, BC, V6P 6G5 |
| CONTACT: | MATT KOKAN, GEOTECHNICAL ENGINEER PHONE: 604.439.0922 |
| ARBORIST | DIAMOND HEAD CONSULTING LTD. 569 COMMERCIAL STREET VANCOUVER, BC, V5N 4E8 |



DEVELOPMENT PERMIT RE-SUBMISSION
2018-03-02



IVY ON THE PARK
LOT 8

| | | |
|---|----------------------------------|------------|
| 1 | PRE-OP APPLICATION SUBMISSION | 2017-12-06 |
| 2 | DEVELOPMENT PERMIT SUBMISSION | 2018-01-23 |
| 3 | DEVELOPMENT PERMIT RE-SUBMISSION | 2018-03-02 |

INDEX OF DRAWINGS / PROJECT STATISTICS / TEAM

DP-001

C:\Temp\A-UBC_Cat&DP_Master_ghreille.rvt

3/8/2018 11:15:47 AM

DESIGN RATIONALE

TOWER SITING

The tower is designed to fit in as part of the Birning street wall, and at the same time creates a counterpoint to the organic forest across the street. The 22 storey tower is rotated off of the street geometry to allow neighbouring towers to maintain their north and south views, to afford greater views past our tower towards the forest for all developments west of our site, and to create a more relaxed and organic foil to Pacific Spirit Park.

SITE ACCESS

With the rotation of the tower and the geometry of the townhome blocks, the resulting opening in the site became the natural location for vehicular access and the tower front door. The parking ramp is located on Birning for both pragmatic planning reasons, and to allow the Birney entrance to be a welcoming, generous landscaped foreground to both built components of the development.

TOWER MASSING

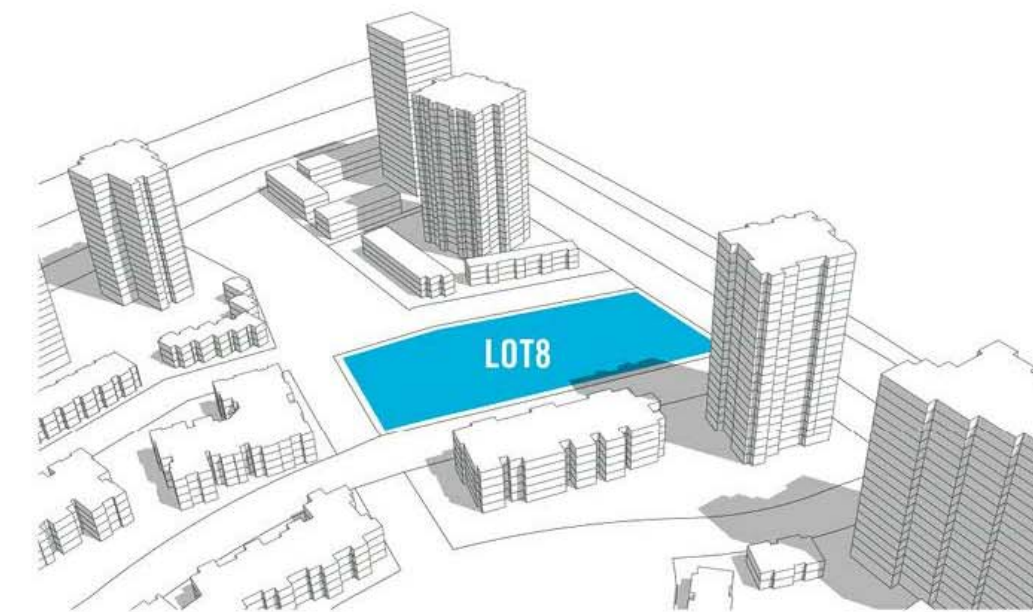
The south-west facade of the tower has multiple steps creating four vertical planes, breaking down the massing and creating a vertical expression. The stepping allows the tower to naturally taper to its southern extent reducing any appearance of bulk and creating an even stronger vertical reading from the south. The generous balconies are tied to the building enclosure by a continuous horizontal ribbon of metal panel, resulting in a more calm and elegant architectural expression.

TOWNHOUSES

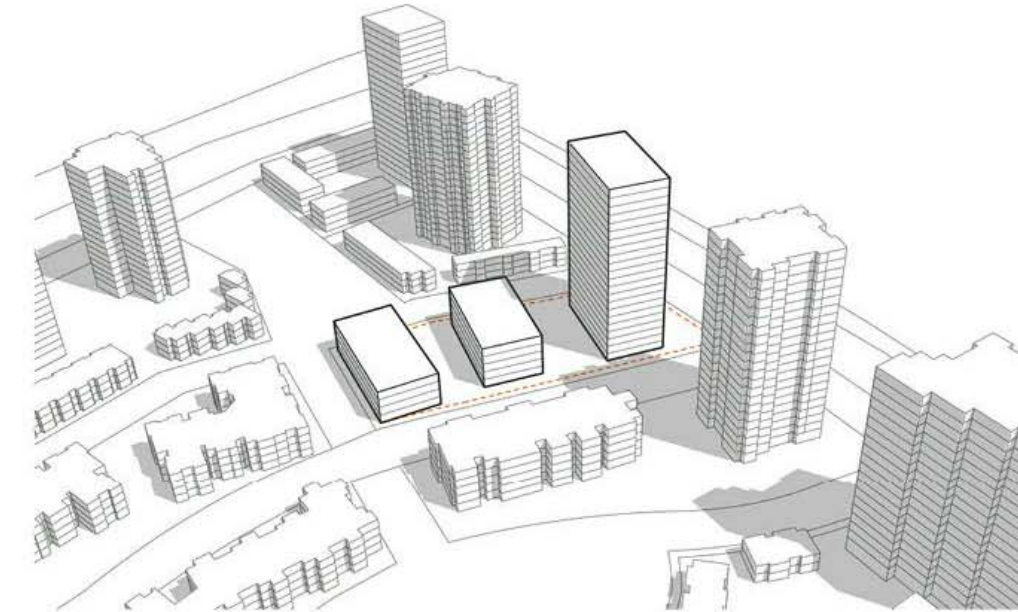
Townhouses are oriented east-west across the larger western portion of the site and have front doors facing both Birney Avenue and Village Lane. The ground floor units backdoors open onto an enclosed semi-private landscaped courtyard for the shared enjoyment of the townhome residents. The Birney townhomes are split midway along their length to provide access to the rear units from Birney Avenue, this separation is telegraphed onto the northern townhome bar at which point the northern bar folds to reflect the tapering of the site. This is also the entry point for the upper townhomes in this stacked townhome building.

The massing of the Birney townhomes ensures maximum solar penetration to the internal courtyard but with generous floor to floor heights and a roof deck trellis structure. The 2½ storey massing of this block complements the midrise forms adjacent and across from our site, and the stacked townhomes along Village Lane have an appropriate stature to complement the existing 4 storey midrise development to the west of our site and to provide enclosure to the southern edge of Khorana Park.

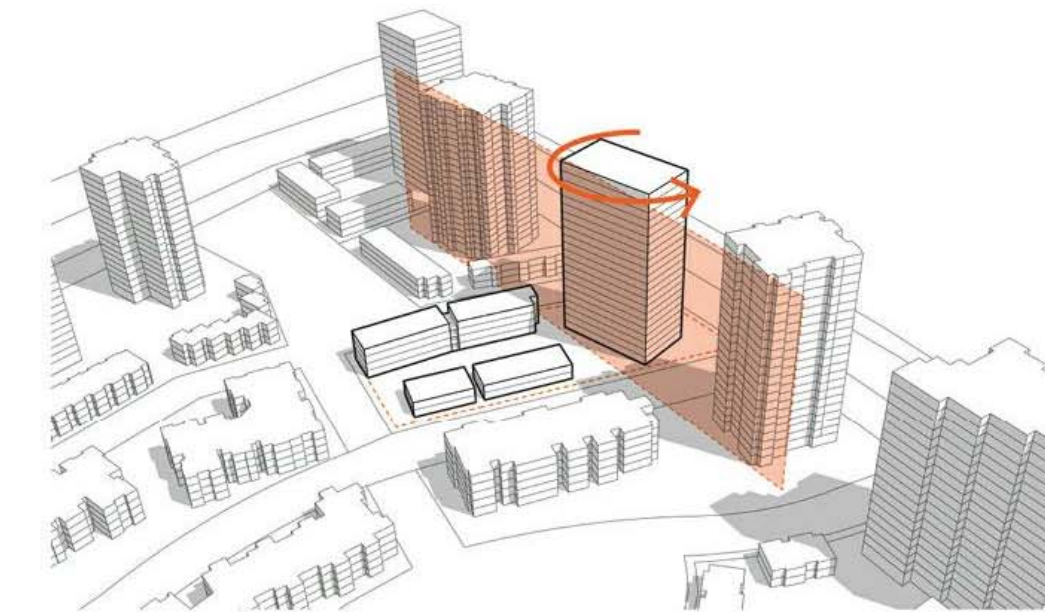
1 SITE



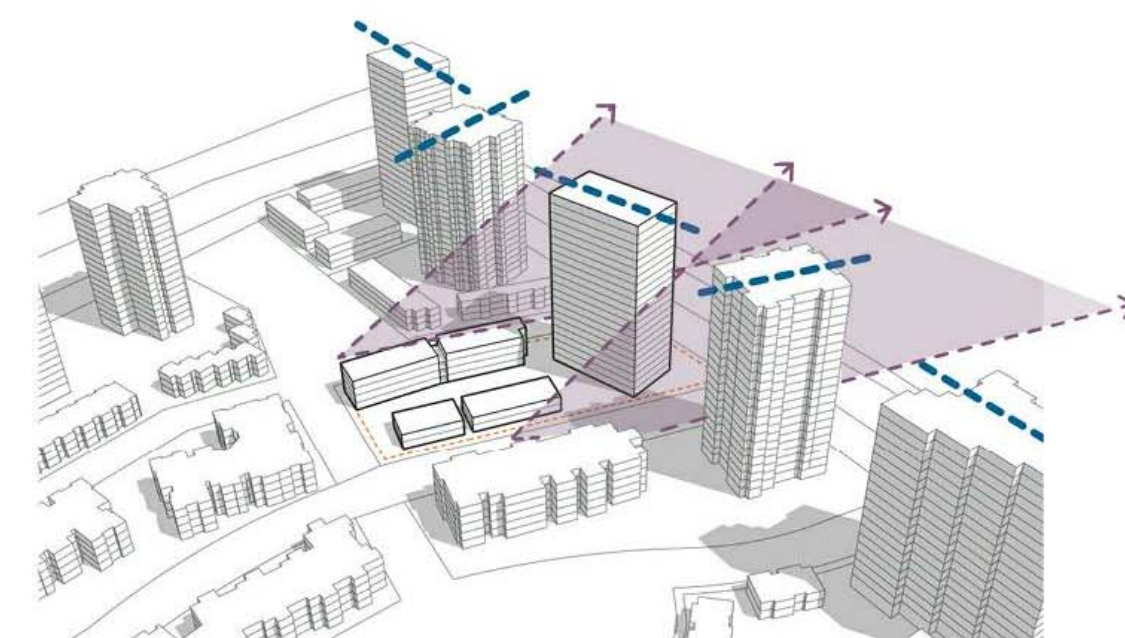
2 GENERIC MASSING



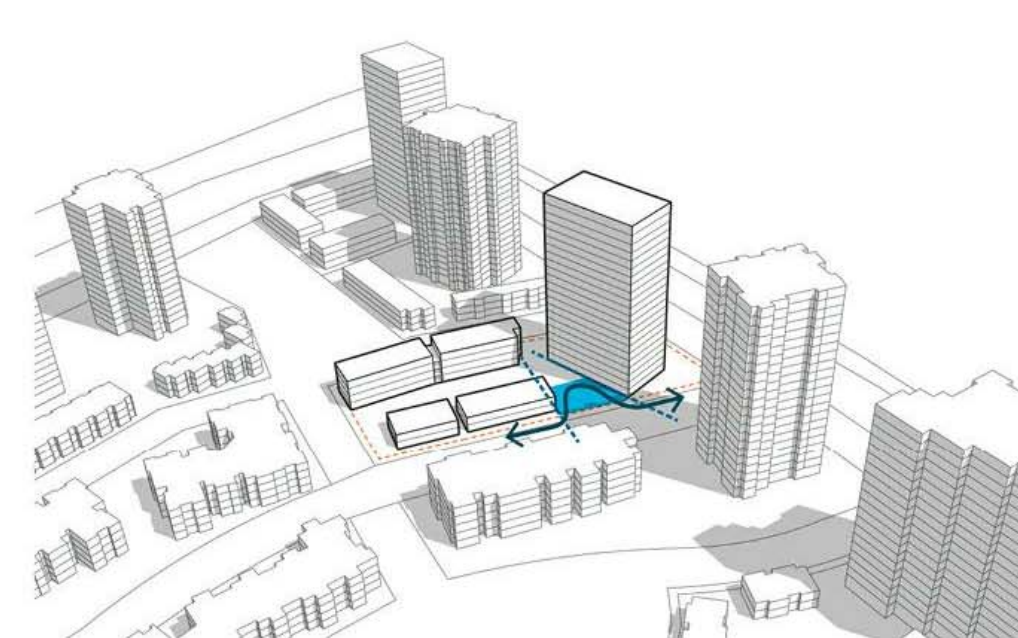
3 ROTATE TOWER TO ALIGN WITH CONTEXT



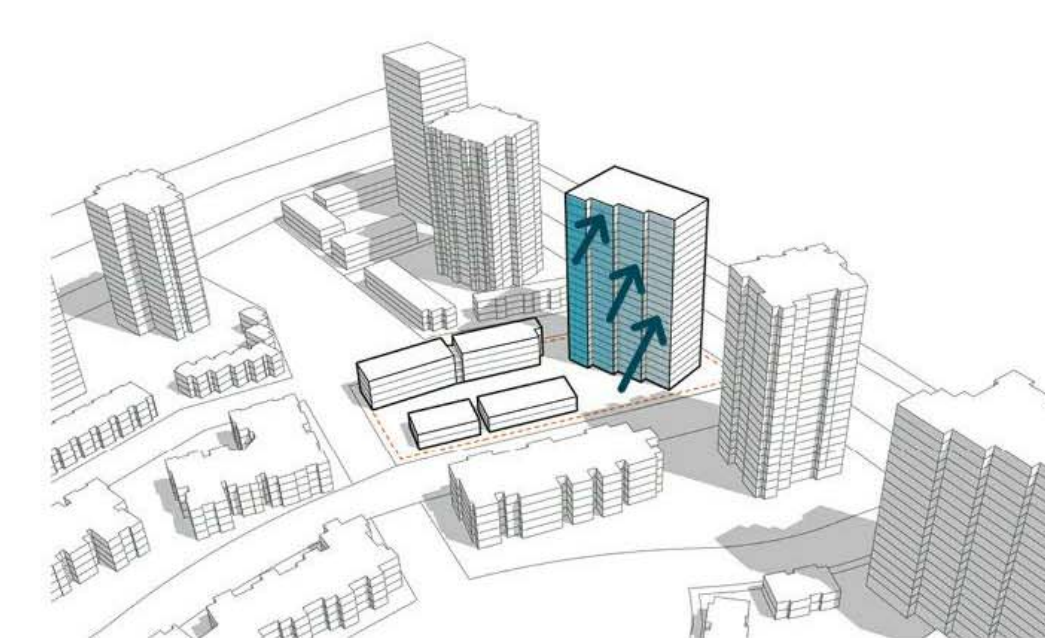
4 CREATE COMPOSITION ALONG EASTERN EDGE + ALLOW VIEWS BETWEEN



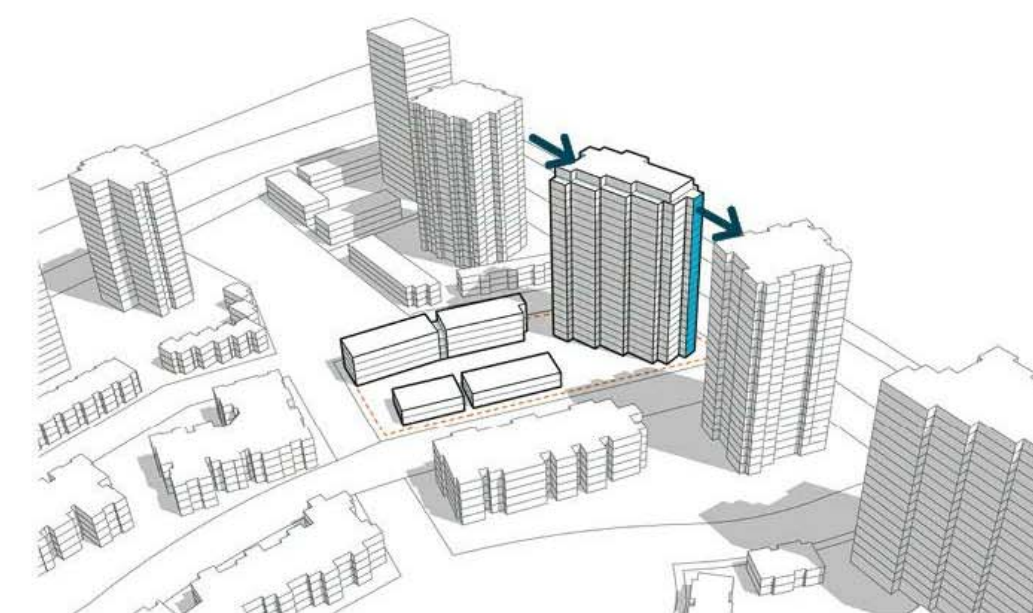
5 CREATE GENEROUS ENTRY COURT AND FRONT DOOR



6 STEP MASSING TO MAINTAIN VIEWS, CREATE A VERTICAL READING, ERODE TOWER MASS + CREATE PRIVACY



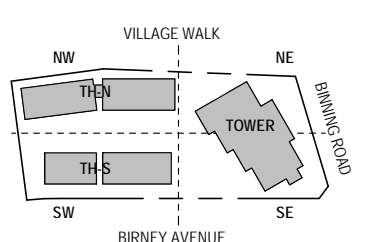
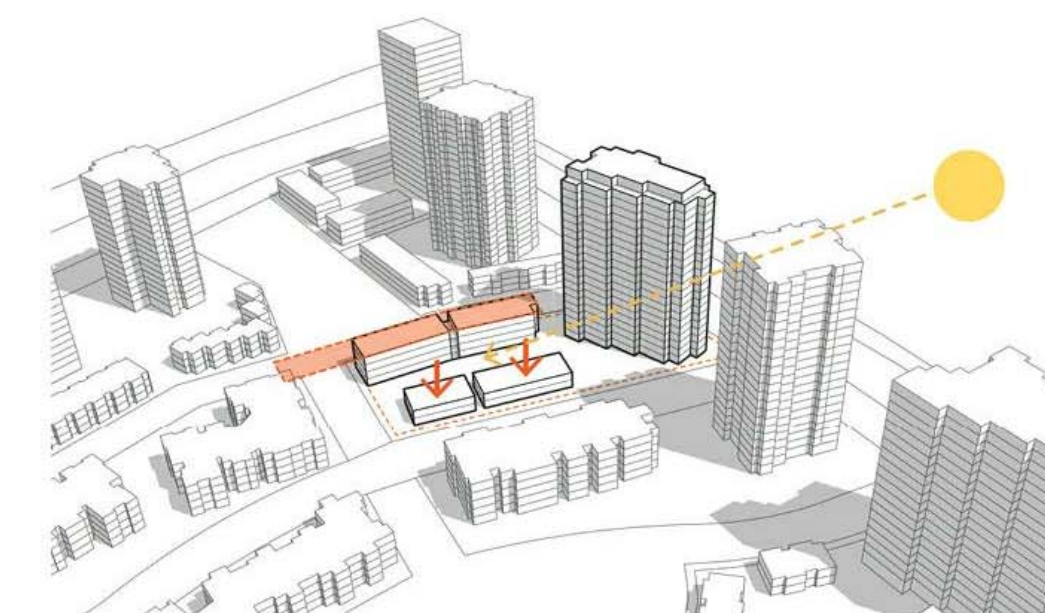
7 PUSH/PULL FACADE TO ARTICULATE MASSING



8 ORIENT TOWNHOMES TO DEFINE STREET EDGE + CREATE COURTYARD



9 SCALE TOWNHOMES TO FIT WITH ADJACENT DEVELOPMENT + ALLOW FOR SOLAR ACCESS



IVY ON THE PARK
LOT 8

1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

PROJECT RATIONALE - DESIGN

DP-002

COPYRIGHT © 2018 PERKINS+WILL

CPTED

DESIGN + STRATEGIES

The massing, design and orientation of both the tower, townhomes and landscape are designed with the intention to implicitly enhance personal safety, and provide clear delineations between public and private spaces. Some of the CPTED principles embedded in the design for LOT 8 are outlined below:

- 1 • Building entrances are designed to be legible from the street through lighting, canopies and material choice.
- Public realm elements such as pathways, gates, lighting and landscaping are used to guide public to and from entrances and exits.
- 2 • Both the tower and townhomes have balconies and windows which provide casual overlook onto public and semi-private spaces on site, including surrounding sidewalks and pathways, and shared outdoor spaces.
- 3 • Design cues such as low fencing, planters, landscape elements and paving materials indicate ownership and intended use, making a distinction between public and private spaces.
- Outdoor spaces will be appropriately lit to provide adequate lighting at night and enhance safety, while minimizing glare and light pollution into adjacent homes.
- 4 • Townhouse facades along Birney and Village Walk incorporate entrances and windows to create a dialogue with the public realm.
- 5 • Patios along streets or public walkways are either elevated slightly or screened with landscaping to provide some privacy while still allowing for casual, eyes-on-the-street surveillance.



SUSTAINABILITY

REAP

IVY ON THE PARK is targeting REAP Gold and has committed to following the guidelines laid out in the REAP checklist in order to achieve an energy efficient and sustainable design.

SUSTAINABLE SITES

Along with providing the required bicycle storage, developing a storm water management plan and other sustainable site design requirements, the project also provides electrical vehicle charging spaces for visitors and for at least 10% of residents. The project also has a separated ramp for cyclists and pedestrians into the parkade, making it easier and more comfortable for non-vehicular users to enter and exit the building.

WATER EFFICIENCY

Along with meeting the mandatory water efficiency requirements, the project will also reduce potable water for irrigation needs by 50% and include some water efficient/low flow fixtures and appliances. The project also will tie into a larger storm water management plan, and features a large water detention tank on site to minimize stormwater runoff. Furthermore, the boundary of the underground parkade has been cut back to allow the planting of mature trees at the south edge of the tower, increasing the site's capability to manage infiltration and deal with stormwater runoff.

ENERGY + ATMOSPHERE

The project will target no more than 50% glazing and use double glazing, sufficient insulation and efficient mechanical systems to ensure the project meets the target 140 kWh/m²/yr target EA Gold Plus.

MATERIALS + RESOURCES

Materials with recycled content will be used in the project and transparency of ingredients will be targeted for at least 10 different building products.

INDOOR ENVIRONMENTAL QUALITY

The project will commit to using low VOC paints and coatings, low-emitting composite wood panels and low-emitting insulation.

CONSTRUCTION

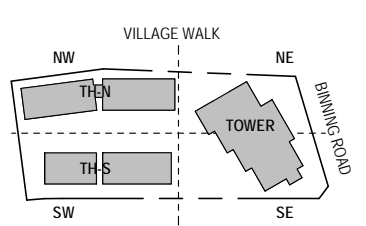
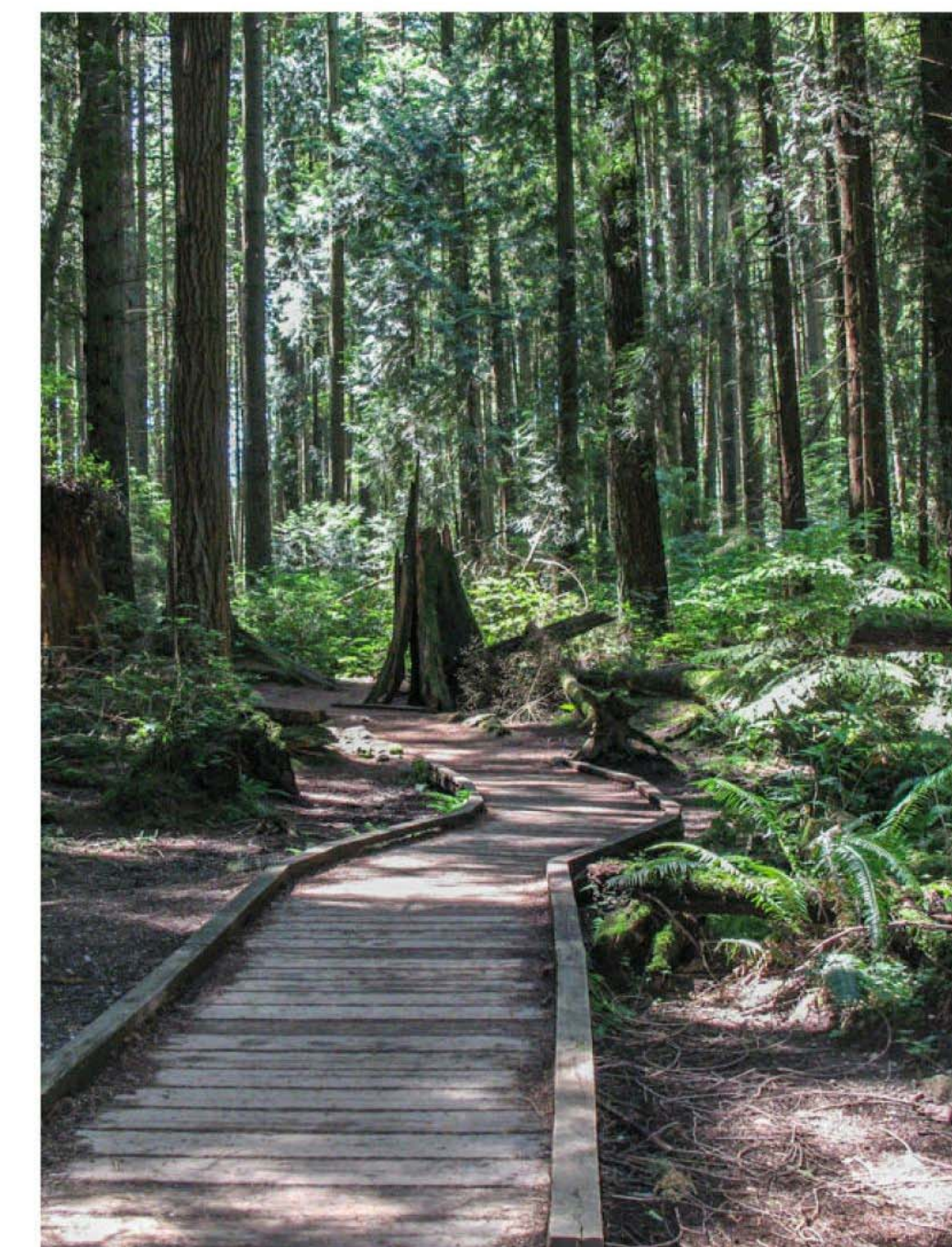
Along with the mandatory requirements, the project will prepare and implement an Indoor Air Quality Management Plan for construction and pre-occupancy.

INNOVATION + DESIGN PROCESS

The project will engage a Green Building Specialist and collaborate with UBC faculty and/or students for future research opportunities.

LANDSCAPE

The landscape vision exists on two levels: one - by creating an ecosystem-inspired sense of place, and, two - by considering programming which enriches the private and communal experience for residents. The landscape is grounded to its location directly adjacent to Pacific Spirit Park primarily through the use of planting. The vegetative strategy suggests a forest edge landscape typology, and aims to integrate passive solutions for runoff mitigation and decreasing irrigation requirements.



IVY ON THE PARK LOT 8

| | |
|-------------------------------------|------------|
| 1. DEVELOPMENT PERMIT SUBMISSION | 2018-01-23 |
| 2. DEVELOPMENT PERMIT RE-SUBMISSION | 2018-03-02 |

PROJECT RATIONALE - CPTED / SUSTAINABILITY

BUILDING MATERIALS & PRECEDENTS

TOWER

The tower expression is a combination of both vertical and horizontal solid elements which support the generally vertical nature of the building massing. The south-west facade's most defining feature is its four vertical planes with a horizontal upstand ribbon which unifies the enclosed and balcony spaces. The horizontal upstand is clad in white metal panel and always terminates into a vertical section of the same material, which is used to delineate the vertical massing planes.

The cladding colours in both the tower and the townhomes forms are selected for their timeless appeal and for their elegant contrast to the colours of nature in which the structures are set. Between the white metal ribbons, the glass is set in dark bronze mullions, and where glass spandrel is introduced in the "glass field", it is twin sealed with a dark grey paint on the third face of the glazing unit, creating a shadow box to allow all glass to read the same and minimize the number of visual elements in the design. With the solid upstand and glazed spandrel panels, the tower has 50/50 ratio of glazed to solid wall.

The location and percentage of vision glass around the building is in direct response to the nature of the views on each elevation. Where we have the largest expanse of glazing, we also have the most generous balconies which provide protection from summer solar gain and the generous glazed elevations of the penthouse level are screened by a rooftop trellis. The glass guardrails for balconies will be clean and minimal to allow for a clear expression of the horizontal metal ribbons.



Poznan Residential Building - Insomnia Architec



The Garden - Eike Becker Architekten



Rothschild Tower - Richard Meier



Othmarschen Park Residential Development - RKW Architektur+Städtebau

TOWNHOUSES

The townhouses in the western portion of the site will have a distinct material palette that compliments the towers but gives the townhouses their own identity as individual homes. Grey brick will be used to bring texture and scale to the tight, tailored façades of the townhomes. Openings in the brick walls will be highlighted by crisp dark aluminum frames providing a striking contrast. At the unit entries, the brick will wrap into the entry alcove with the front door being stained wood and the surrounding wall clad with a matching phenolic composite panel to bring warmth to the material palette and create a connection to the site's West Coast context. Where windows are linked by a metal spandrel panel, the panel will be a ribbed or corrugated metal panel bring texture and depth to the facade. On the two-storey townhouse block along Birney, a metal slat screen element connects the elegant entry canopy up the facade to the roof where it folds back providing the terrace with a trellis, creating shading and privacy for residents on their roof deck.



Core Modern Homes - Batay Csorba Architects



Liverpool 61 Apartments - MMX Architects



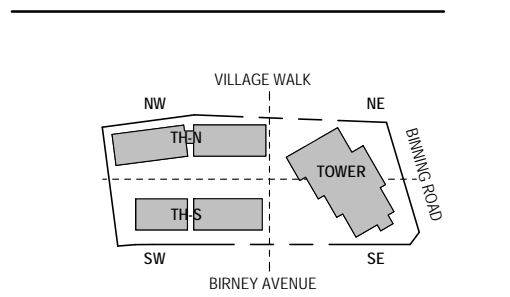
Core Modern Homes - Batay Csorba Architects



Balwyn North - Matyas Architects

The Wall Group

DEVELOPMENT PERMIT
RE-SUBMISSION
2018-03-02

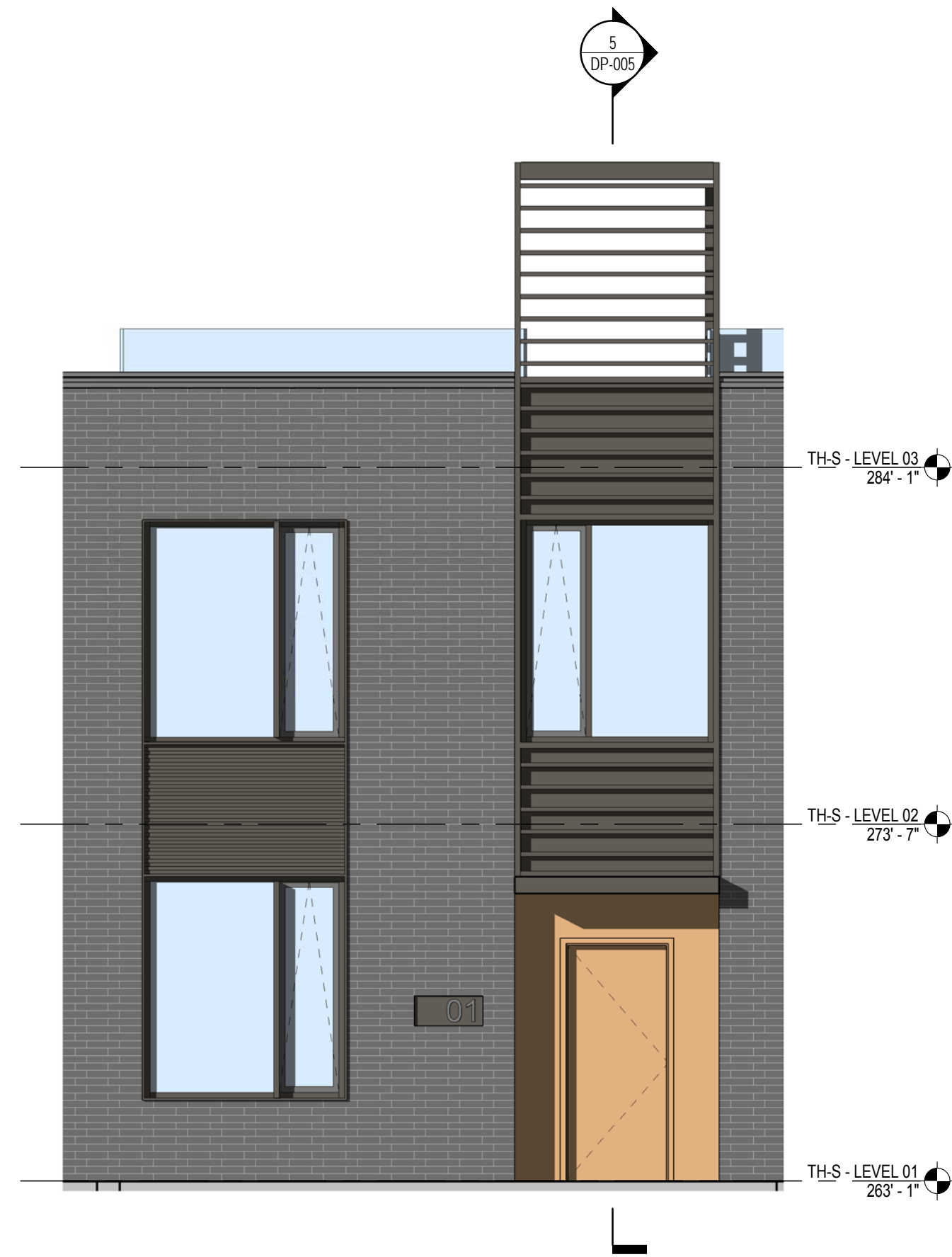


IVY ON THE PARK
LOT 8

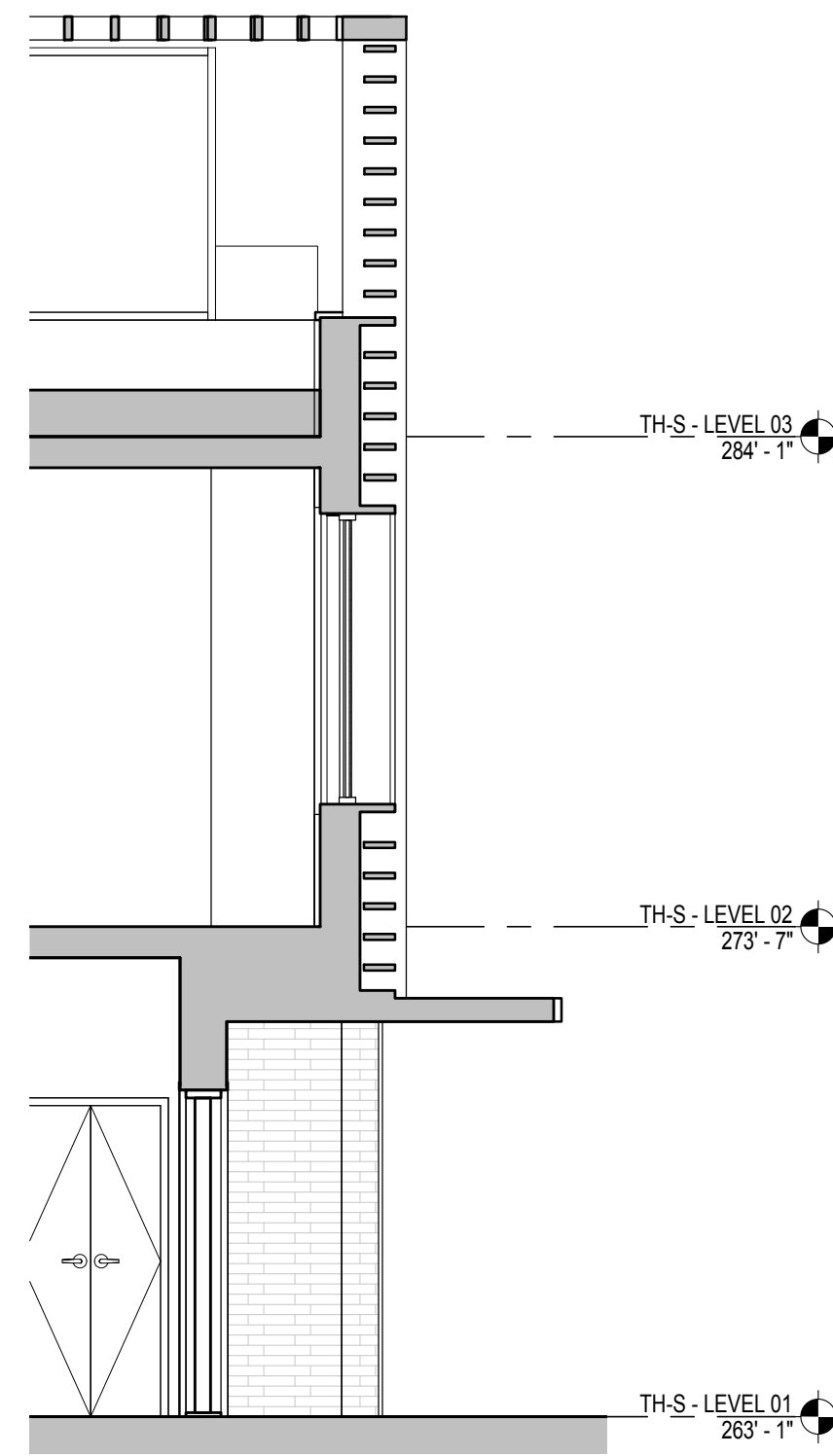
1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

PROJECT RATIONALE -
BUILDING MATERIALS &
PRECEDENTS

DP-004



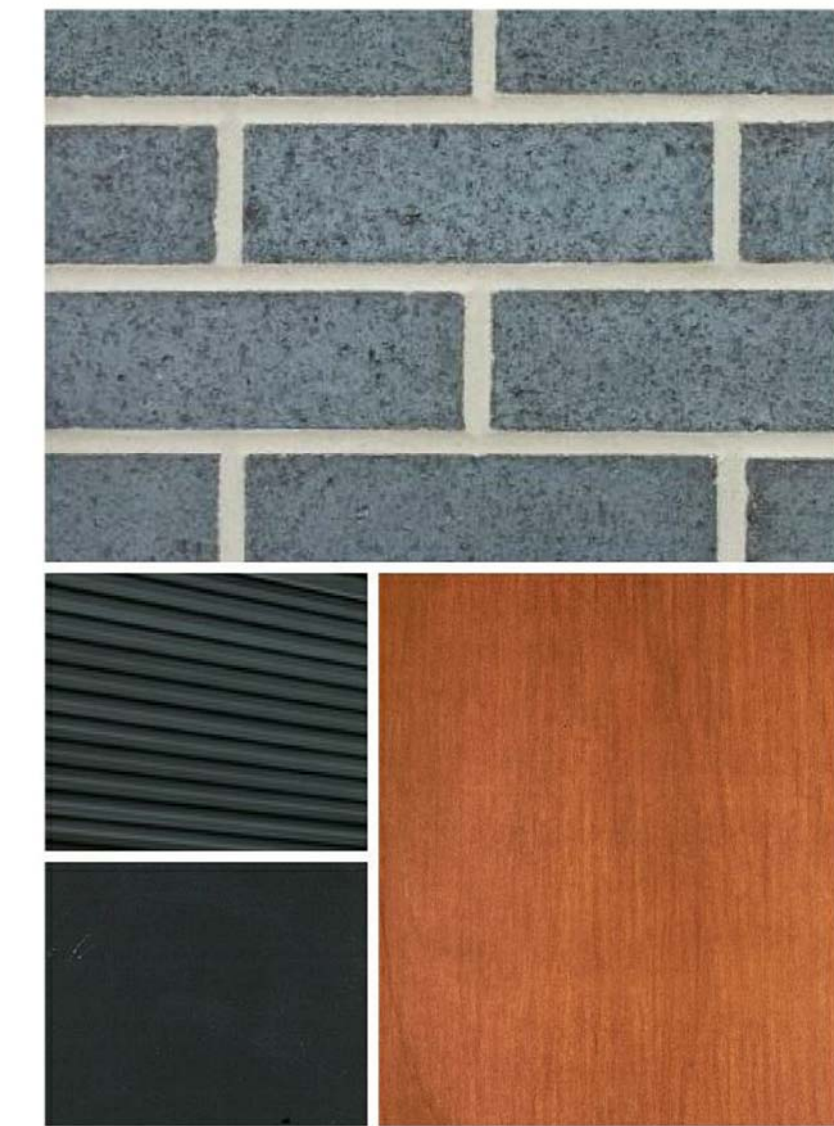
6 TH S TYPICAL ENTRANCE ELEVATION
1/4" = 1'-0"



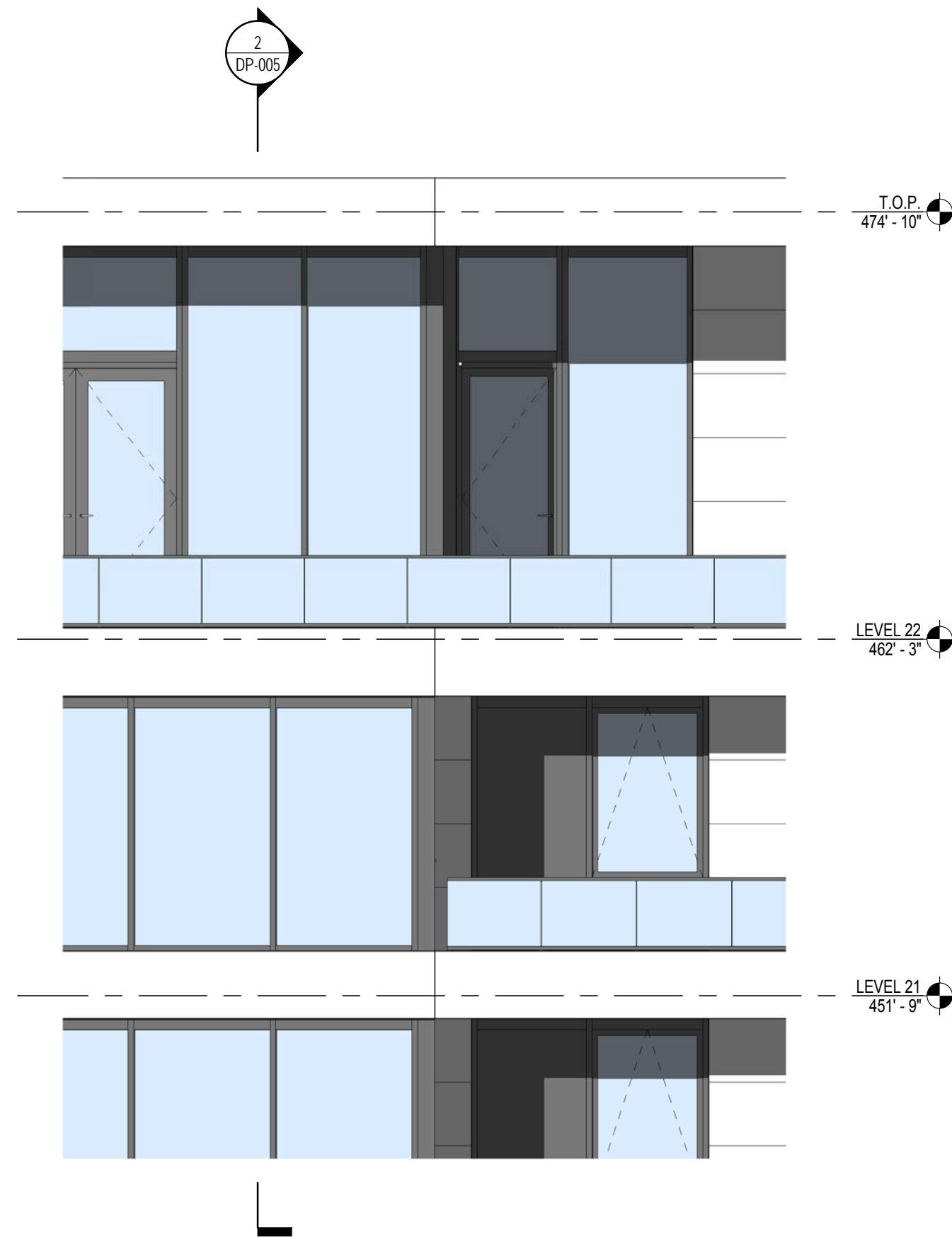
5 TH S TYPICAL ENTRANCE WALL SECTION
1/4" = 1'-0"



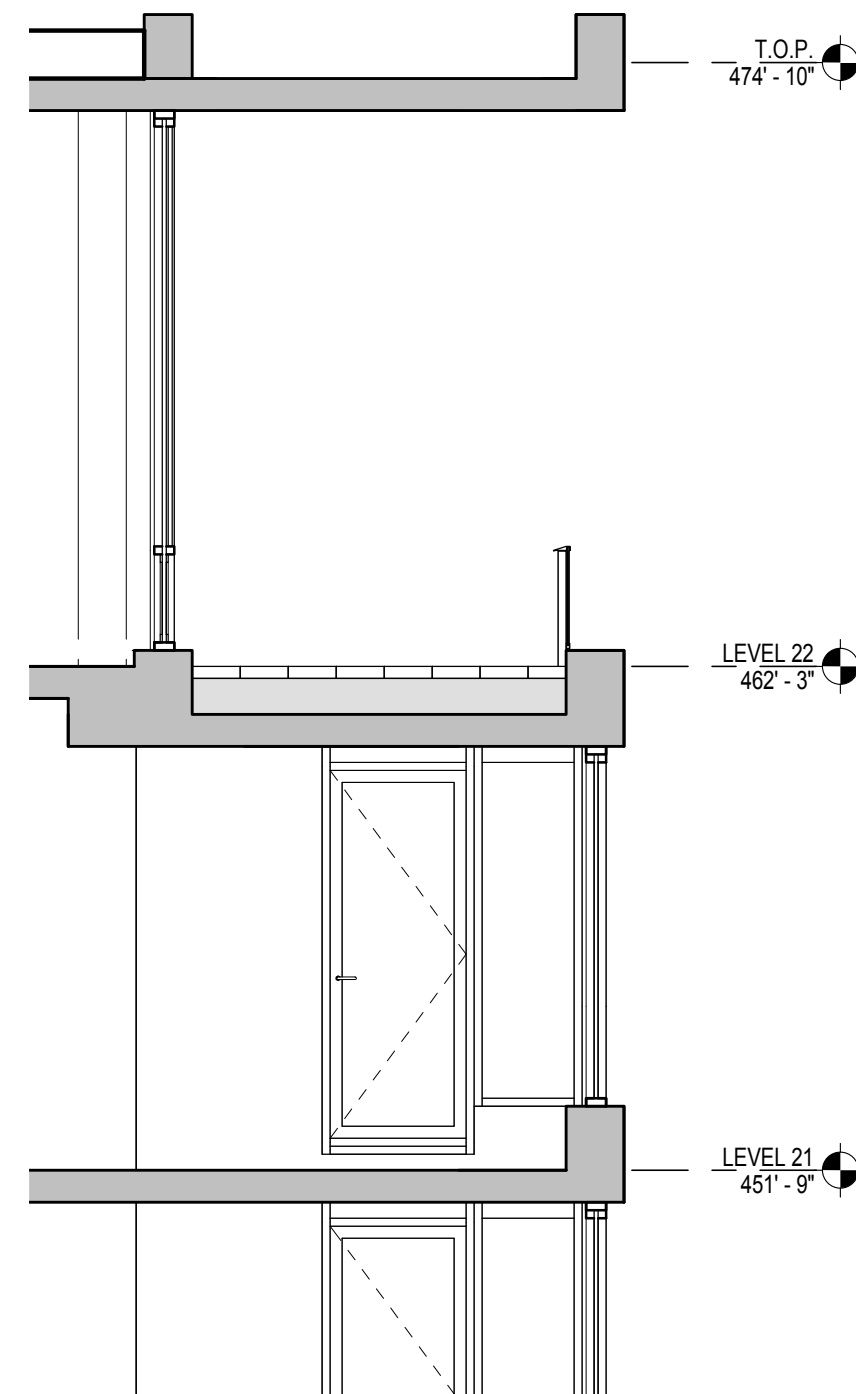
- ARCHITECTURAL LOUVRES
- METAL FIN (DARK BRONZE)
- 1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
- METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
- CANOPY - METAL PANEL (DARK BRONZE)
- INSET ADDRESS PANEL
- PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
- DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL)



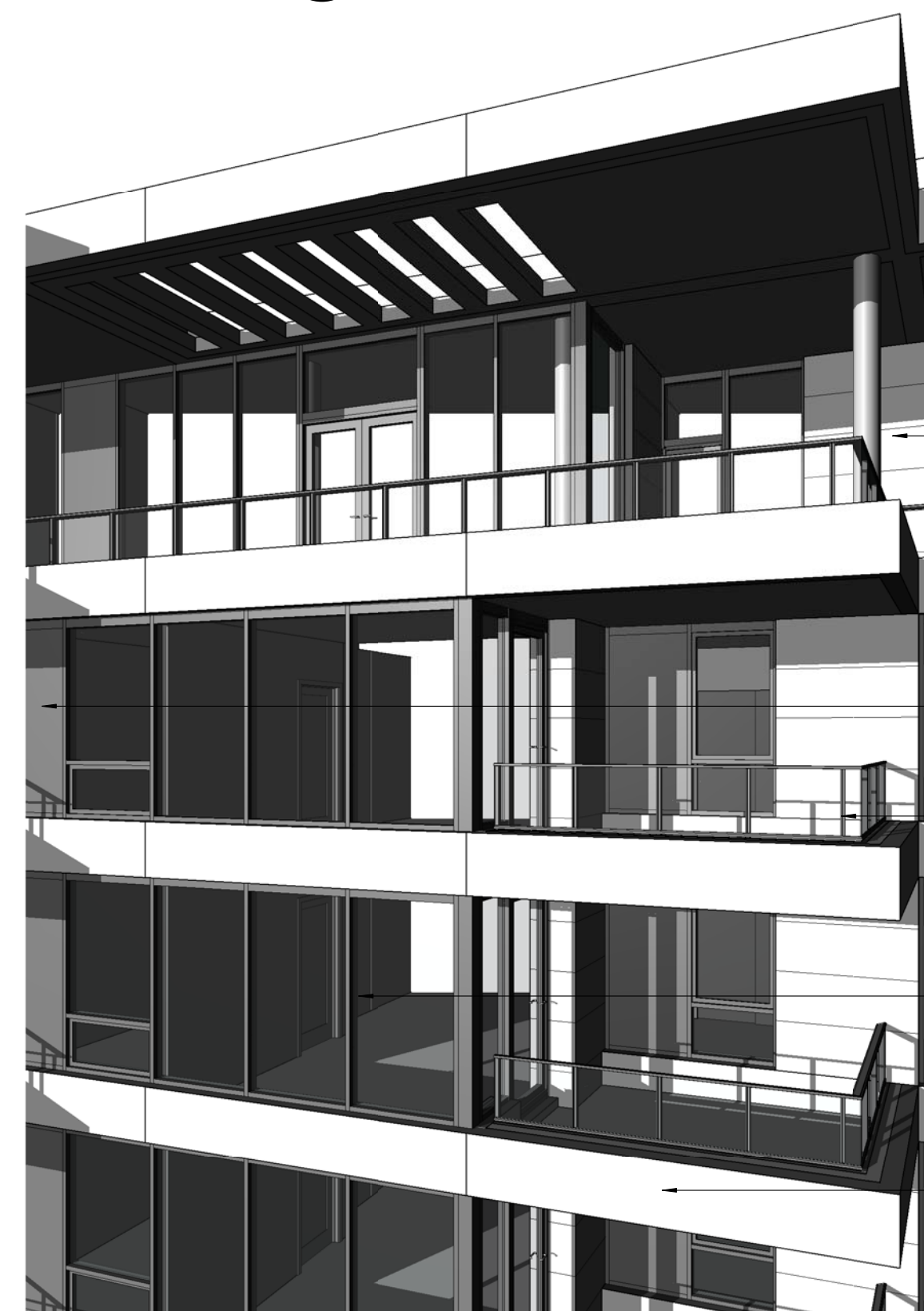
4 TH S TYPICAL ENTRANCE



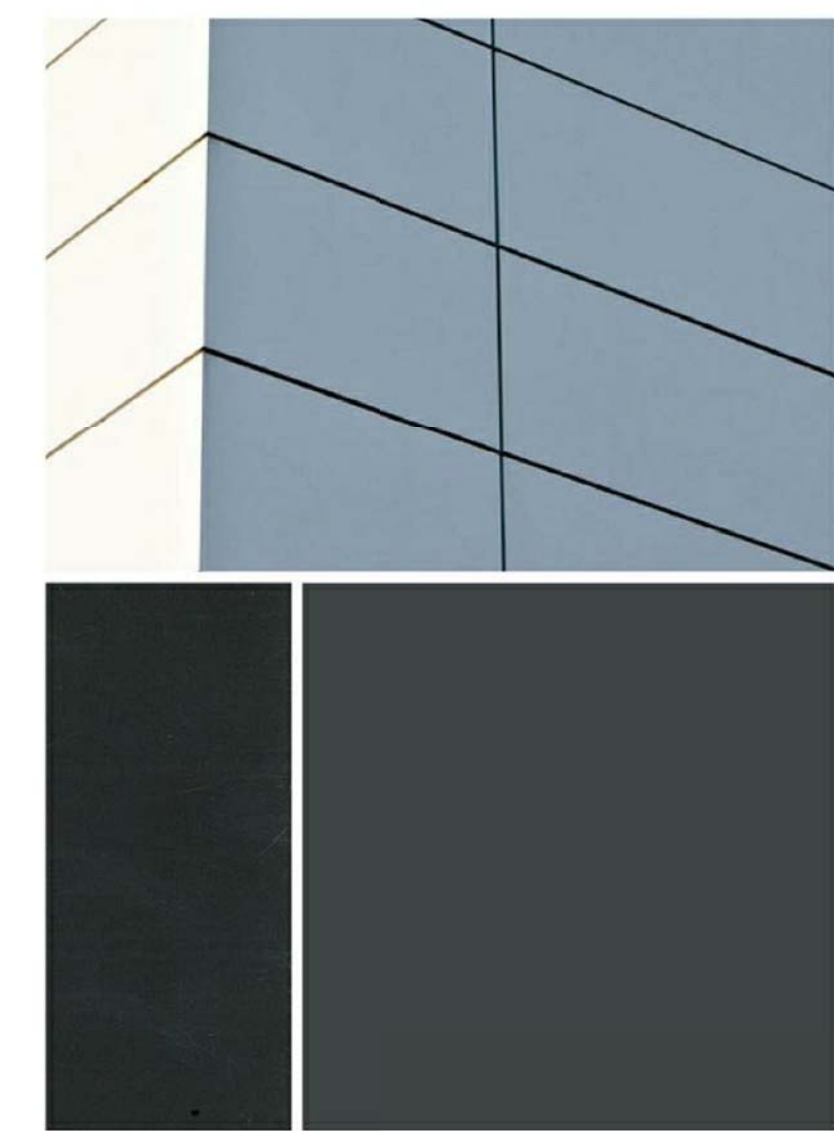
3 TYPICAL TOWER ELEVATION
1/4" = 1'-0"



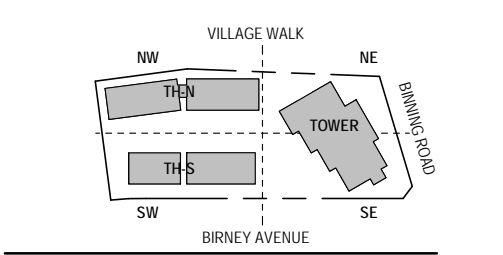
2 TYPICAL TOWER WALL SECTION
1/4" = 1'-0"



- METAL PANEL CLADDING (WHITE)
- GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK GREY ON L3)
- RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- UPSTAND WITH METAL PANEL (WHITE)



1 TYPICAL TOWER FACADE



IVY ON THE PARK
LOT 8

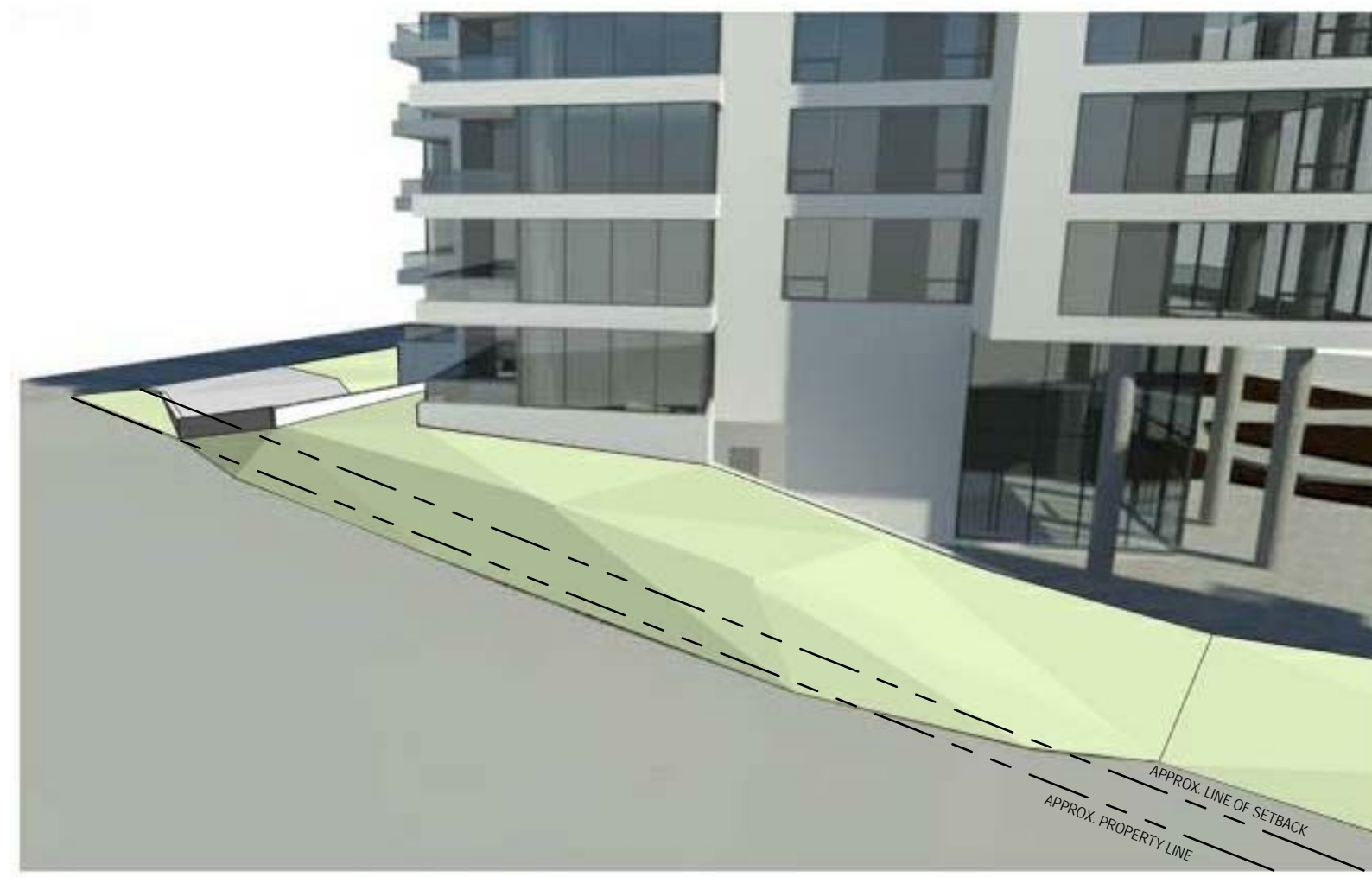
1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

PROJECT RATIONALE -
SCHEMATIC DETAILS &
MATERIALS

DP-005

PARKADE RAMP

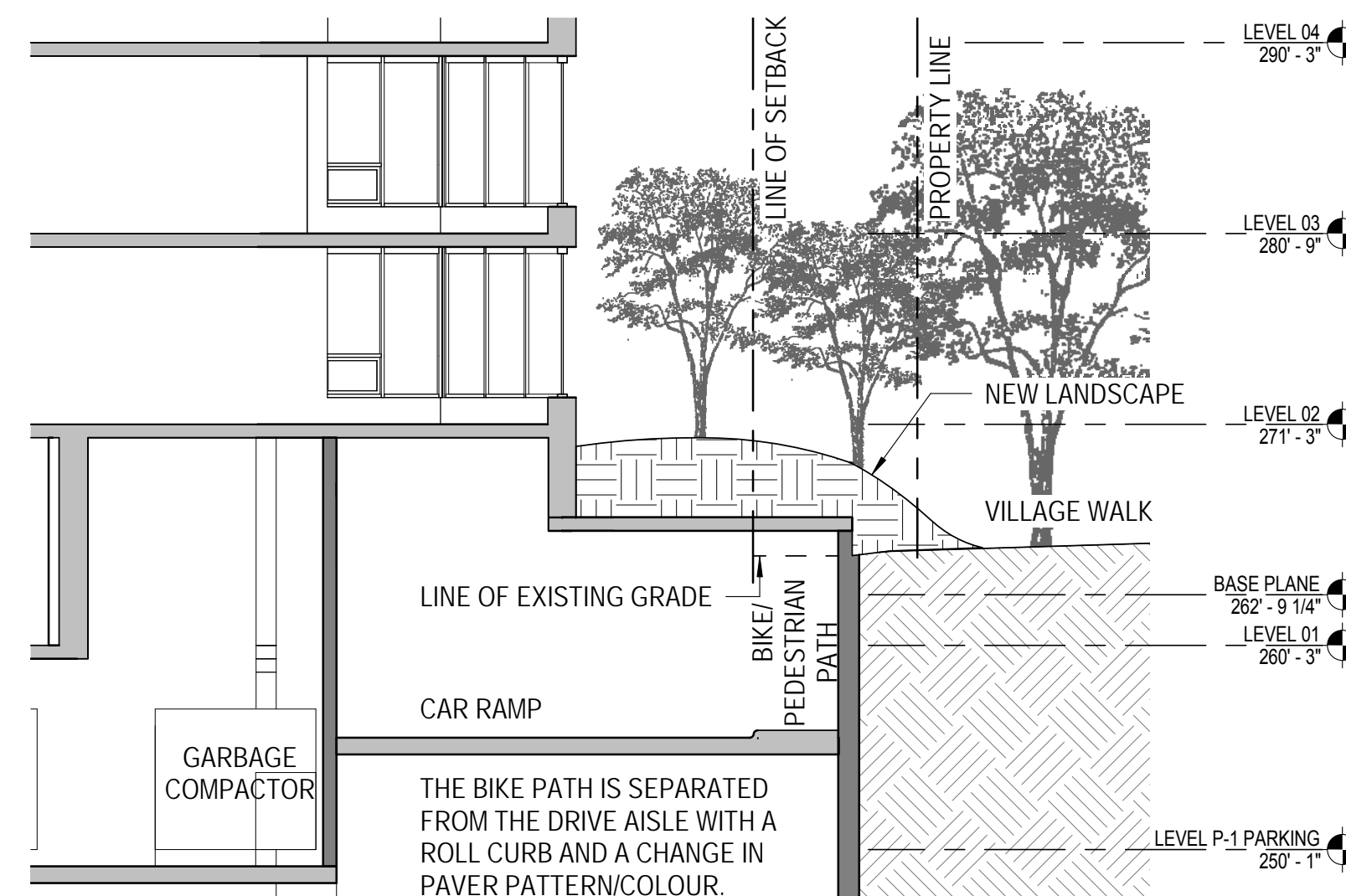
In designing the parkade entrance ramp, two main concerns needed to be addressed. Firstly, providing a separate lane on the ramp for pedestrians and cyclists to enhance safety for non-vehicular users, and secondly, creating a ramp that was visually unobtrusive and did not create any awkward spaces along the edge of the site. As a solution to these issues, the parking ramp has been "buried" and a Forst Garden has been created to berm up and integrate the parking ramp structure into the landscape. The northern wall of the parkade ramp encroaches into the setback by a maximum of 5'11" and 3'8" above grade. Although the ramp pushes into the setback, the integration of the ramp into the landscaping creates a more pleasant edge along Village Lane and reduces the visual impact of the ramp.



6 RAMP VIEW FROM VILLAGE LANE
1/16" = 1'-0"



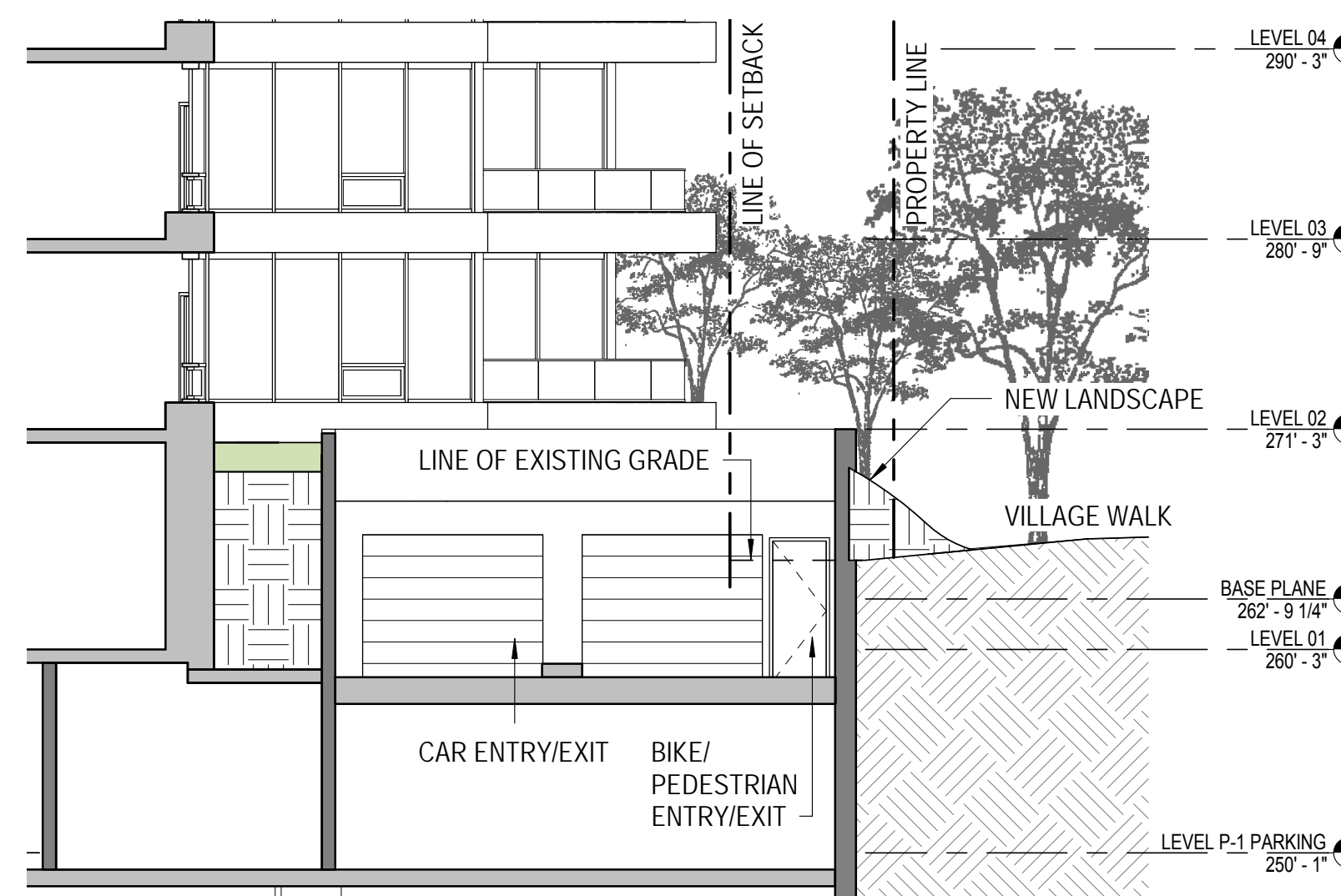
5 RAMP VIEW FROM ABOVE
1/16" = 1'-0"



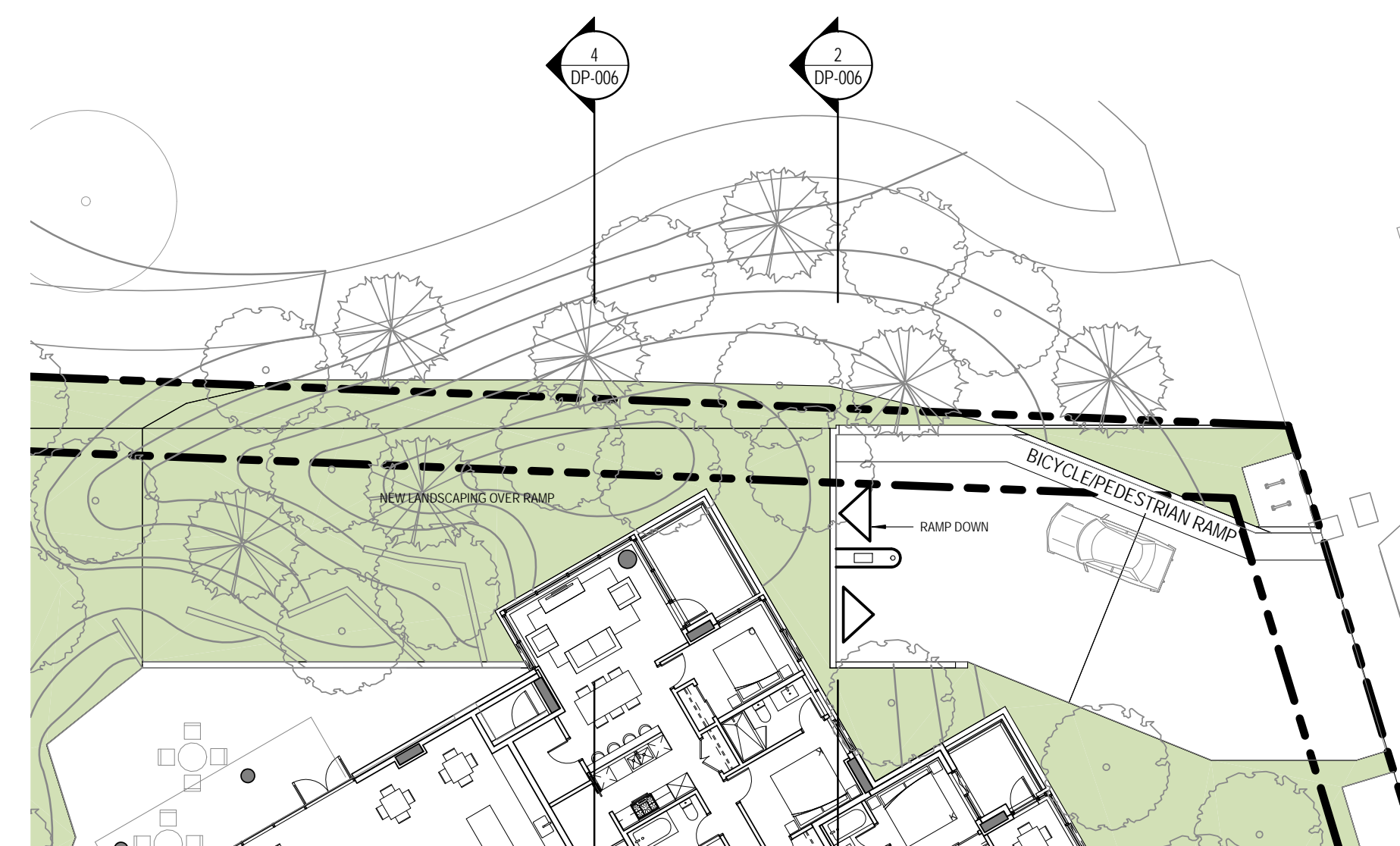
4 RAMP SECTION
1/8" = 1'-0"



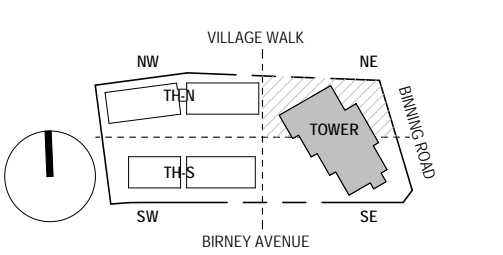
3 RAMP VIEW FROM BINNING ROAD
1/16" = 1'-0"



2 RAMP SECTION AT GATE
1/8" = 1'-0"



1 PLAN AT LEVEL 2 OVER RAMP
1/16" = 1'-0"



IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

VARIANCE -
LANDSCAPING OVER
RAMP AT SETBACK

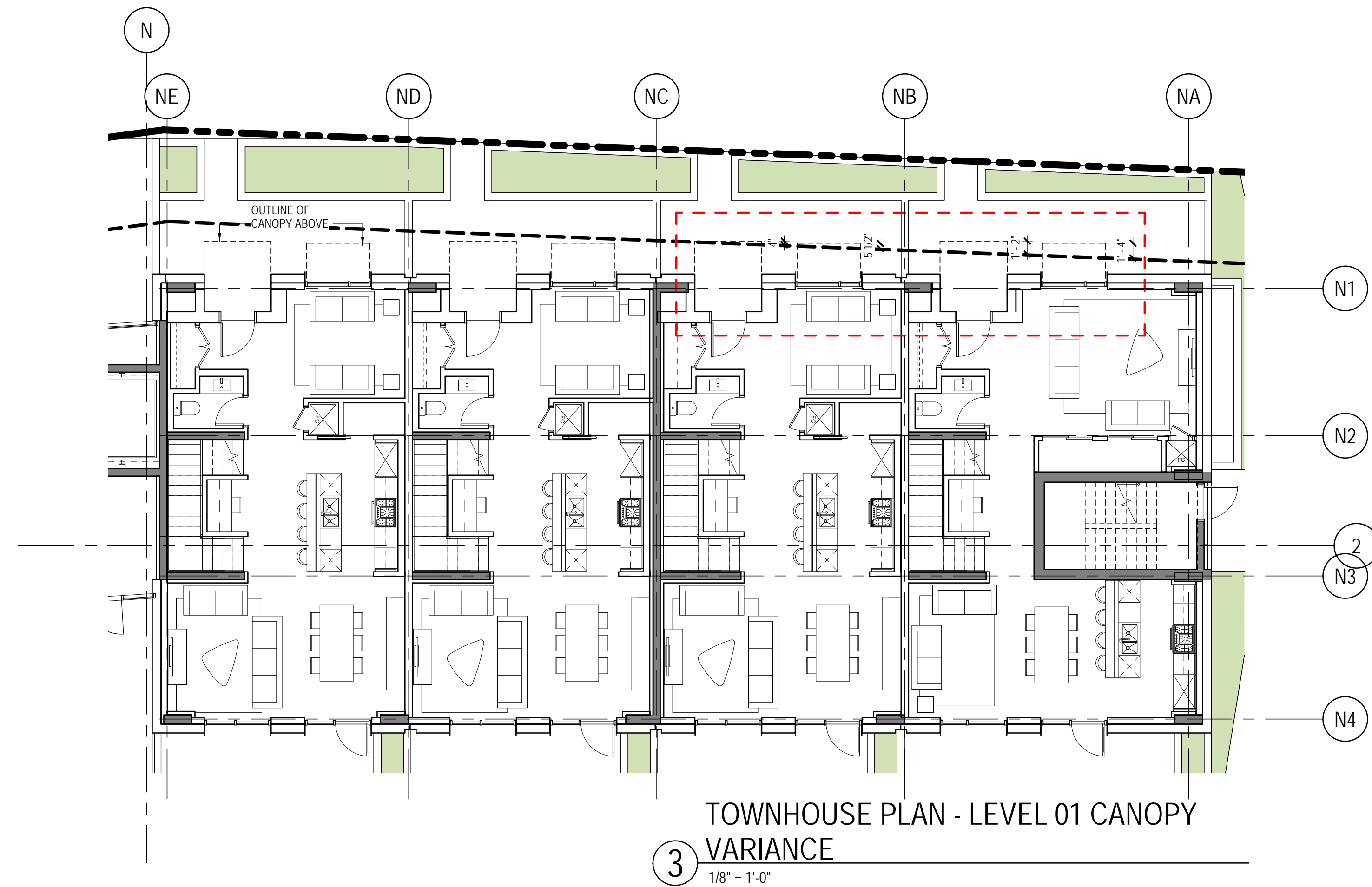
DP-006

CANOPIES

Along the north-east edge of the four storey stacked townhouse block, four canopies protrude into the setback by a maximum of 1'4". These canopy elements on Level 1 are located above the entry alcove and adjacent glazed opening. These architectural elements provide much needed shelter and enclosure, and should maintain a consistent depth to provide adequate weather protection.



4 VIEW OF CANOPIES



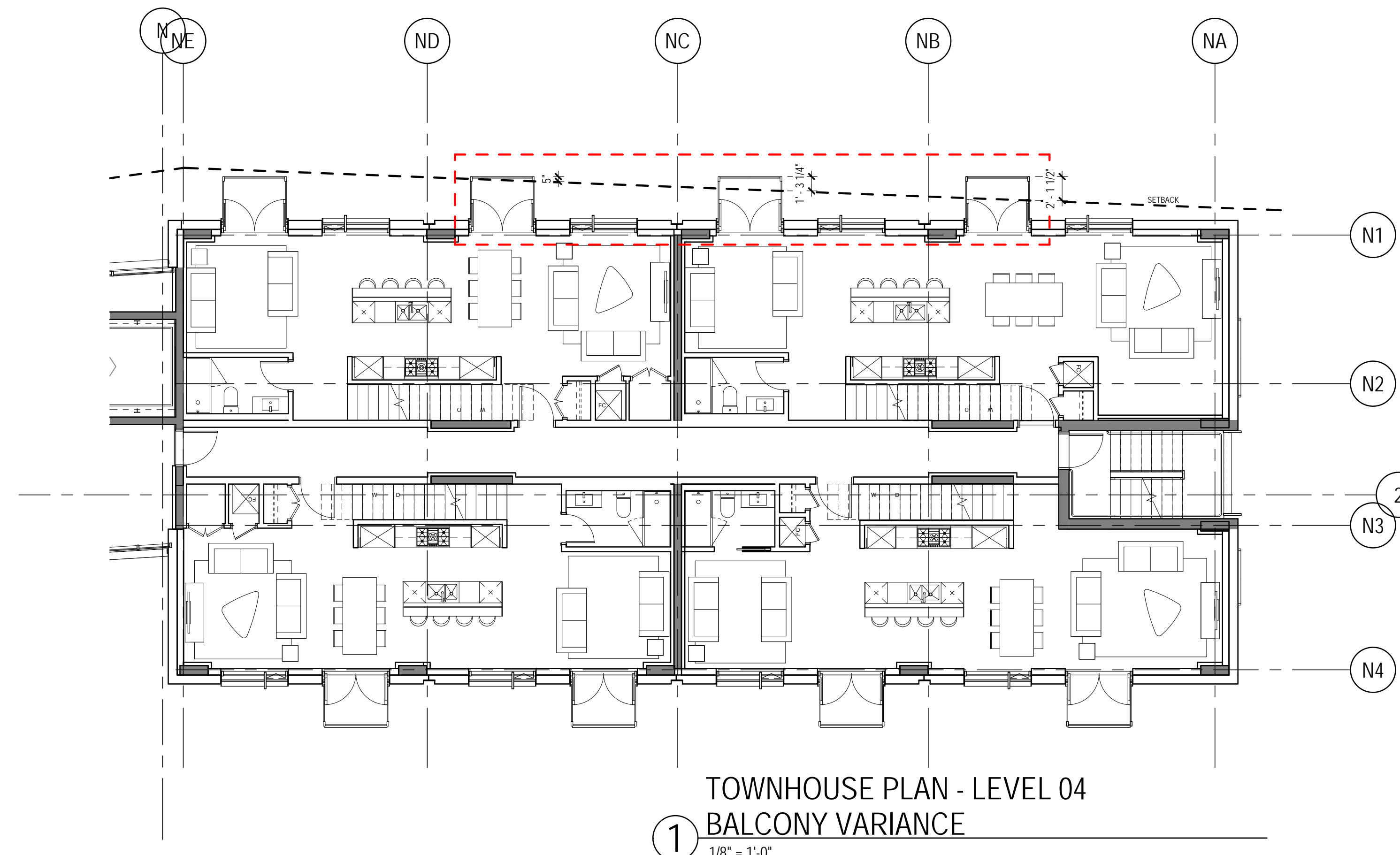
3 TOWNHOUSE PLAN - LEVEL 01 CANOPY
VARIANCE
1/8" = 1'-0"

BALCONIES

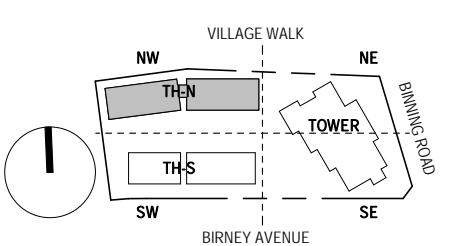
Similarly, along the north-east edge of the four storey stacked townhouse block, three balconies protrude into the setback by a maximum of 2'1.5". In order to achieve a consistent architectural expression and ensure all units have an equally sized, usable balcony, all balconies should maintain the same depth. Additionally, the townhouses have been pushed north as far as they can to maximize the size of the shared communal courtyard to the south, and to ensure that space maintains sufficient solar exposure.



2 VIEW OF BALCONIES



1 TOWNHOUSE PLAN - LEVEL 04
BALCONY VARIANCE
1/8" = 1'-0"



IVY ON THE PARK
LOT 8

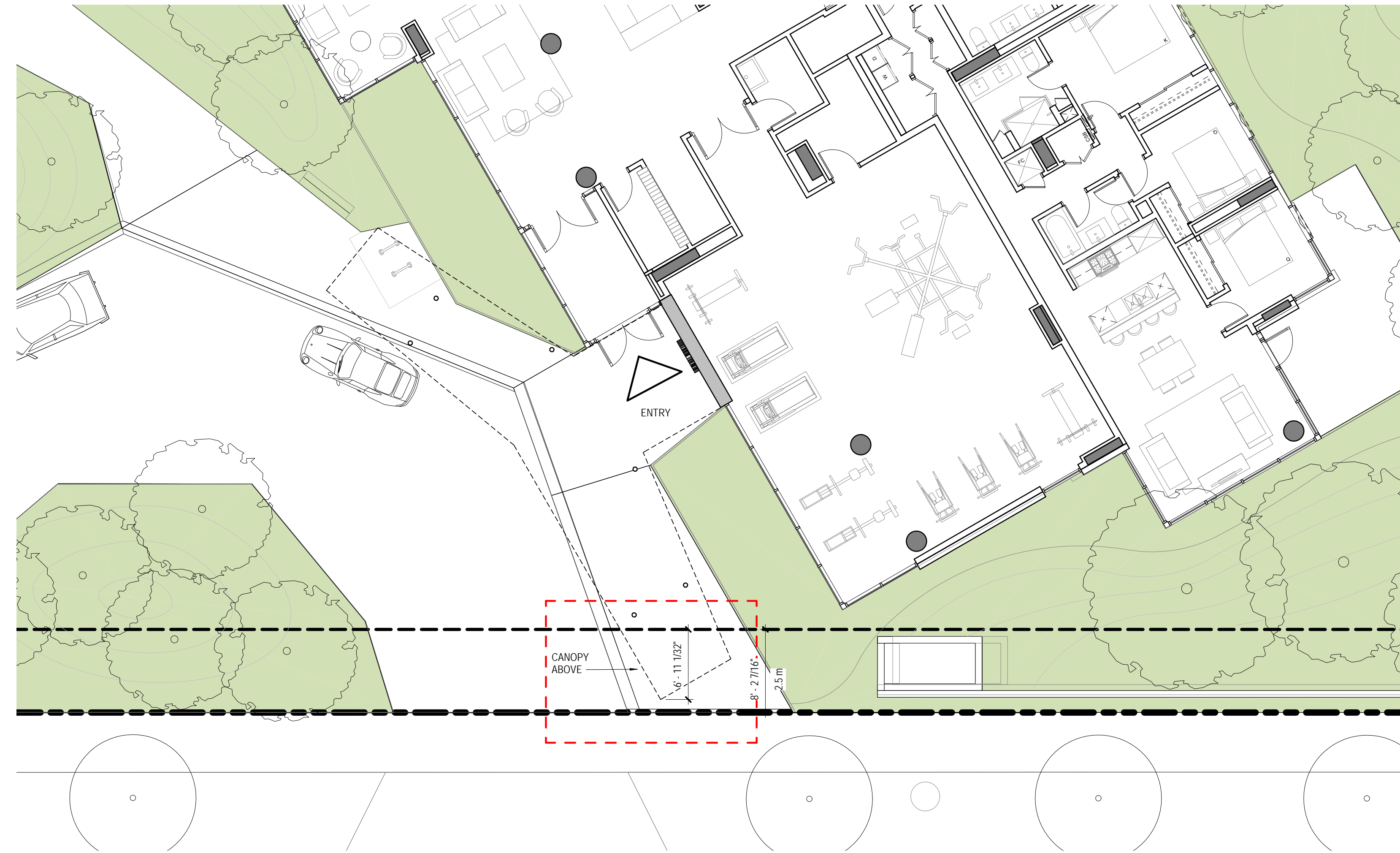
1 DEVELOPMENT PERMIT
SUBMISSION 2018-01-23
2 DEVELOPMENT PERMIT
RE-SUBMISSION 2018-03-02

VARIANCE - CANOPIES
AND BALCONIES OVER
SETBACK

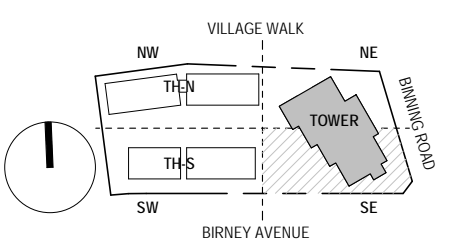
DP-007

ENTRANCE CANOPY

An expansive entrance canopy is designed to announce the front door to the tower, provide weather protection, and wayfinding. The canopy provides weather protection for pedestrians entering the site off Birney, as well as some overhang to provide cover for people exiting vehicles in the drop-off area. Integrated lighting will also aid in wayfinding and provide a welcoming entrance to guests and residents.



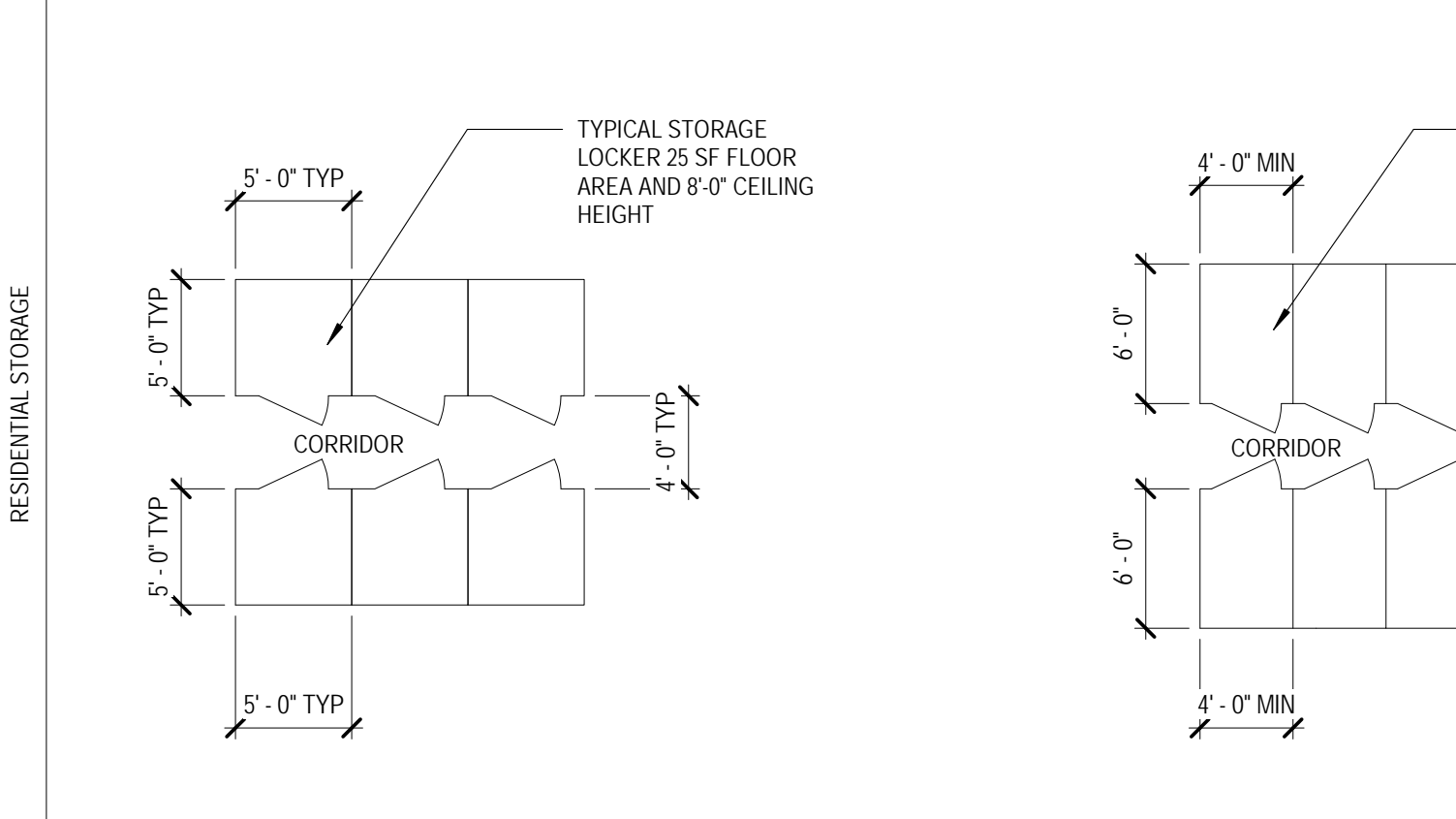
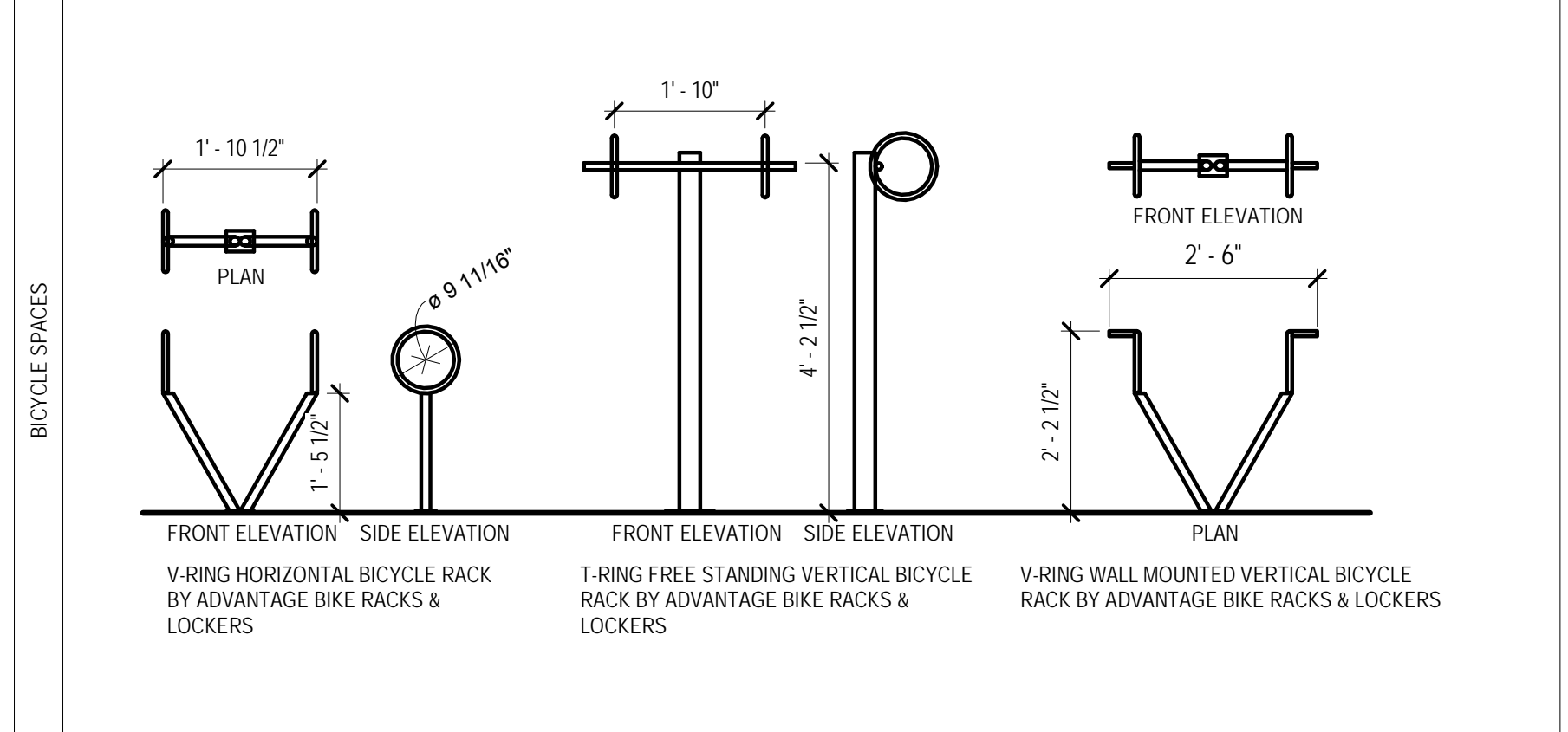
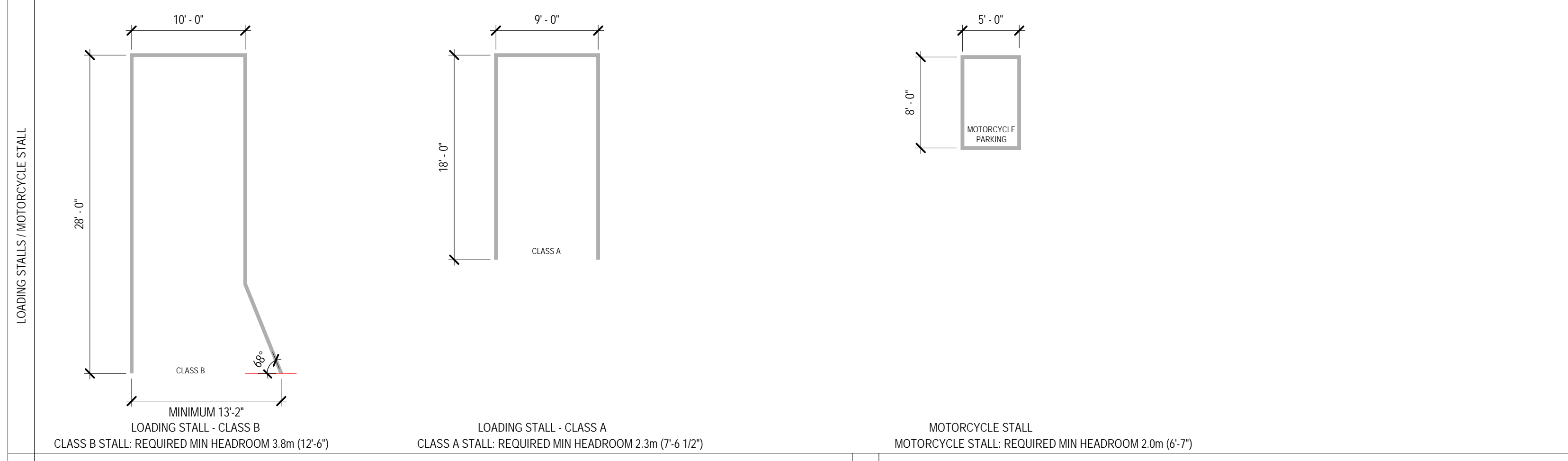
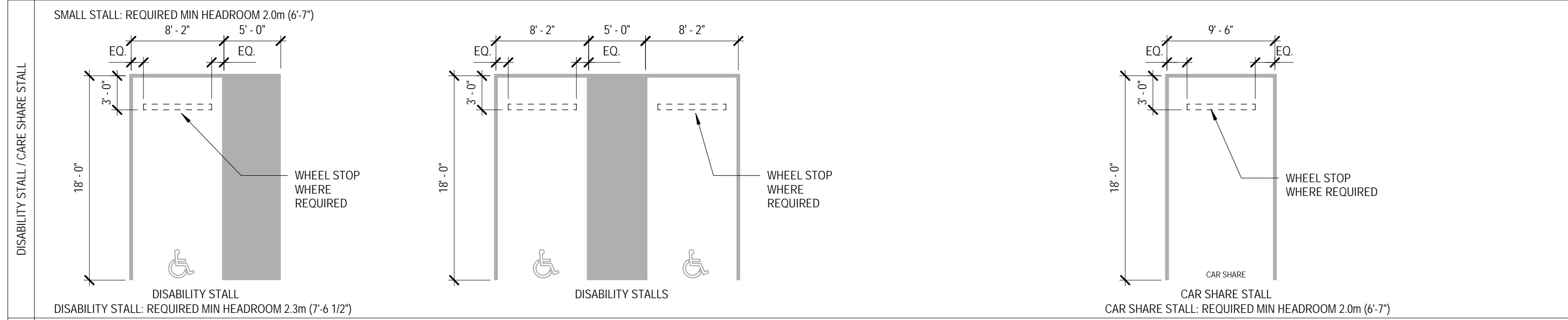
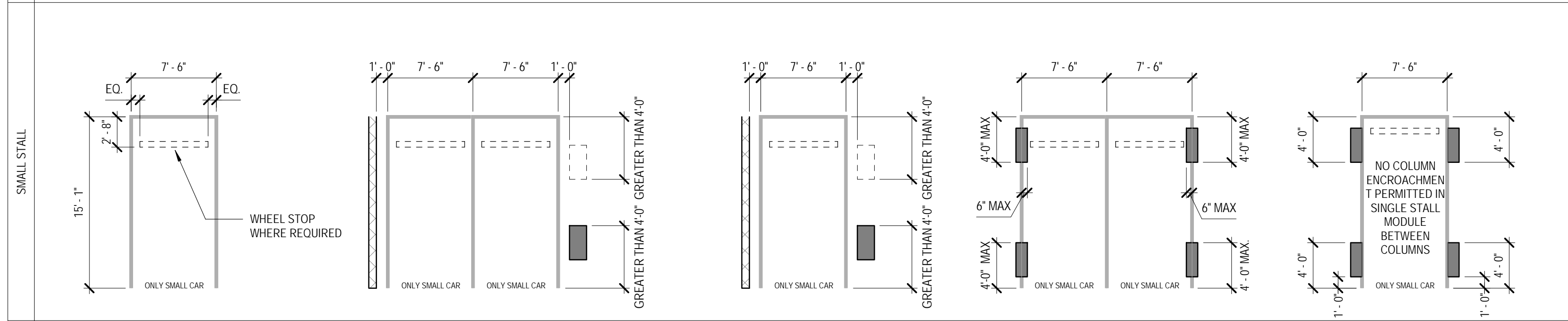
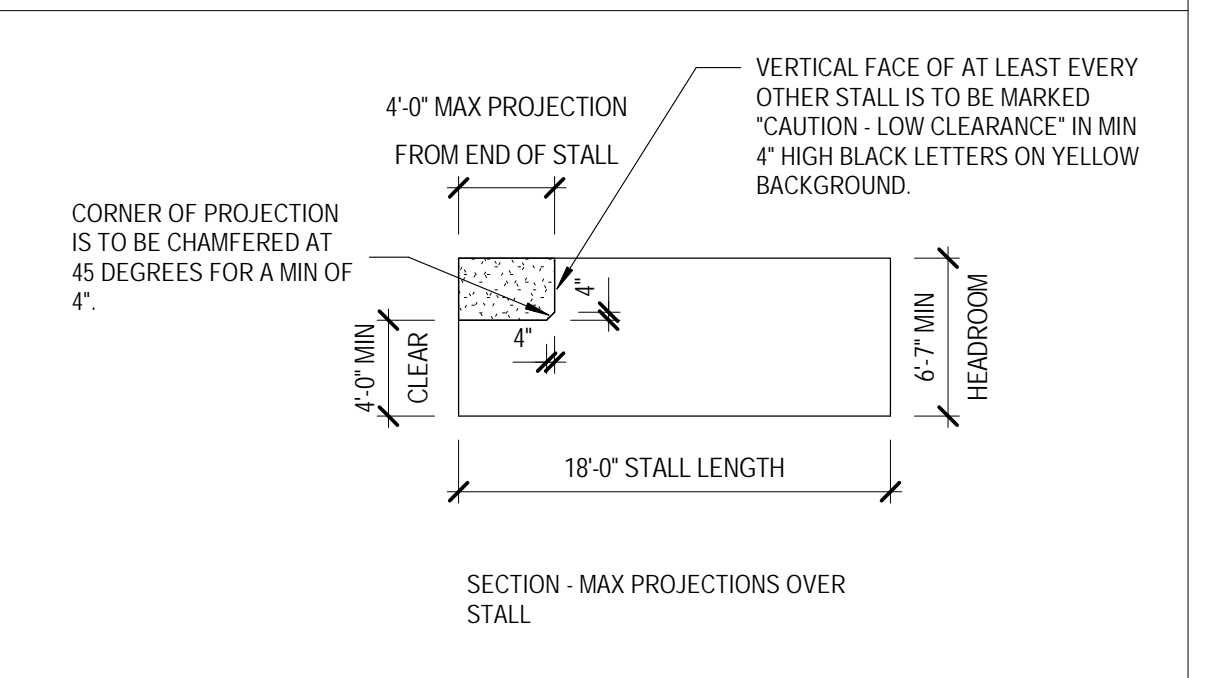
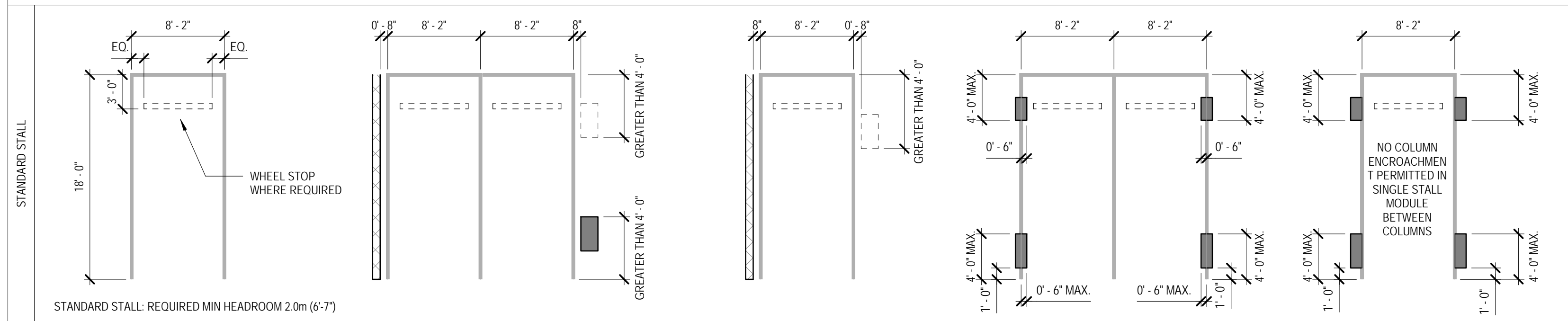
1 SITE PLAN CANOPY VARIANCE
1/8" = 1'-0"



IVY ON THE PARK
LOT 8

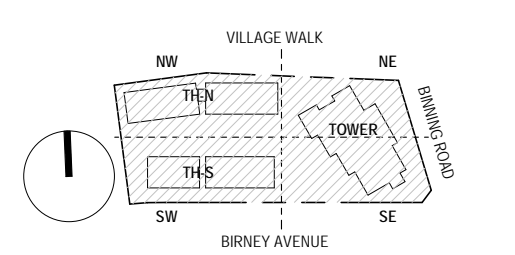
PARKING STALL / BICYCLE PARKING STALL / RESIDENTIAL STORAGE LOCKER DIMENSIONS

REFERENCE:
UBC DEVELOPMENT HANDBOOK
DECEMBER 2016



ALL RESIDENTIAL STORAGE LOCKERS TO MEET THE FOLLOWING REQUIREMENTS:

- MINIMUM SIZE OF 200 CUBIC FEET
- MINIMUM HEIGHT OF 7'-0"
- MINIMUM CLEAR HORIZONTAL DIMENSION IN ALL DIRECTIONS OF 4'-0"



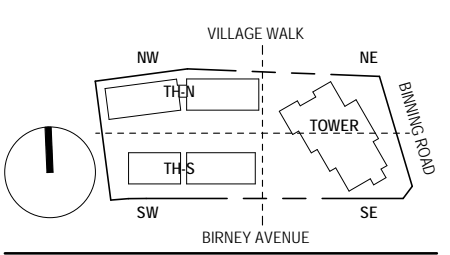
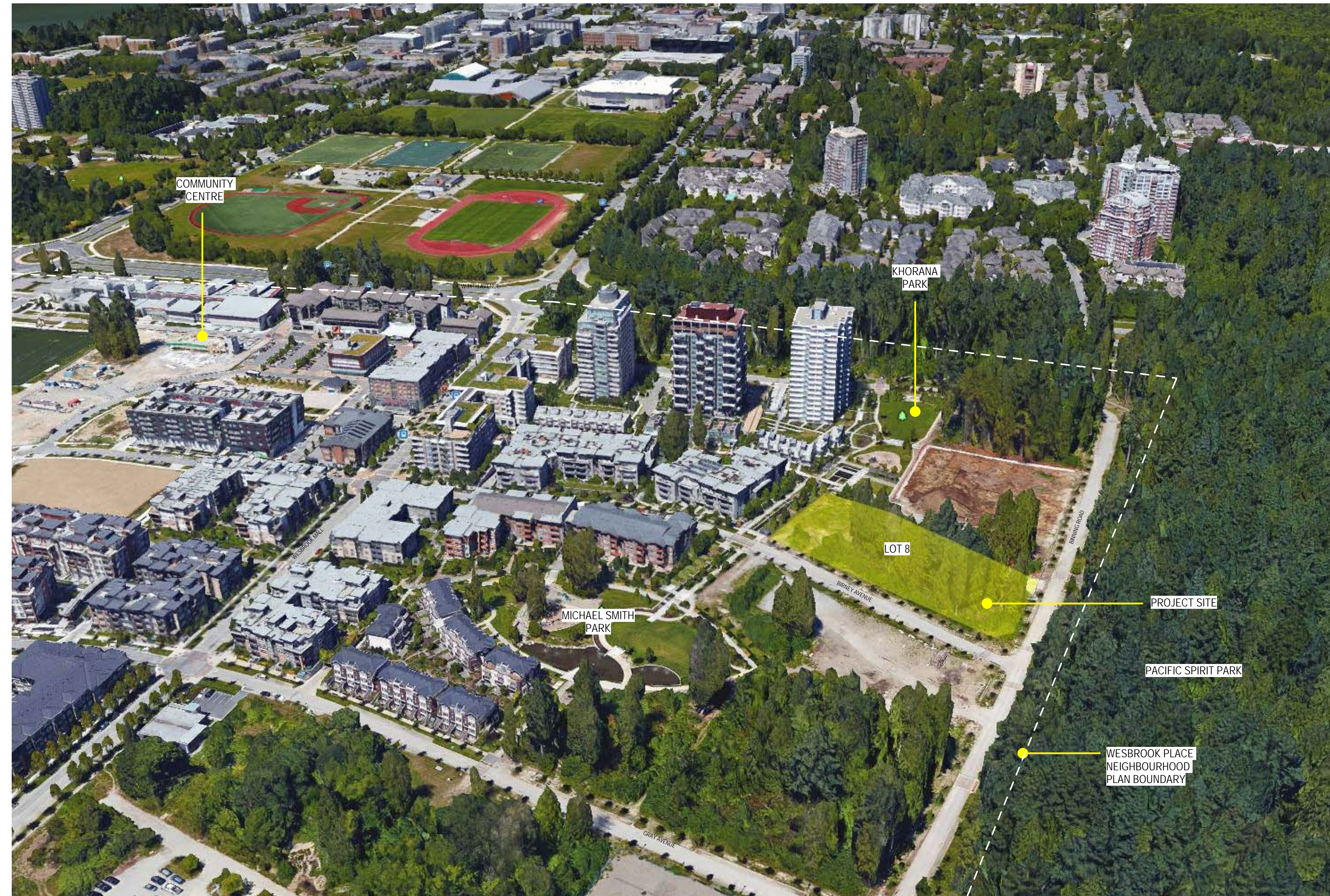
- PRE-OP APPLICATION SUBMISSION 2017-12-06
- DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

SITE CONTEXT - VIEW

Lot 8 at Wesbrook Place is a 63,150 square foot (1.45 acres / 0.9 hectare) site at the corner of Birney Avenue and Binning Road. Located at the eastern edge of Wesbrook Place, the site is bounded to the east by Pacific Spirit Regional Park, on the north by Village Lane and on the west by McCrae Lane. Grades are relatively flat, with the site sloping down by 1m from the north to south ends of the property line.

The site is surrounded by a variety of residential developments, including 2.5 storey townhouses and a 22 storey tower to the north, and a 4.5 storey midrise block and 21 storey tower to the south. Lot 8 is well connected to the amenities within Wesbrook Village, with several commercial businesses, restaurants, a grocery store, and community centre all within a 5 minute walk. There are several nearby transit stops with lines connecting to other areas on campus and within Vancouver. Bike lanes exist along 16th Avenue and Wesbrook Mall.

Additionally, the site is well connected to both campus and regional green space networks, providing parks, trails, greenways, green streets and pathways. Located adjacent to Pacific Spirit Regional Park, IVY ON THE PARK has access to the parks expansive trail network, as well as the multiuse trail that fits within the Green Edge of Wesbrook Place. The project is also located close to Michael Smith Park, Khorana Park, and Mundel Park.



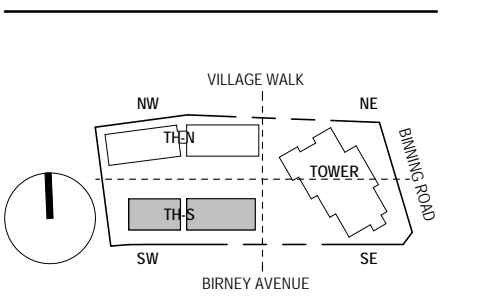
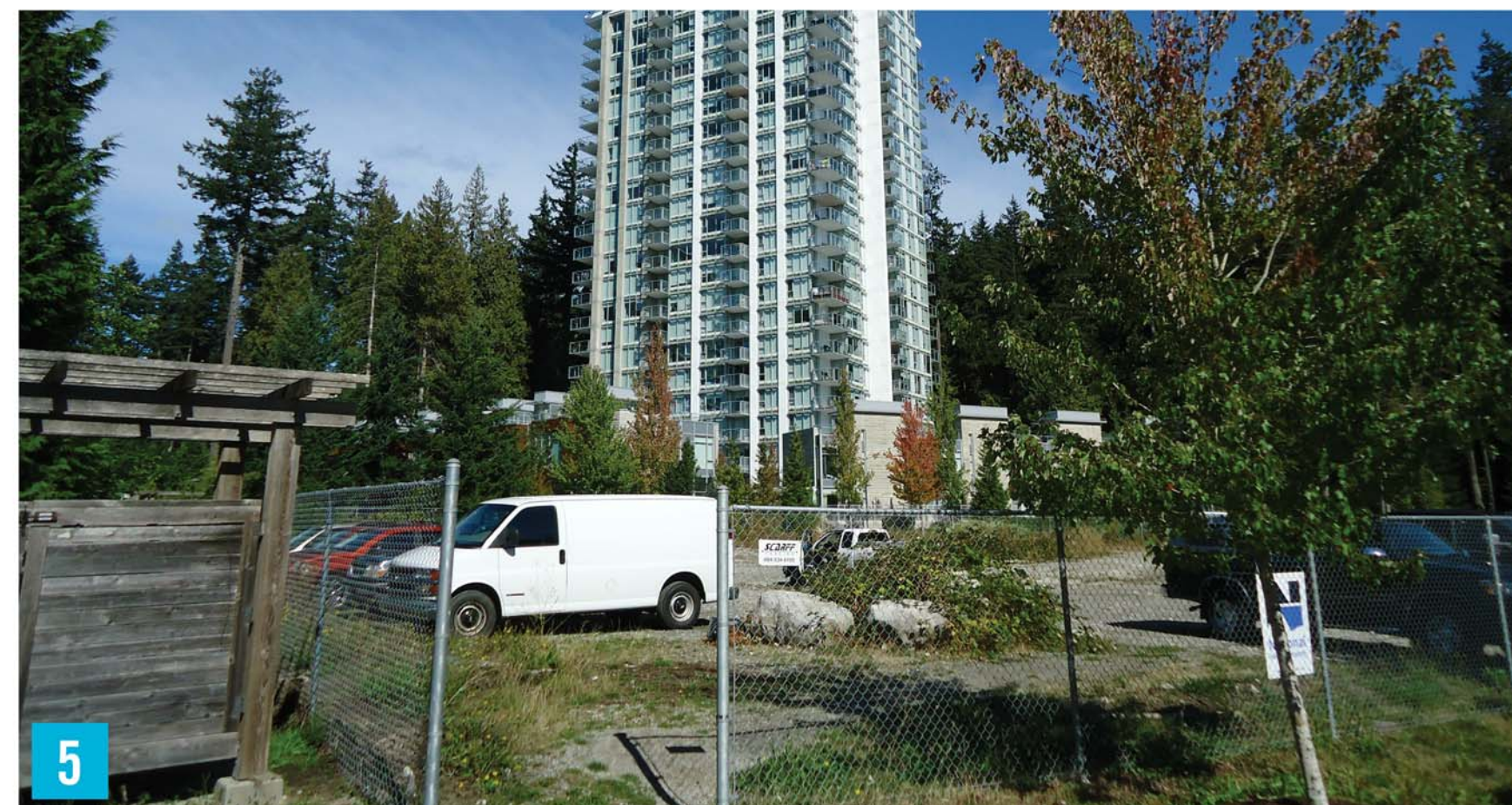
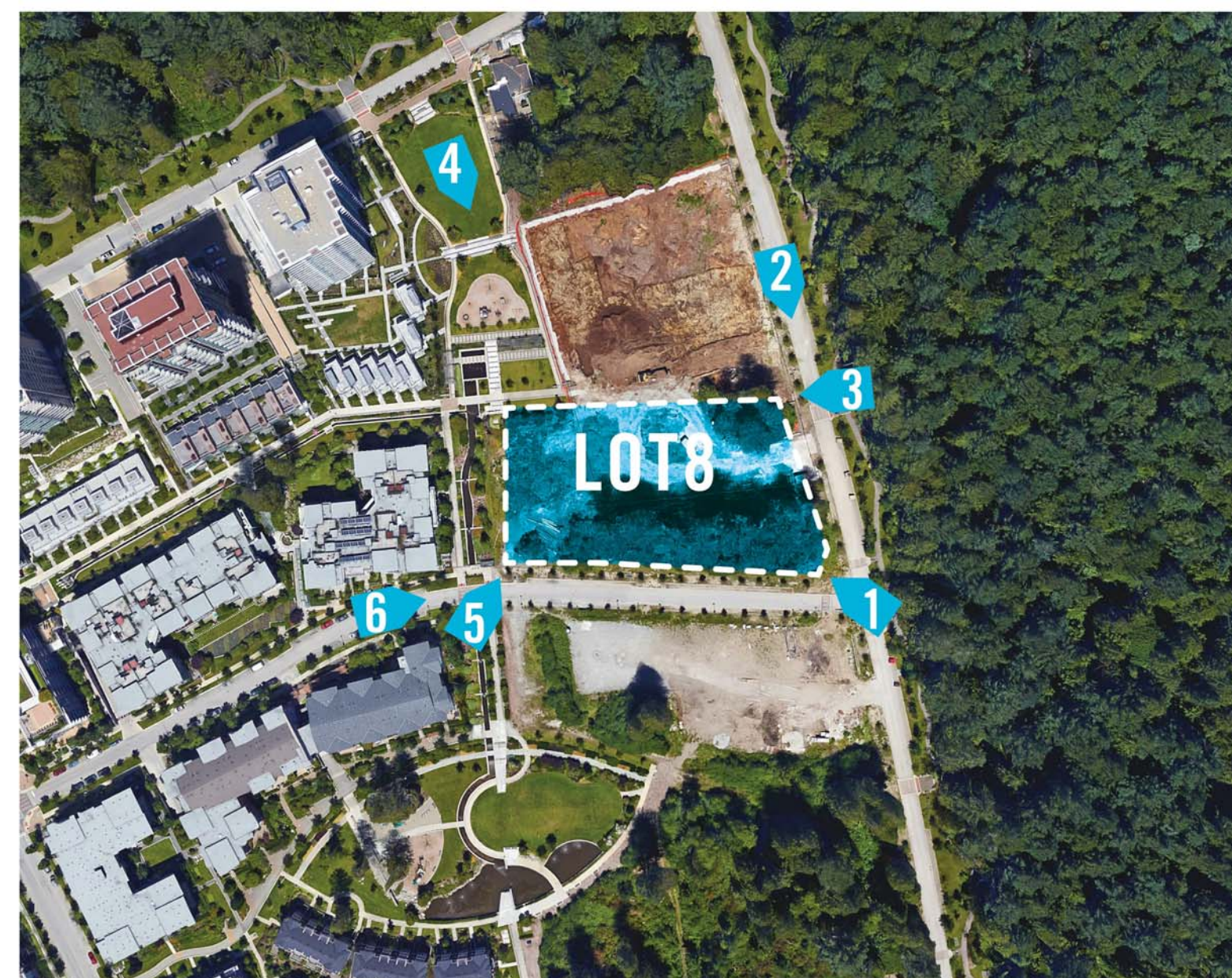
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

SITE CONTEXT - VIEW

DP-041

SITE CONTEXT - PHOTOS



IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

SITE CONTEXT - PHOTOS



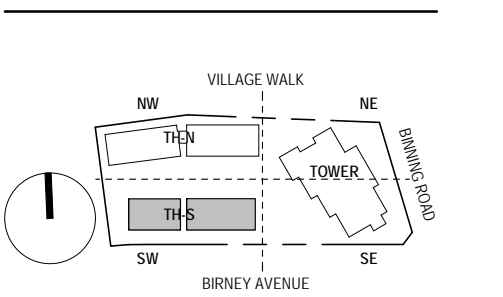
BIRNEY AVENUE



BINNING ROAD



VILLAGE LANE



IVY ON THE PARK
LOT 8

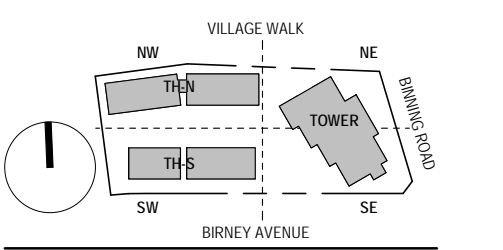
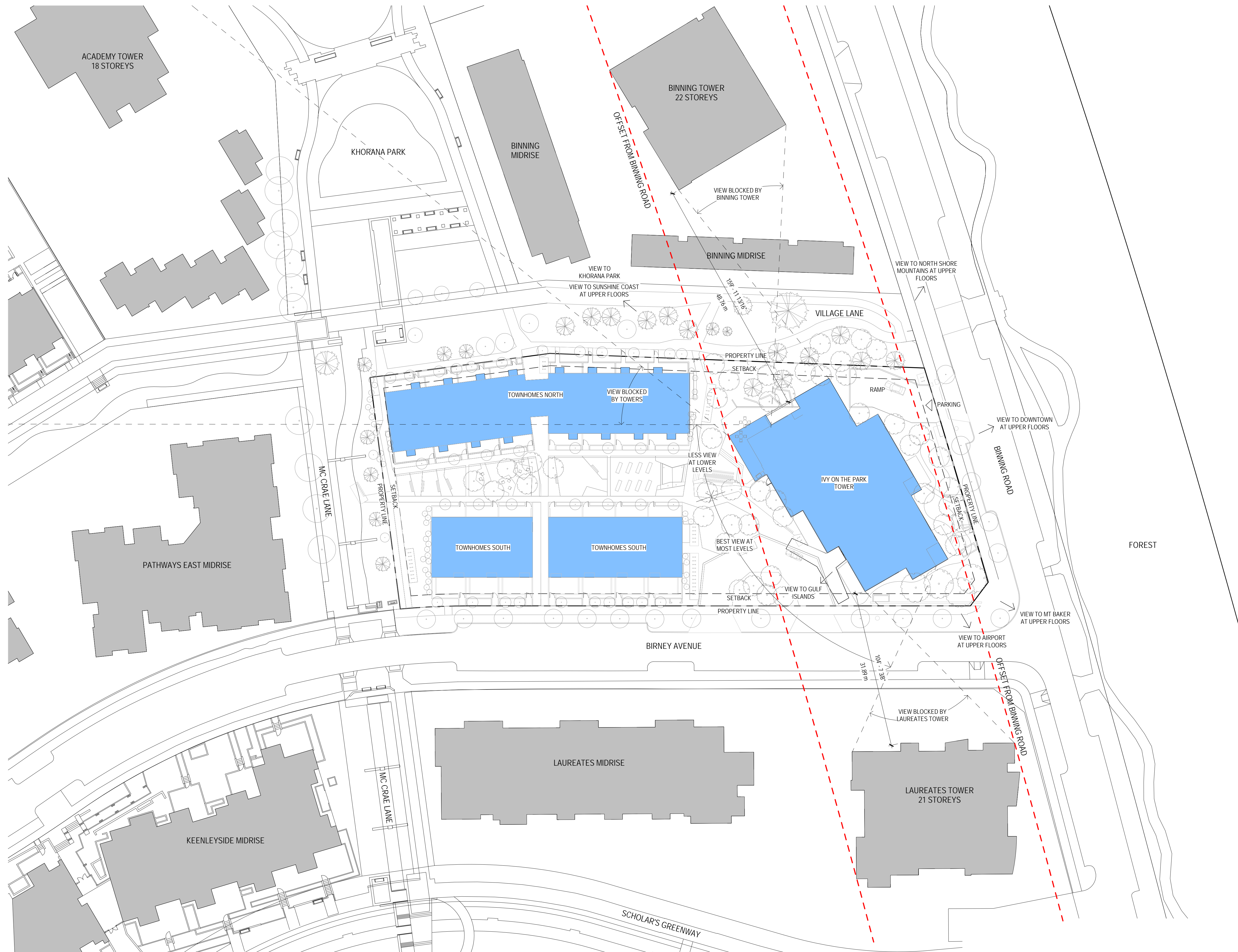
- 1. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02



McCRAE LANE

SITE CONTEXT - STREET
ELEVATIONS

DP-043



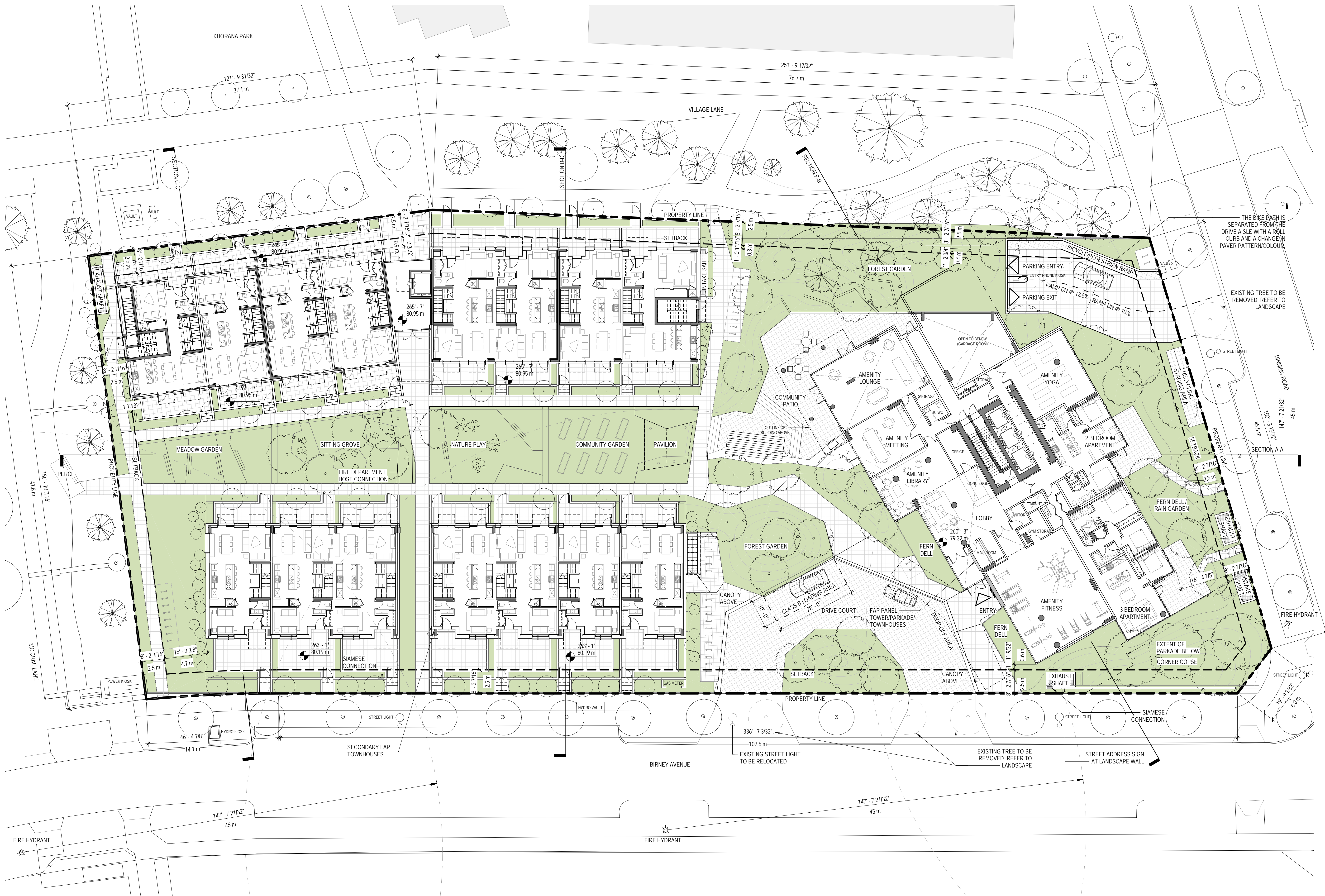
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

SITE CONTEXT - PLAN

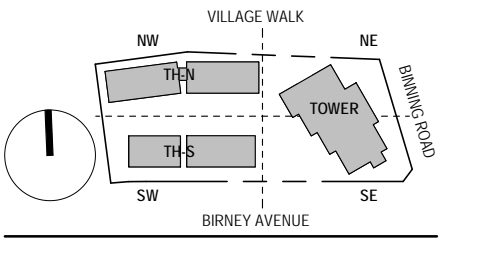
1 CONTEXT PLAN
1/32" = 1'-0"

DP-044



THE BIKE PATH IS SEPARATED FROM THE DRIVE AISLE WITH A ROLL CURB AND A CHANGE IN PAVEMENT PATTERN/COLOR.

EXISTING TREE TO BE REMOVED. REFER TO LANDSCAPE



IVY ON THE PARK
LOT 8

1. PRE-OP APPLICATION SUBMISSION 2017-12-06
2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

SITE PLAN

1 SITE PLAN
1/16" = 1'-0"

DP-051

TOPOGRAPHIC SURVEY OF LOT 8 DISTRICT LOT 6494 GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP26848



The intended plot size of this plan is 864mm in width by 560mm in height (D size) when plotted at a scale of 1:250.
All distances are in metres and decimals thereof.



- LEGEND**
- denotes catchbasin
 - denotes drain
 - denotes drain manhole
 - denotes sewer manhole
 - denotes water valve
 - denotes irrigation control valve
 - denotes hydrant
 - denotes junction box
 - denotes streetlight davit
 - denotes bollard
 - denotes sign
 - denotes fence
 - denotes top of bank
 - denotes bottom of bank
 - denotes edge of pavement
 - denotes edge of gravel
 - denotes gravel sublayer
 - denotes letdown
 - denotes spot elevation
 - denotes tree and diameter
 - denotes property line

Date of Field Survey: 21, September, 2017

Elevations are to geodetic datum, derived from City of Vancouver geodetic control monument 02H2464. Published Elevation = 4.846 m.

Vertical Datum CGVD28 (HTV2.0).

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

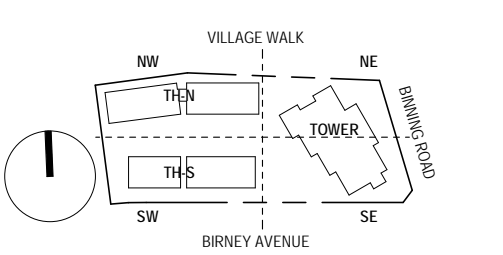
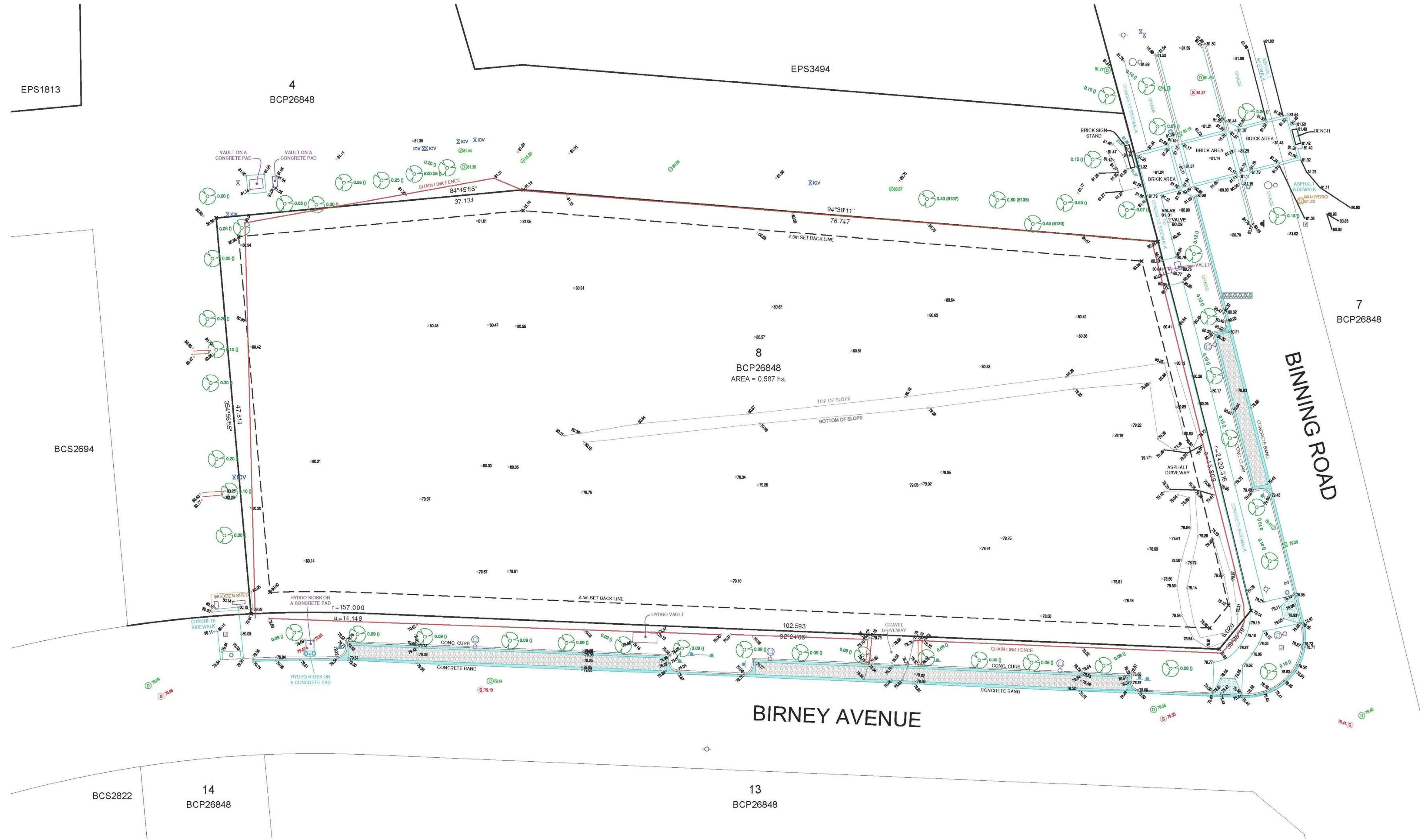
This plan represents the best information available at the time of survey. WSP Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

PARCEL IDENTIFICATION NO:
026-858-177

CIVIC ADDRESS:
5638 BIRNEY AVENUE, VANCOUVER, BC

CLIENT:
WALL FINANCIAL CORPORATION

TITLE SUBJECT TO:
NO EXISTING CHARGES, LIENS AND INTERESTS.



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

SITE SURVEY

DP-052

| Rev No. | Date | Comment |
|---------|------------|-----------------------------------|
| 1 | 2017-12-13 | additional topo information added |

wsp
WSP Surveys (BC) Limited Partnership
390-45 Richmond Street, New Westminster, BC
T: 604-523-4551 www.wspgroup.com

PROJECT
LOT 8, BCP26848

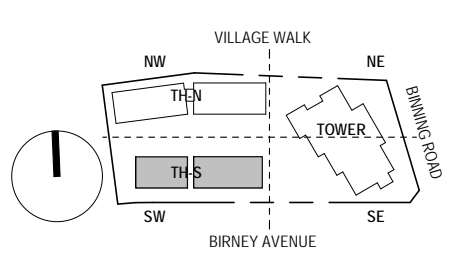
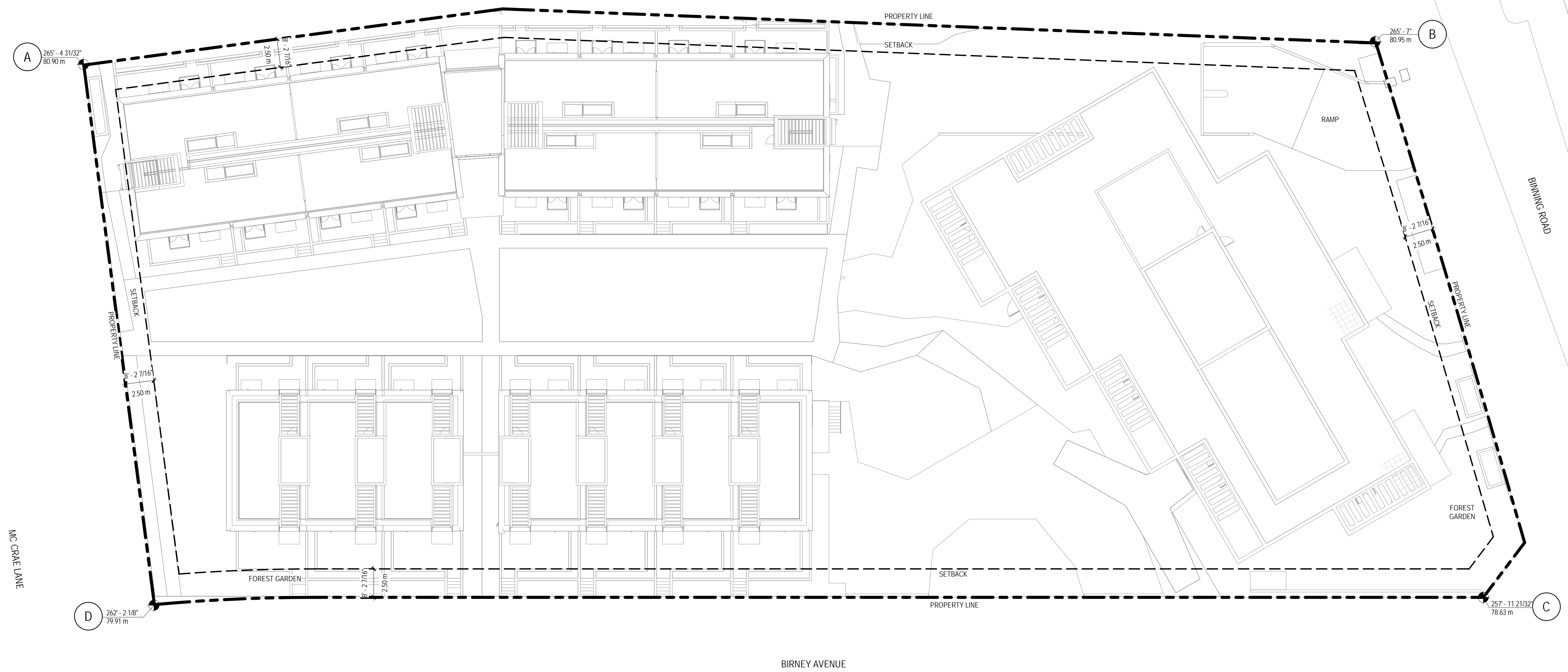
SHEET REF.
TOPOGRAPHIC SURVEY PLAN

SHEET TITLE

| | | | |
|-------|------------|---------|-------|
| DRAWN | DATE | CHECKED | SCALE |
| JM | 2017-02-24 | JT | 1:250 |

SHEET TAG
17-13109-00-000-00-SSDS1001-R1

© WSP 2017



IVY ON THE PARK
LOT 8

- 1. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

BASE SURFACE
CALCULATION PLAN

DP-053

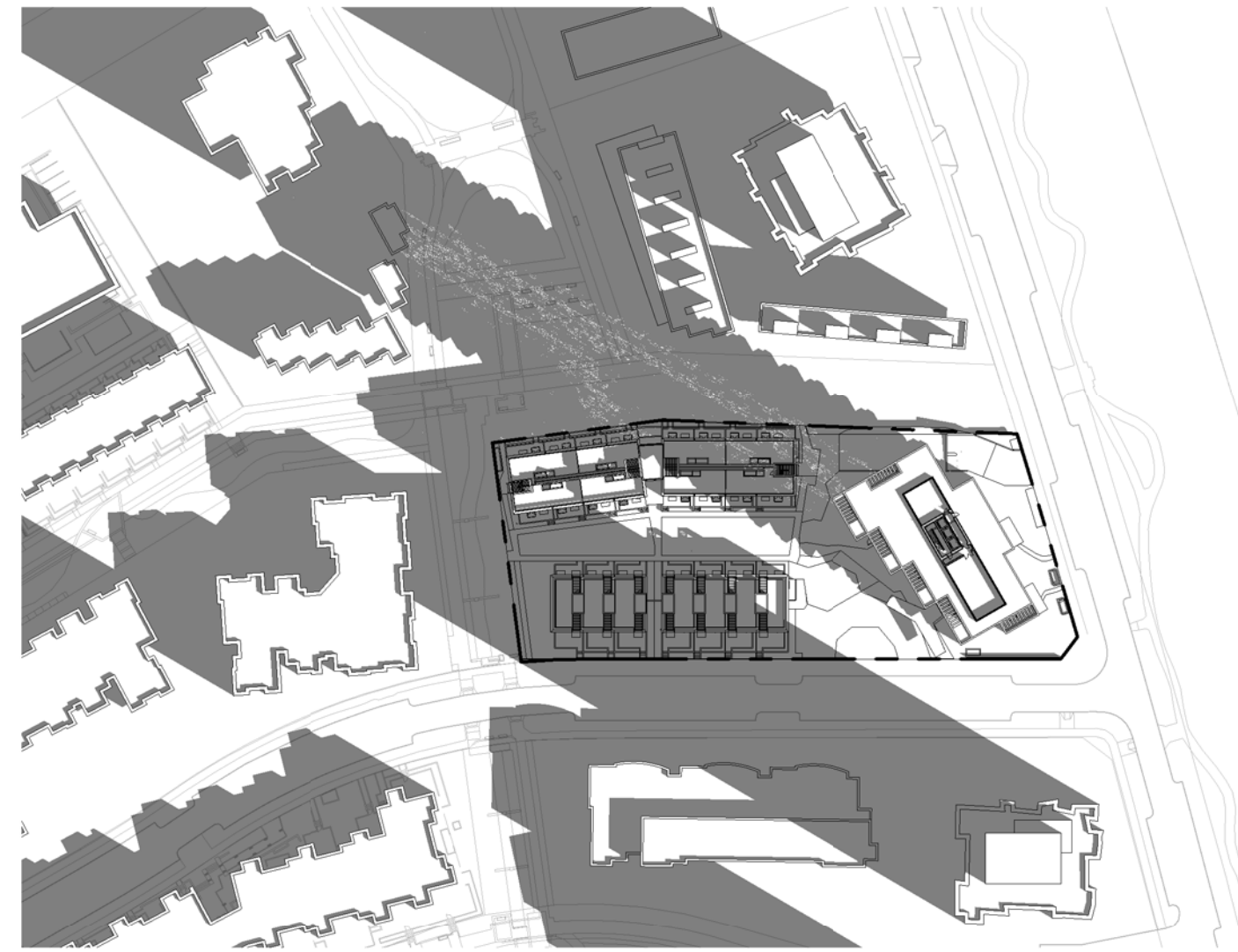
1 BASE SURFACE CALCULATION PLAN
1/16" = 1'-0"

BASE SURFACE CALCULATION OF BUILDING HEIGHT

$$= \frac{A+B+C+D}{4}$$

$$= \frac{(80.90M + 80.95M + 78.63M + 79.91M)}{4}$$

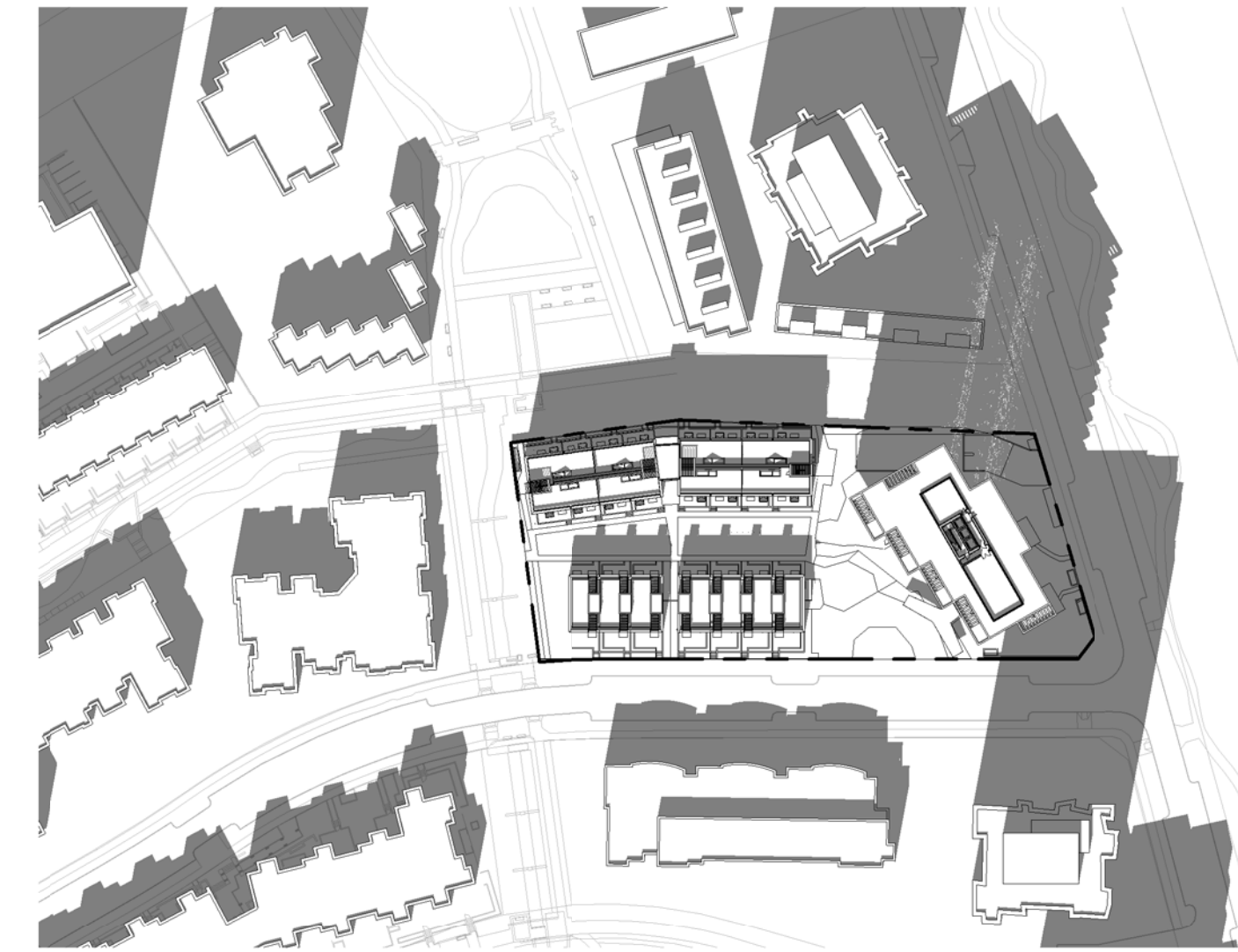
$$\boxed{80.10M = 262' - 9 1/2"} \leftarrow \text{BASE ELEVATION POINT TO MEASURE OVERALL BUILDING HEIGHT}$$



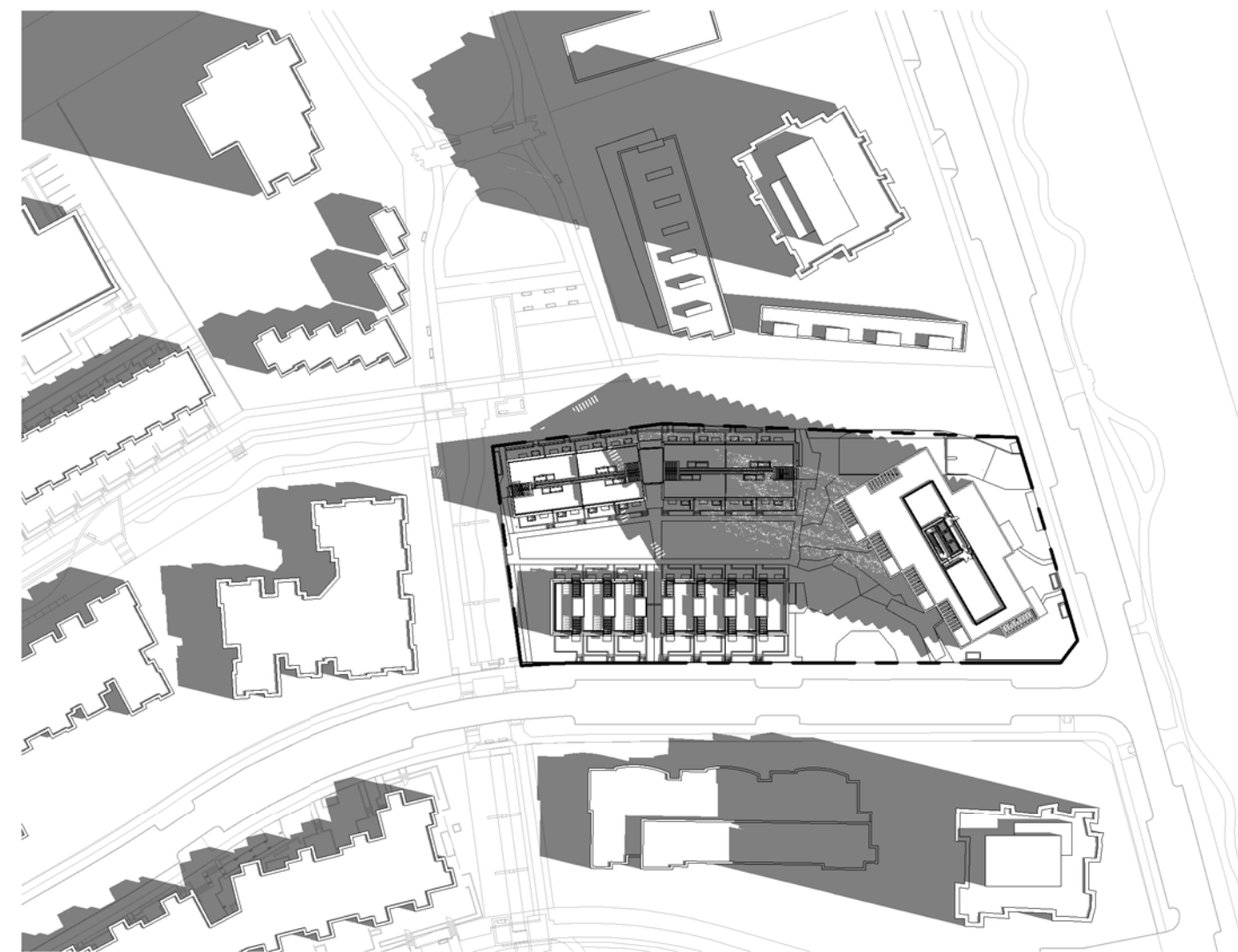
① SHADOWS - SPRING EQUINOX 10AM
1:1440



② SHADOWS - SPRING EQUINOX 12PM
1:1440



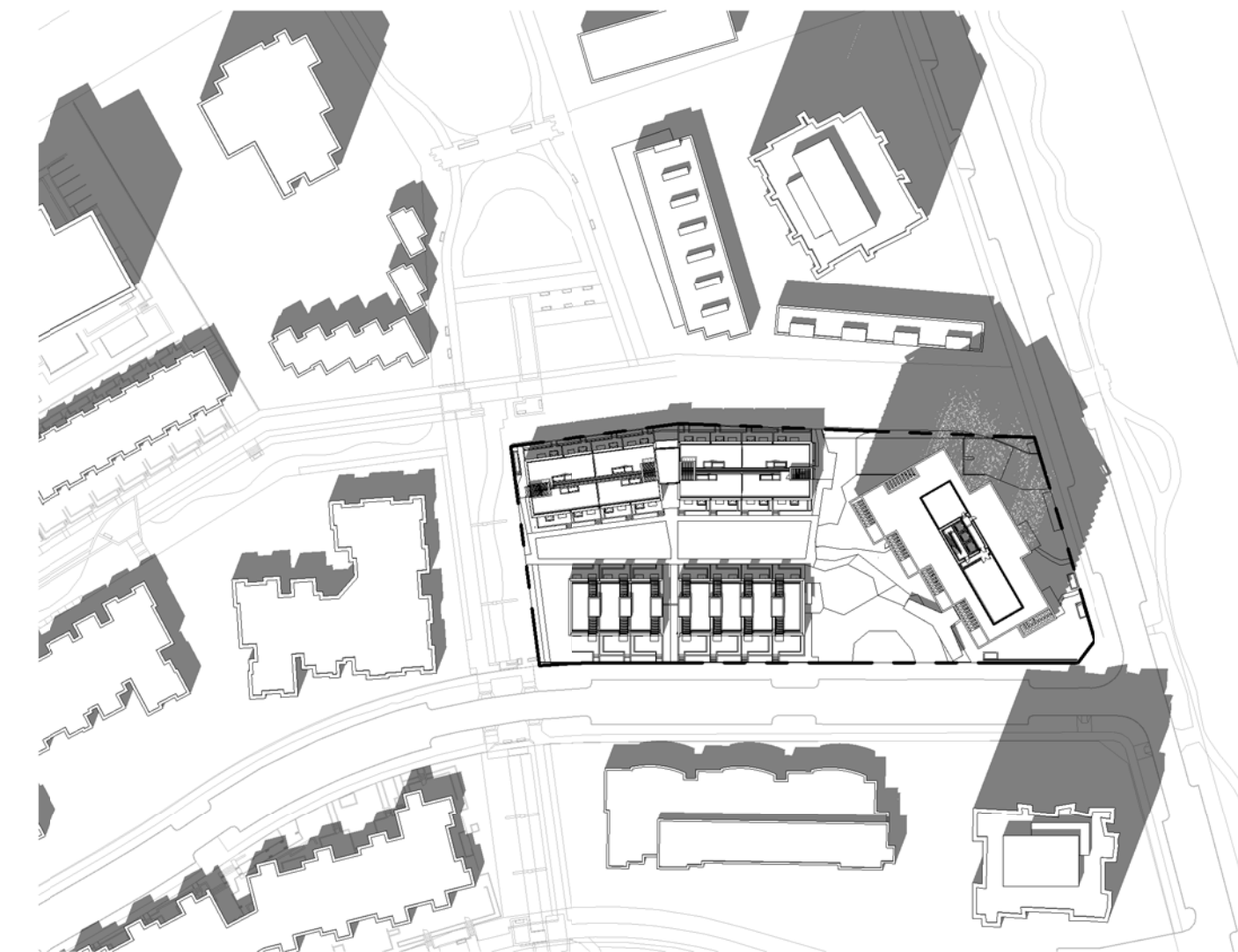
③ SHADOWS - SPRING EQUINOX 2PM
1:1440



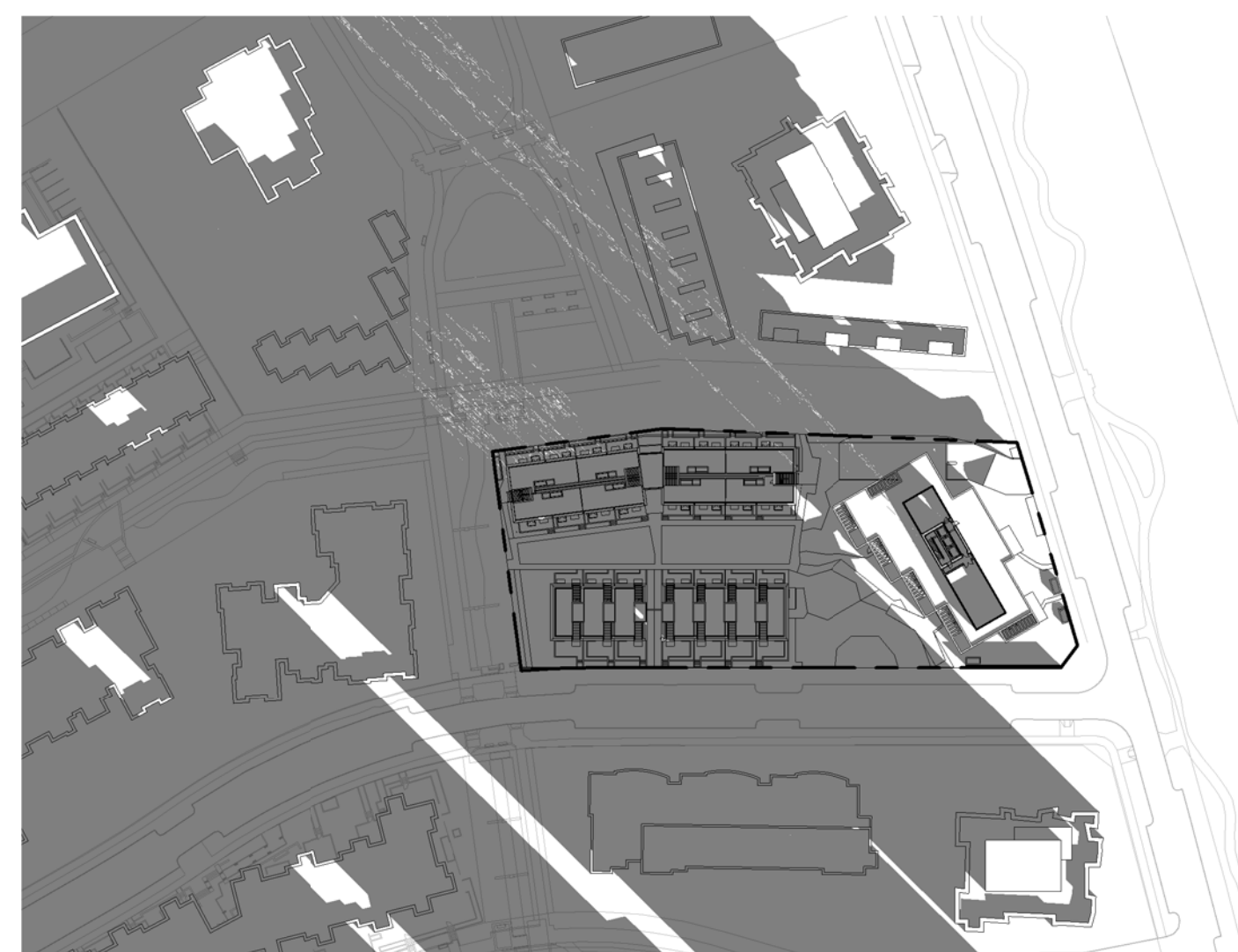
④ SHADOWS - SUMMER SOLSTICE 10AM
1:1440



⑤ SHADOWS - SUMMER SOLSTICE 12PM
1:1440



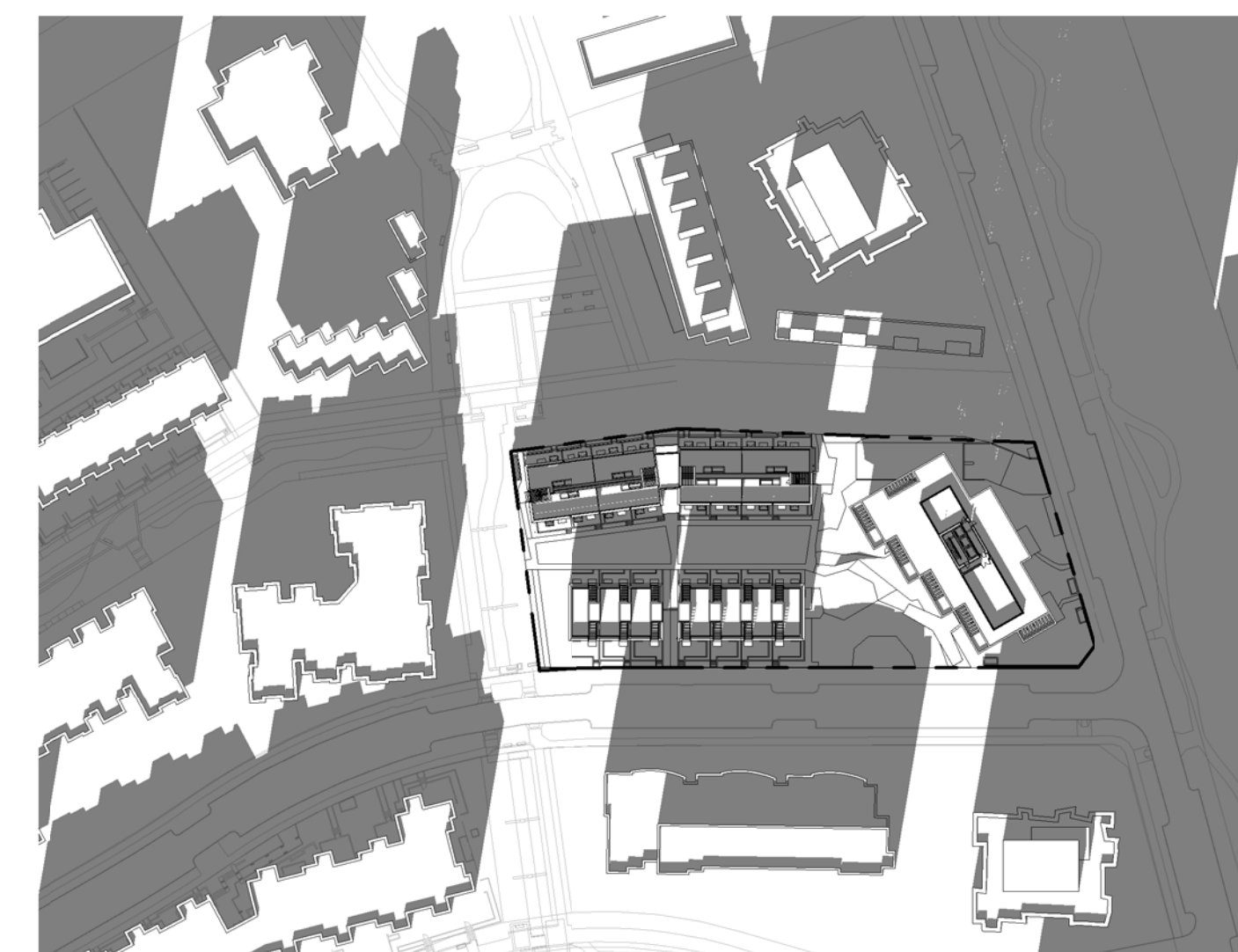
⑥ SHADOWS - SUMMER SOLSTICE 2PM
1:1440



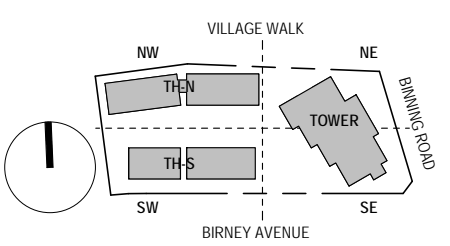
⑦ SHADOWS - WINTER SOLSTICE 10AM
1:1440



⑧ SHADOWS - WINTER SOLSTICE 12PM
1:1440



⑨ SHADOWS - WINTER SOLSTICE 2PM
1:1440

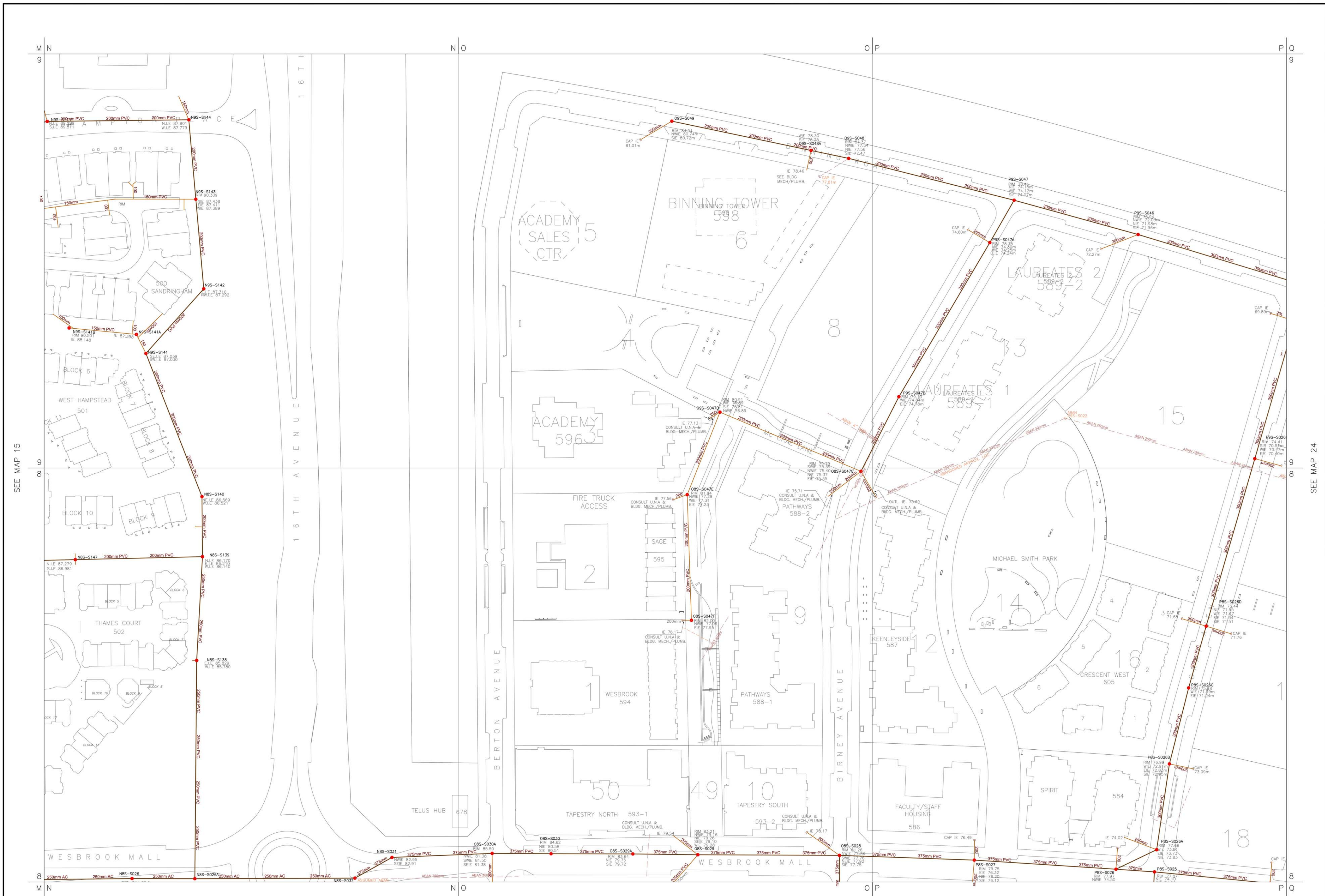


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

SHADOW STUDY

DP-054



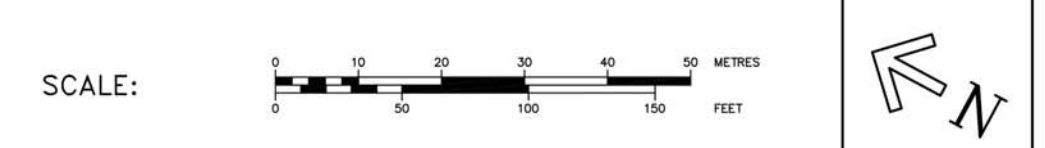
NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geodetic base. For details refer to UBC Monuments Plan-Standard No.01-01

THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

| NO | DESCRIPTION | DATE | BY |
|----|--|-------------|-----|
| 6 | WESBROOK PLACE PH1 EAST | OCT. 2/07 | DCB |
| 7 | WESBROOK PLACE PH1 EAST, REVISED WITH ROADWORK | JUNE 3/09 | DCB |
| 8 | PARKS AT WESBROOK PLACE PH1 EAST | APRIL 13/11 | DCB |
| 9 | TAPESTRY N & S SERVICE | APRIL 14/11 | DCB |
| 10 | BINNING TWR, ACADEMY, WESBK, PATHK, KEENL, SPIRIT, CRESCIT | OCT 4/16 | DCB |

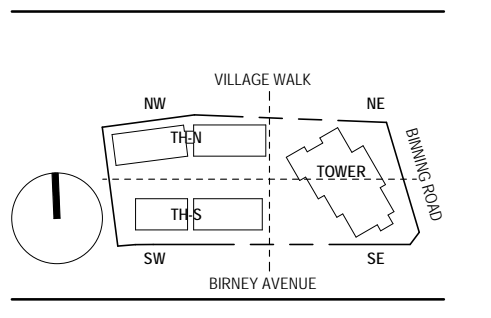
| SECTOR INDEX | | | |
|--------------|----|----|----|
| NORTH | 4 | 5 | 12 |
| NORTH | 3 | 6 | 11 |
| NORTH | 2 | 7 | 10 |
| NORTH | 1 | 8 | 9 |
| WEST | 13 | 14 | 23 |
| WEST | 12 | 15 | 22 |
| WEST | 11 | 16 | 21 |
| WEST | 10 | 17 | 20 |
| WEST | 9 | 18 | 19 |

The University of British Columbia
Energy and Water Services



SANITARY

SECTOR
22



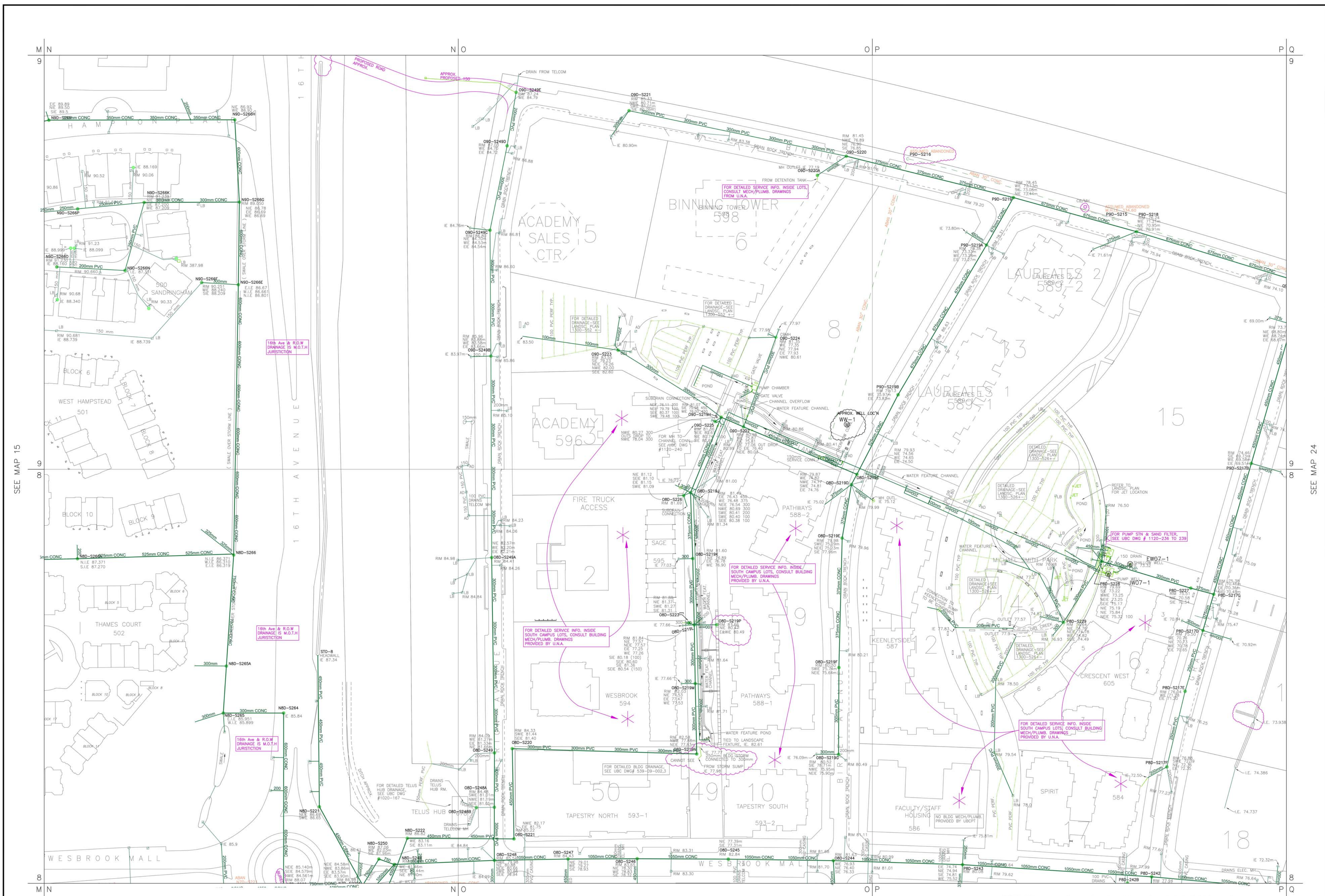
IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

UTILITY PLAN -
SANITARY

DP-061

C:\Temp\A_UBC_Col8\DP_Master_abdulhali.vrt 3/12/2018 12:09:53 PM



NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geoidic base.
For details refer to UBC Monuments Plan - Standard No.01-01

| NO | DESCRIPTION | DATE | BY |
|----|--|-------------|-----|
| 11 | DETAILED DRAINAGE OF SC PARKS - SMITH/KHORANA, GREEN STS | SEPT 6/12 | DCB |
| 12 | BINNING, ACADEMY, WESBK, PATHW, KEENEY, SPIRIT, CRESENT | OCT 6/16 | DCB |
| 8 | KHORANA & SMITH PARKS AT WESBROOK PLACE PH1 - EAST | APRIL 7/11 | DCB |
| 9 | 16TH AVE ROUNDABOUT | APRIL 13/11 | DCB |
| 10 | TAPESTRY N & S SERVICE | APRIL 14/11 | DCB |

| SECTOR INDEX | |
|--------------|-----------------------|
| NORTH | 4 5 12 15 22 24 30 |
| EAST | 3 6 11 16 21 25 29 31 |
| SOUTH | 2 7 10 17 20 26 28 |
| WEST | 1 8 9 18 19 27 |

THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

The University of British Columbia
Energy and Water Services

SCALE:

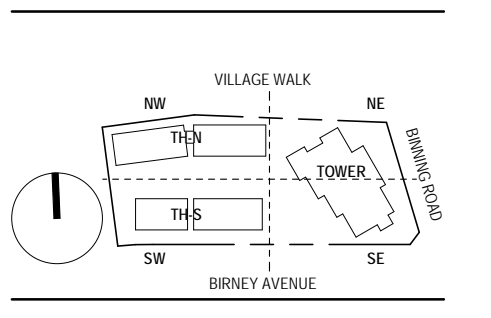
STORM

SECTOR 22

SEE MAP 15

SEE MAP 21

SEE MAP 24

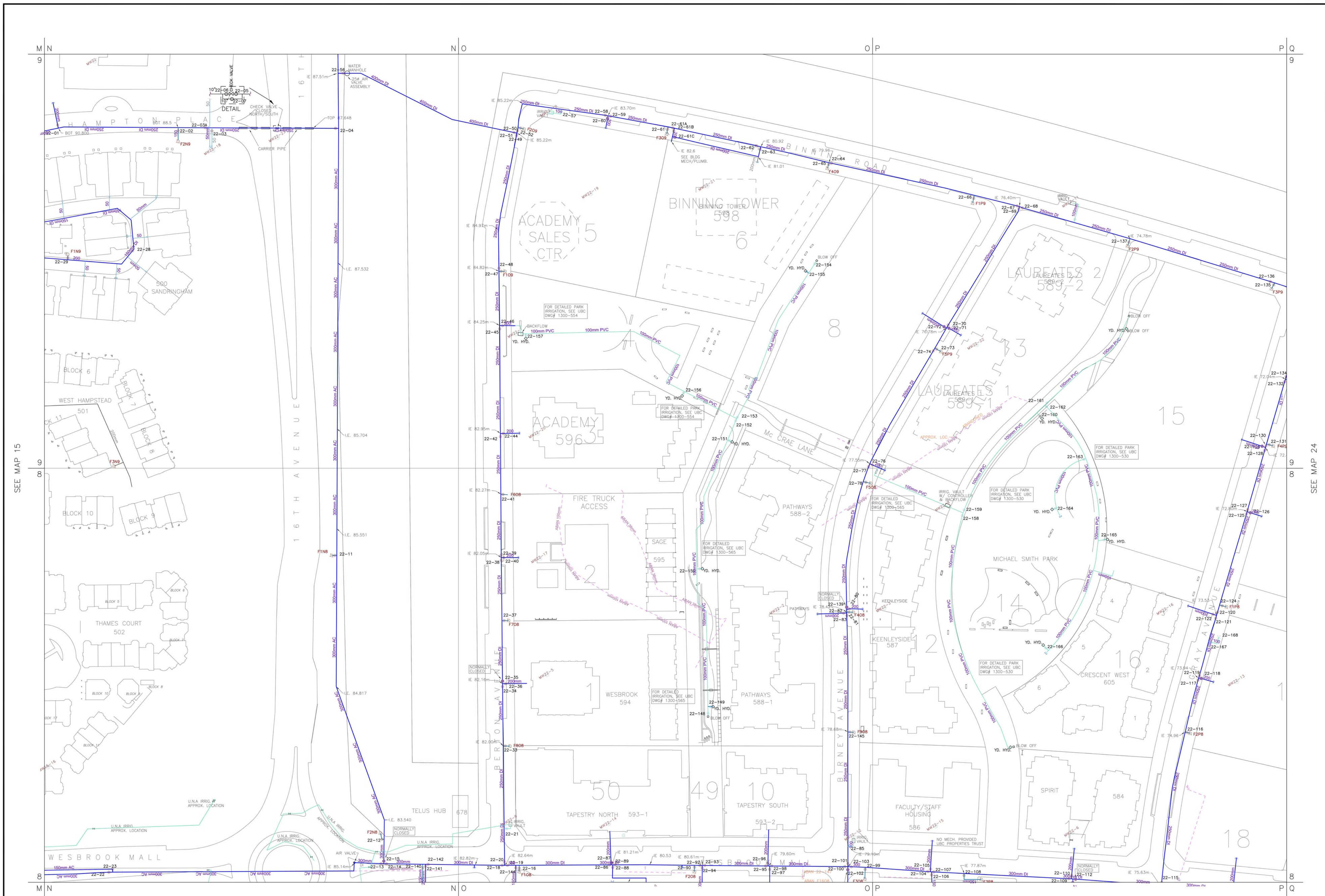


IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

UTILITY PLAN - STORM

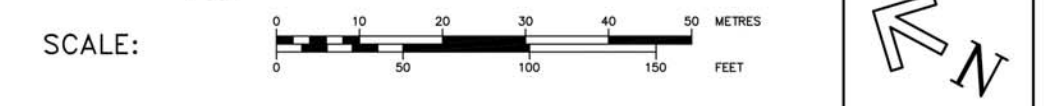
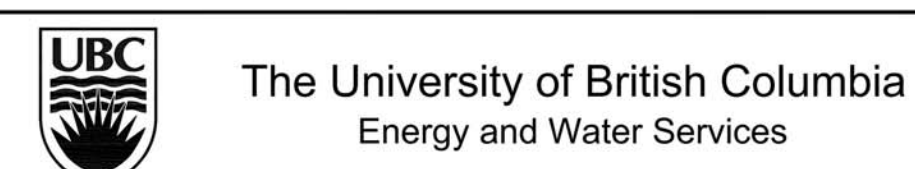
DP-062



THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

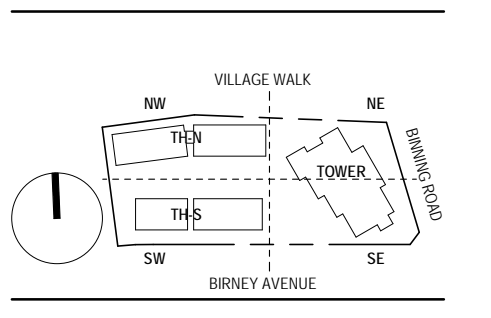
| NO | DESCRIPTION | DATE | BY |
|----|--|------------|-----|
| 6 | WESBROOK PLACE PH1 EAST - REVISED WITH ROADWORK | JULY 28/09 | DCB |
| 7 | KHORANA & SMITH PARKS AT WESBROOK PL PH1 EAST | MAR 7/11 | DCB |
| 8 | WESBROOK PLACE KHORANA & SMITH PARKS IRRIGATION | SEPT 7/12 | DCB |
| 9 | BINNING, ACADEMY, WESBK, PATHWAY, KEENLEY, SPIRIT, CRES. | OCT. 3/16 | DCB |
| 5 | WESBROOK PLACE PH1 | SEPT 28/07 | DCB |

| SECTOR INDEX | | | | | |
|--------------|------|------|------|------|------|
| NORTH | 4 | 5 | 12 | 14 | 23 |
| NORTH | 3 | 6 | 11 | 18 | 21 |
| NORTH | 2 | 7 | 10 | 17 | 20 |
| NORTH | 1 | 8 | 9 | 18 | 19 |
| WEST | WEST | WEST | WEST | WEST | WEST |



WATER

22



IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

UTILITY PLAN - WATER

DP-063

3/1/2018 12:10:36 PM C:\Temp\A-UBC Lot 8 DP Master_ahdullahs.rvt



NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geodetic base. For details refer to UBC Monuments Plan - Standard No.01-01

LEGEND: CATHODIC PROTECTION test stations symbols

- A anode
- B test station
- FTS fink test station
- FFS flush test station
- CTS cast iron test station

THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

| NO | DESCRIPTION | DATE | BY |
|----|---|-----------|-----|
| 16 | TAPESTRY N & S SERVICE, GAS YELLOW | MAR 17/16 | DCB |
| 17 | BINNING, ACADEMY, WESBK, KEENLY, SPIRIT, CRESENT | OCT 5/16 | DCB |
| 13 | WESBROOK PLACE PH1-EAST TERASEN GAS LINES & TRIUMF LINE | JAN 15/09 | DCB |
| 14 | UPDATED TERASEN LINES @ WESBK PL PH1-EAST & TRIUMF LINE | AUG 21/09 | DCB |
| 15 | TERASEN REGULATOR PIT 16TH AVE | JAN 28/10 | DCB |

| SECTOR INDEX | |
|--------------|-----------------------|
| NORTH | 4 5 12 15 22 24 30 |
| EAST | 3 6 11 16 21 25 29 31 |
| SOUTH | 2 7 10 17 20 26 28 |
| WEST | 1 8 9 18 19 27 |

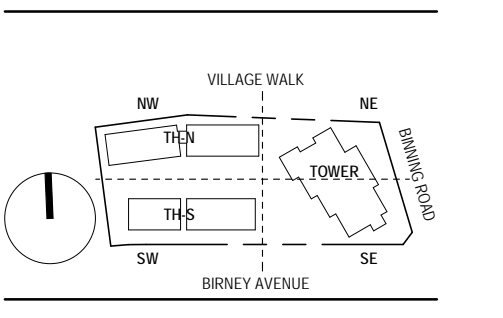
UBC
The University of British Columbia
Energy and Water Services

SCALE: 0 10 20 30 40 50 METRES
0 30 60 90 120 FEET

SEE MAP 21

GAS

SECTOR 22



IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

UTILITY PLAN - GAS

DP-064

3/12/2018 12:10:57 PM C:\Temp\A-UBC Lot 8 DP Master_abbulhsh.rvt

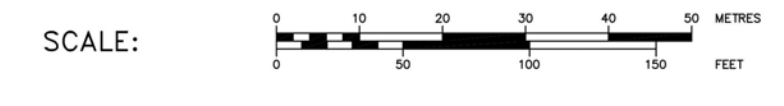
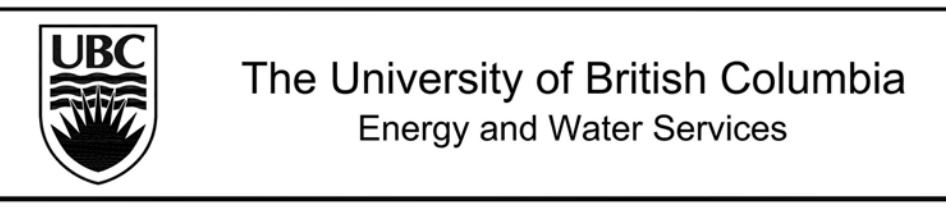


NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geodetic base. For details refer to UBC Monument - Plan Standard No.01-01

THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

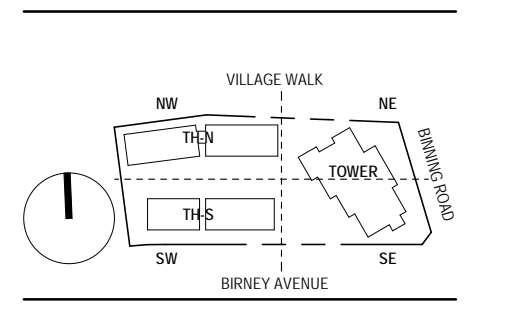
| NO | DESCRIPTION | DATE | BY |
|----|---|-----------|-----|
| 16 | BCH SERVICE TO BINNING, ACADEMY, WESBROK, SPIRIT, CRESENT | OCT 6/16 | DCB |
| 12 | WESBROOK PLACE PH1 EAST BOYHYDRO (INFO ONLY) AND TELCOM | AUG 27/09 | DCB |
| 13 | TELUS HUB @ WESBROOK/ BERTON, VARIOUS HYDRO PRELIM. | JAN 19/10 | DCB |
| 14 | BC HYDRO AS-BUILT DWGS FOR WESBROOK PH1 EAST | APR 7/10 | DCB |
| 15 | SERVICE TO SAGE | JULY 8/15 | DCB |

| SECTOR INDEX | |
|--------------|-----------------------|
| NORTH | 4 5 12 15 22 24 30 |
| SOUTH | 3 6 11 16 21 25 29 31 |
| WEST | 1 8 9 18 19 27 |
| EAST | 2 7 10 17 20 26 28 |



ELECTRICAL
(EXCLUDING STREET LIGHTS)

SECTOR
22



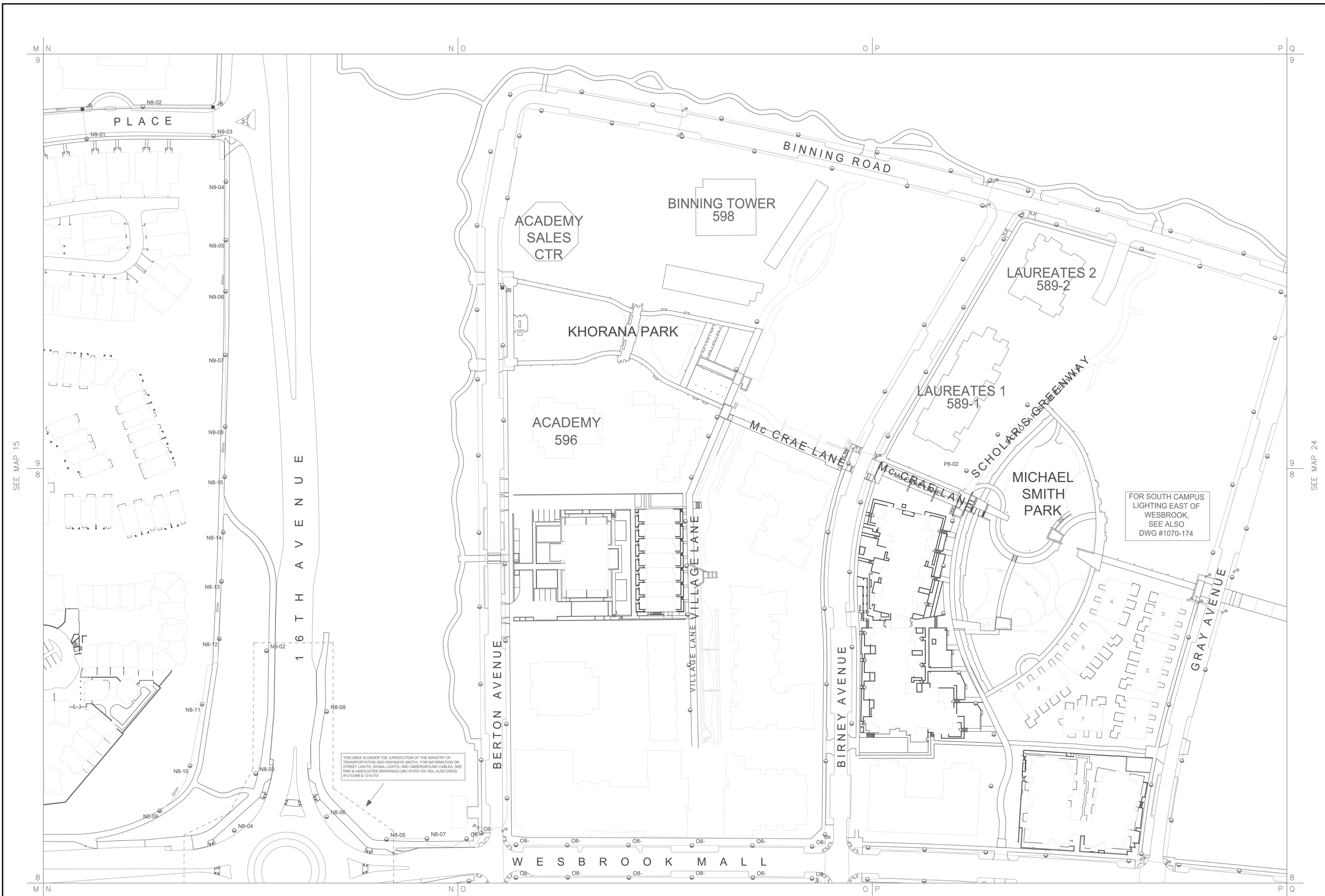
IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

UTILITY PLAN -
ELECTRICAL

DP-065

3/12/2018 12:11:23 PM C:\Temp\A-UBC Lot 8 DP Master_abbudlahs.rvt

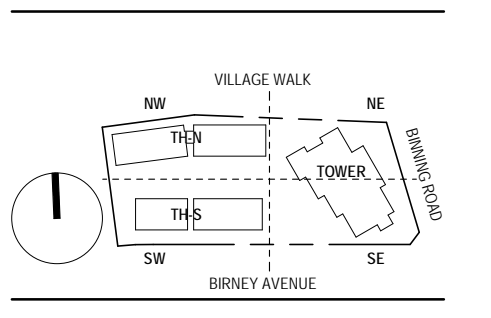


SEE MAP 15

SEE MAP 24

THIS AREA IS UNDER THE JURISDICTION OF THE MINISTRY OF TRANSPORTATION AND HIGHWAYS (MOTHS) FOR INFORMATION ON STREET LIGHTS, SIGNAL LIGHTS, AND UNDERGROUND CABLES, SEE DMG & ASSOCIATES DRAWINGS (SRC #1070-164-160), ALSO DWGS #1210-699 & 1210-701

FOR SOUTH CAMPUS LIGHTING EAST OF WESBROOK, SEE ALSO DWG #1070-174



IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

UTILITY PLAN - STREET LIGHTS

DP-066

REVISED TO LATEST DATE

| NO | DESCRIPTION | DATE | BY |
|----|--|-----------|-----|
| 6 | WESBROOK PLACE PARKS LIGHTING | APR 6/11 | HGH |
| 7 | KHORANA & MICHAEL SMITH PARKS LIGHTING | APR 21/11 | HGH |
| 8 | STREETLIGHT UPDATE DWG. 1070-190 | 08 AUG 16 | EL |
| 4 | WESBROOK PLACE PHASE 1 EAST | OCT 14/09 | HOW |
| 5 | ROUNDABOUT INFORMATION DWG. 1070-162 | JAN 20/10 | DCB |

| | | GRID COORDINATES | | | | | | | | | |
|-------|---|------------------|----|----|----|----|----|----|--|--|--|
| | | 13 | 14 | 23 | | | | | | | |
| NORTH | 4 | 5 | 12 | 15 | 22 | 24 | 30 | | | | |
| EAST | 3 | 6 | 11 | 16 | 21 | 25 | 29 | 31 | | | |
| SOUTH | 2 | 7 | 10 | 17 | 20 | 26 | 28 | | | | |
| WEST | 1 | 8 | 9 | 18 | 19 | 27 | | | | | |

The University of British Columbia
Infrastructure Development

FOR REFERENCE ONLY



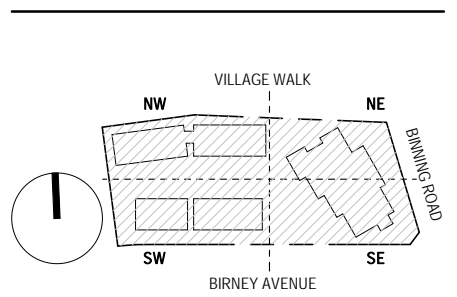
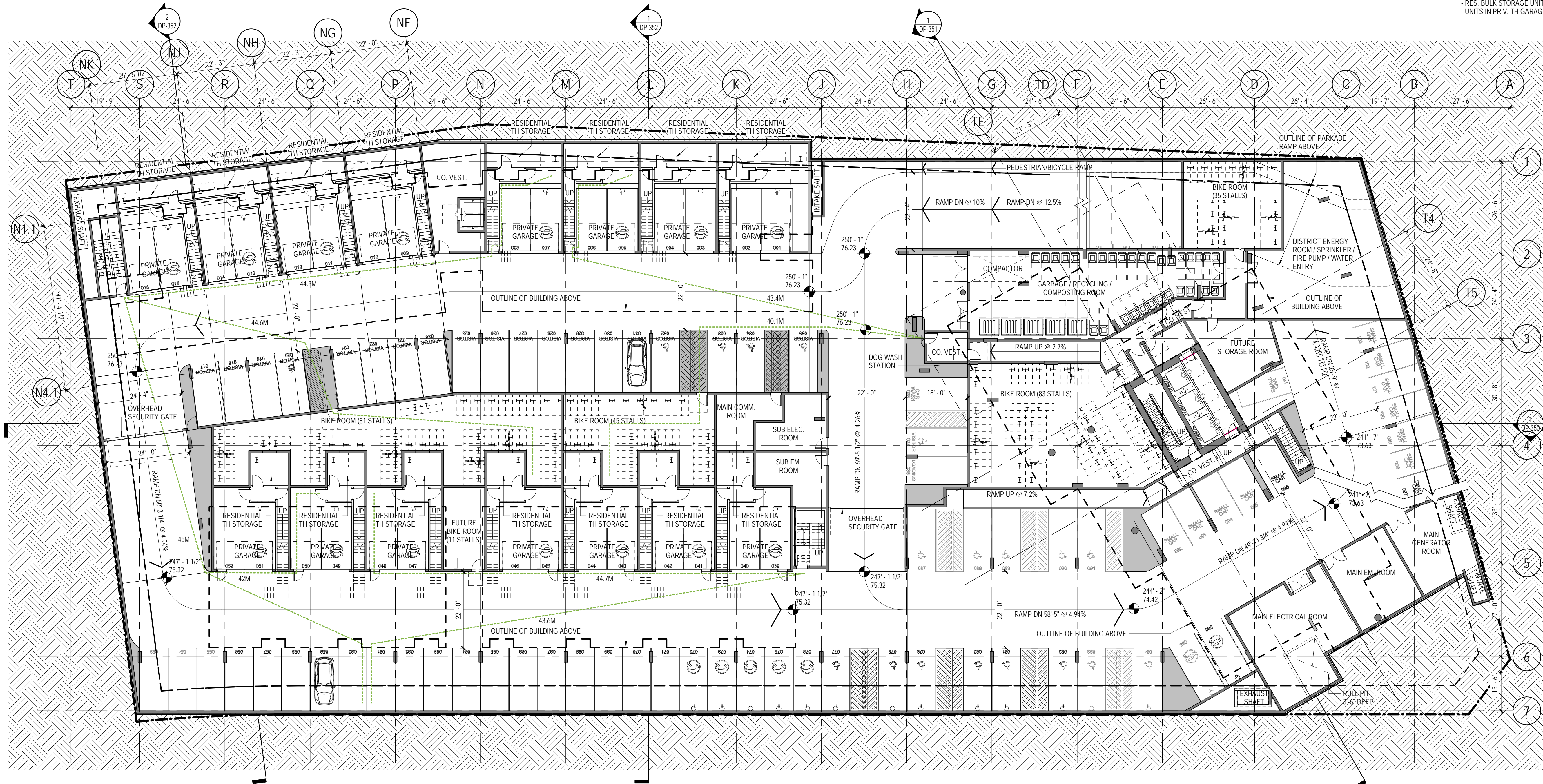
STREET LIGHTS

22

NOTE: When converting metric to imperial elevation include 91.62 feet to the imperial geodetic base.
For details refer to UBC Monument Plan Standard No.01-01

SEE MAP 21

| VEHICULAR PARKING COUNT P1 | |
|---|------------|
| RESIDENTIAL STALLS TOTAL | 074 |
| - REG. STALLS | 019 |
| - EV REGULAR STALLS | 007 |
| - REG. STALLS (IN 15 PRIV GAR.) | 015 |
| - EV REG. STALLS (PRIV GAR.) | 015 |
| - H/C STALLS | 005 |
| - EV H/C STALLS | 008 |
| - SMALL CAR STALLS | 005 |
| VISITOR STALLS TOTAL | 020 |
| - REG. STALLS | 014 |
| - H/C STALLS | 006 |
| TOTAL STALL COUNT P1 | 094 |
| ADDITIONAL STALLS NOT INCLUDED IN COUNT | |
| CLASS A LOADING | 001 |
| CAR WASH | 001 |
| BICYCLE PARKING COUNT P1 | |
| CLASS I STALLS TOTAL | 274 |
| - STALLS IN BICYCLE STORAGE | 244 |
| - STALLS IN PRIV. TH GARAGES | 030 |
| RESIDENTIAL STORAGE COUNT P1 | |
| RES. STORAGE UNITS TOTAL | 015 |
| - RES. BULK STORAGE UNITS | 000 |
| - UNITS IN PRIV. TH GARAGES | 015 |



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - PARKING - LEVEL P1

1 PARKING PLAN - LEVEL P1
1/16" = 1'-0"

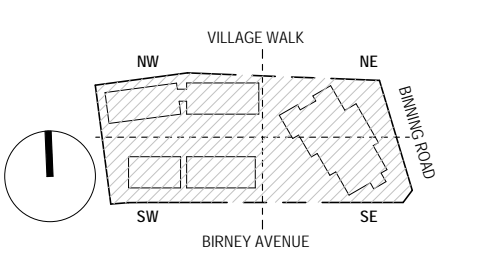
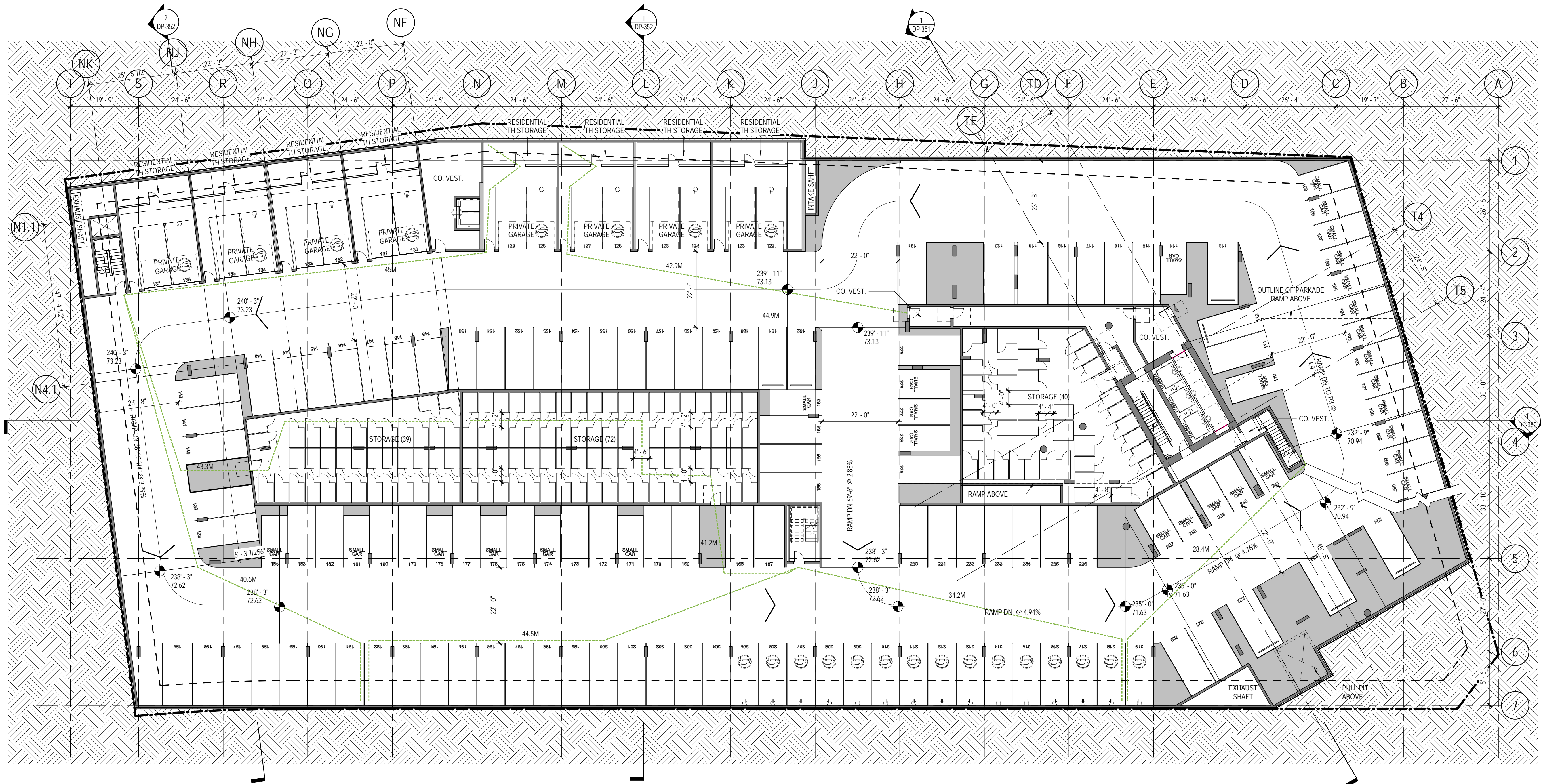
VEHICULAR PARKING COUNT P2

| | |
|---------------------------------|-----|
| RESIDENTIAL STALLS TOTAL | 145 |
| - REG. STALLS | 084 |
| - EV REGULAR STALLS | 015 |
| - REG. STALLS (IN 8 PRIV. GAR.) | 008 |
| - EV REG. STALLS (PRIV. GAR.) | 008 |
| - SMALL CAR STALLS | 030 |

TOTAL STALL COUNT P2 145

RESIDENTIAL STORAGE COUNT P2

| | |
|-----------------------------|-----|
| RES. STORAGE UNITS TOTAL | 159 |
| - RES. BULK STORAGE UNITS | 151 |
| - UNITS IN PRIV. TH GARAGES | 008 |



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - PARKING
- LEVEL P2

1 PARKING PLAN - LEVEL P2
1/16" = 1'-0"

VEHICULAR PARKING COUNT P3

| | |
|---------------------------------|-----|
| RESIDENTIAL STALLS TOTAL | 066 |
| - REG. STALLS | 035 |
| - REG. STALLS (IN 8 PRIV. GAR.) | 008 |
| - EV REG. STALLS (PRIV. GAR.) | 008 |
| - SMALL CAR STALLS | 015 |

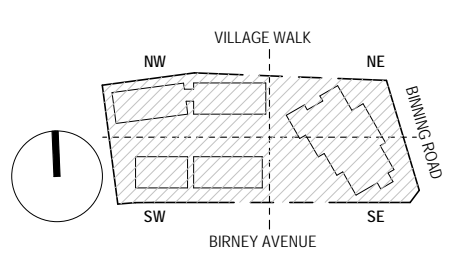
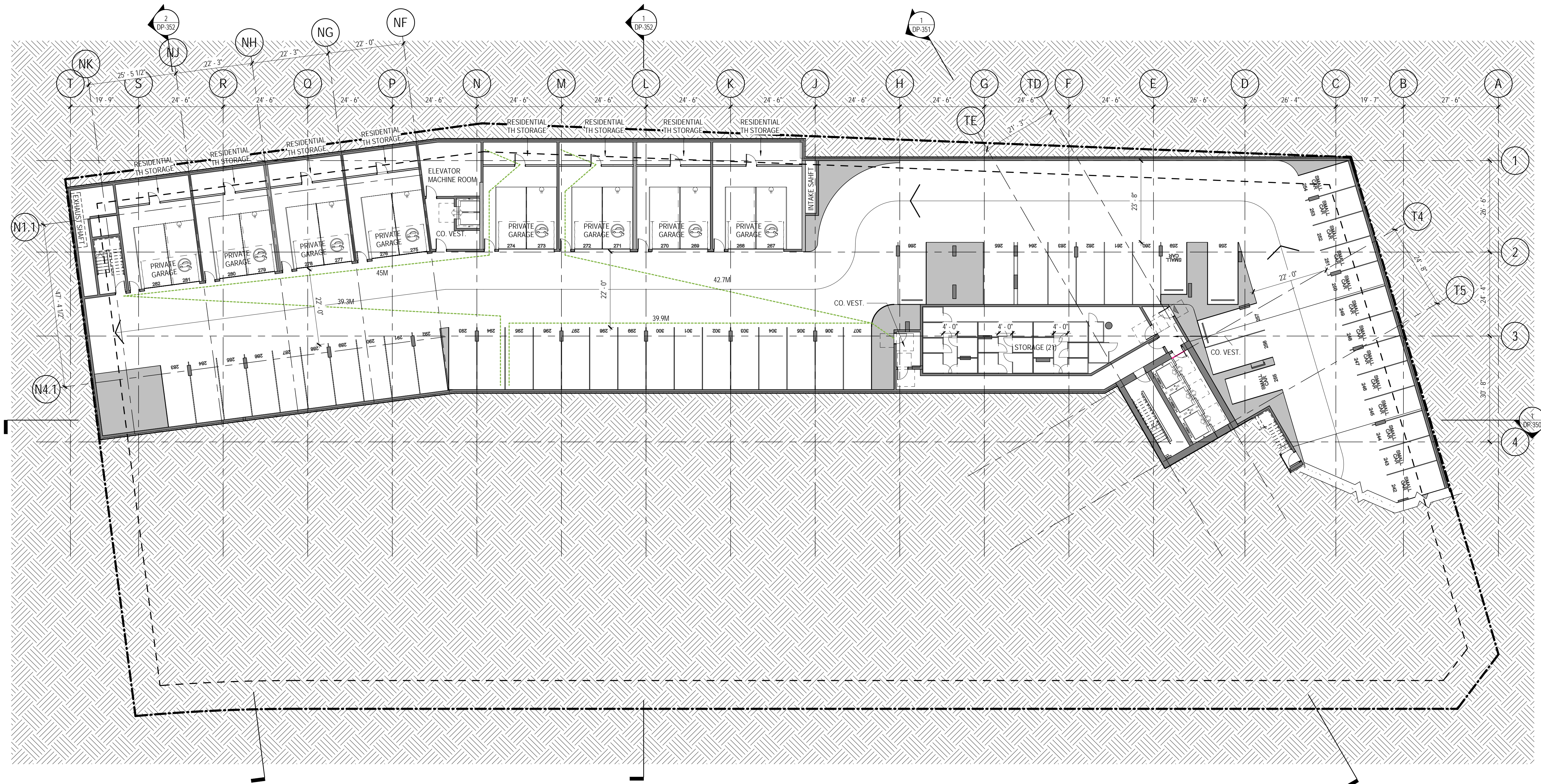
TOTAL STALL COUNT P3

| | |
|----------------------|-----|
| TOTAL STALL COUNT P3 | 066 |
|----------------------|-----|

RESIDENTIAL STORAGE COUNT P3

| | |
|-----------------------------|-----|
| RES. STORAGE UNITS TOTAL | 029 |
| - RES. BULK STORAGE UNITS | 021 |
| - UNITS IN PRIV. TH GARAGES | 008 |

DEVELOPMENT PERMIT
RE-SUBMISSION
2018-03-02



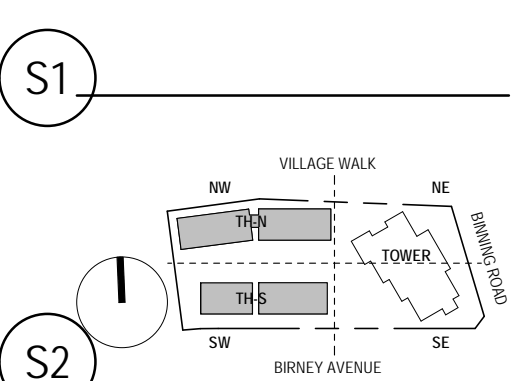
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - PARKING
- LEVEL P3

1 PARKING PLAN - LEVEL P3
1/16" = 1'-0"

DP-103



C:\Temp\A-UBC_Cat8\DP-Master_abdulhaki.rvt
3/1/2018 12:12:48 PM

1 TOWNHOUSE PLAN - LEVEL 01
1/8" = 1'-0"



| | |
|------|--------|
| TH | 08 |
| TYPE | 3 BR+D |
| SIZE | 922 SF |

| | |
|------|--------|
| TH | 07 |
| TYPE | 3 BR+D |
| SIZE | 873 SF |

| | |
|------|--------|
| TH | 06 |
| TYPE | 3 BR+D |
| SIZE | 873 SF |

| | |
|------|--------|
| TH | 05 |
| TYPE | 3 BR+D |
| SIZE | 874 SF |

| | |
|------|--------|
| TH | 04 |
| TYPE | 3 BR+D |
| SIZE | 874 SF |

| | |
|------|--------|
| TH | 03 |
| TYPE | 3 BR+D |
| SIZE | 873 SF |

| | |
|------|--------|
| TH | 02 |
| TYPE | 3 BR+D |
| SIZE | 873 SF |

| | |
|------|--------|
| TH | 01 |
| TYPE | 3 BR+D |
| SIZE | 922 SF |

| | |
|------|--------|
| TH | 15 |
| TYPE | 3 BR+D |
| SIZE | 851 SF |

| | |
|------|--------|
| TH | 14 |
| TYPE | 3 BR+D |
| SIZE | 844 SF |

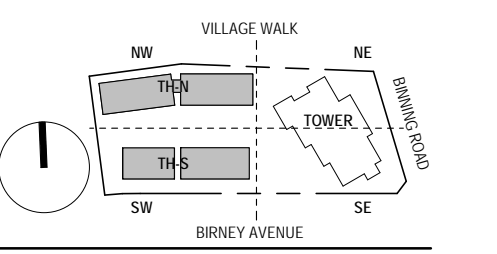
| | |
|------|--------|
| TH | 13 |
| TYPE | 3 BR+D |
| SIZE | 851 SF |

| | |
|------|--------|
| TH | 12 |
| TYPE | 3 BR+D |
| SIZE | 851 SF |

| | |
|------|--------|
| TH | 11 |
| TYPE | 3 BR+D |
| SIZE | 844 SF |

| | |
|------|--------|
| TH | 10 |
| TYPE | 3 BR+D |
| SIZE | 844 SF |

| | |
|------|--------|
| TH | 09 |
| TYPE | 3 BR+D |
| SIZE | 851 SF |

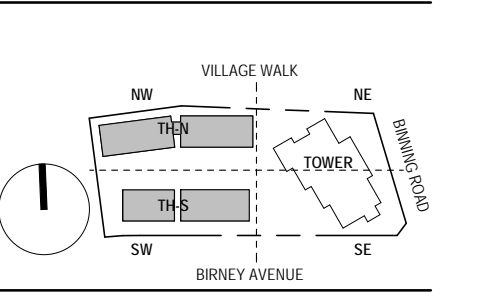
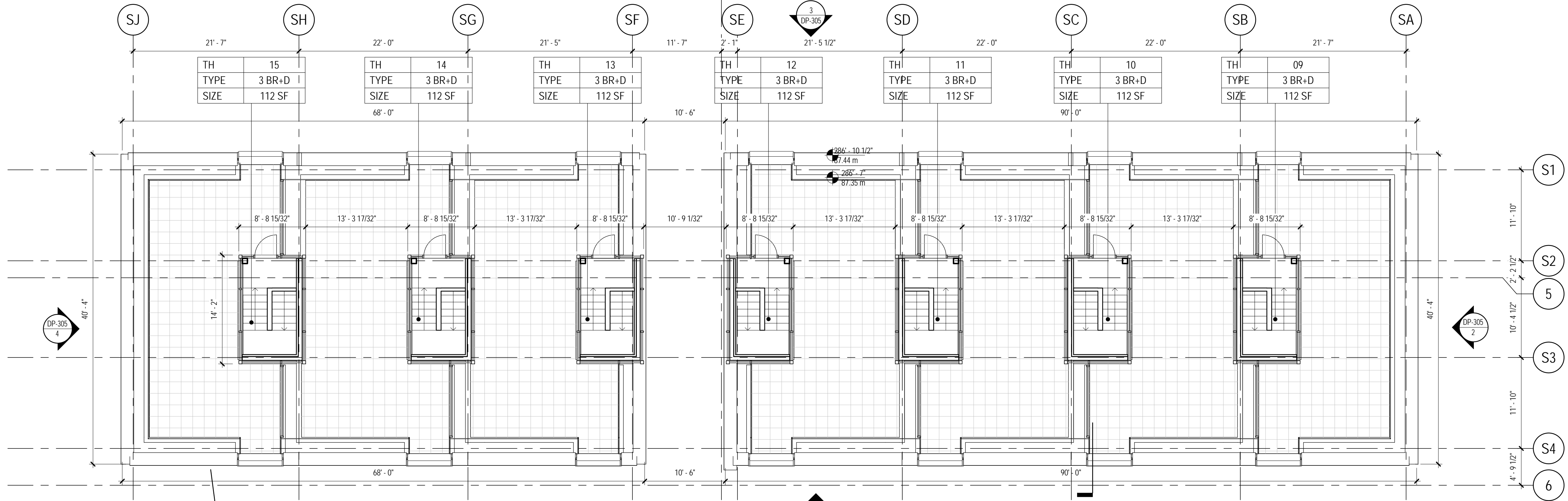
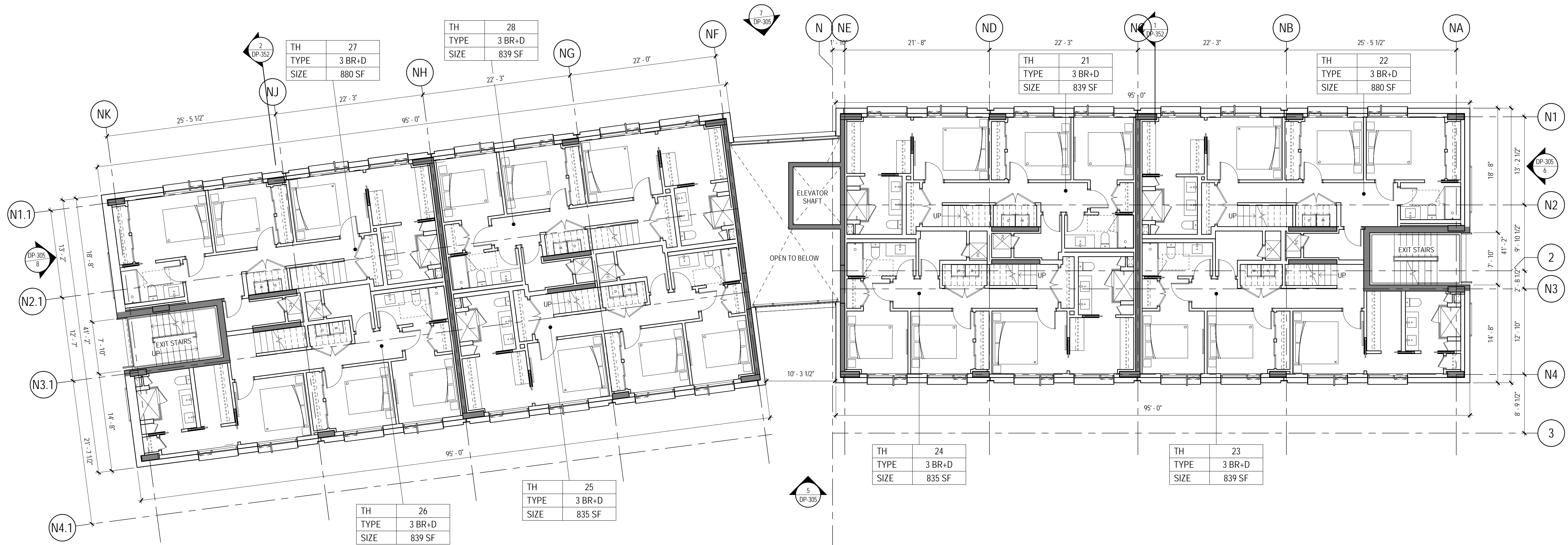


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN -
TOWNHOUSE - LEVEL 02

1 TOWNHOUSE PLAN - LEVEL 02
1/8" = 1'-0"



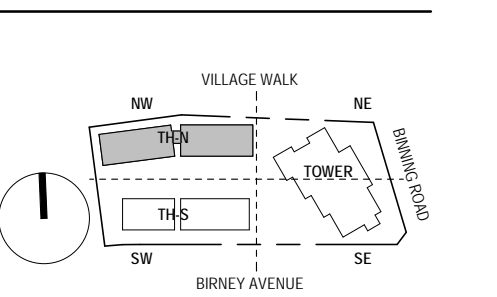
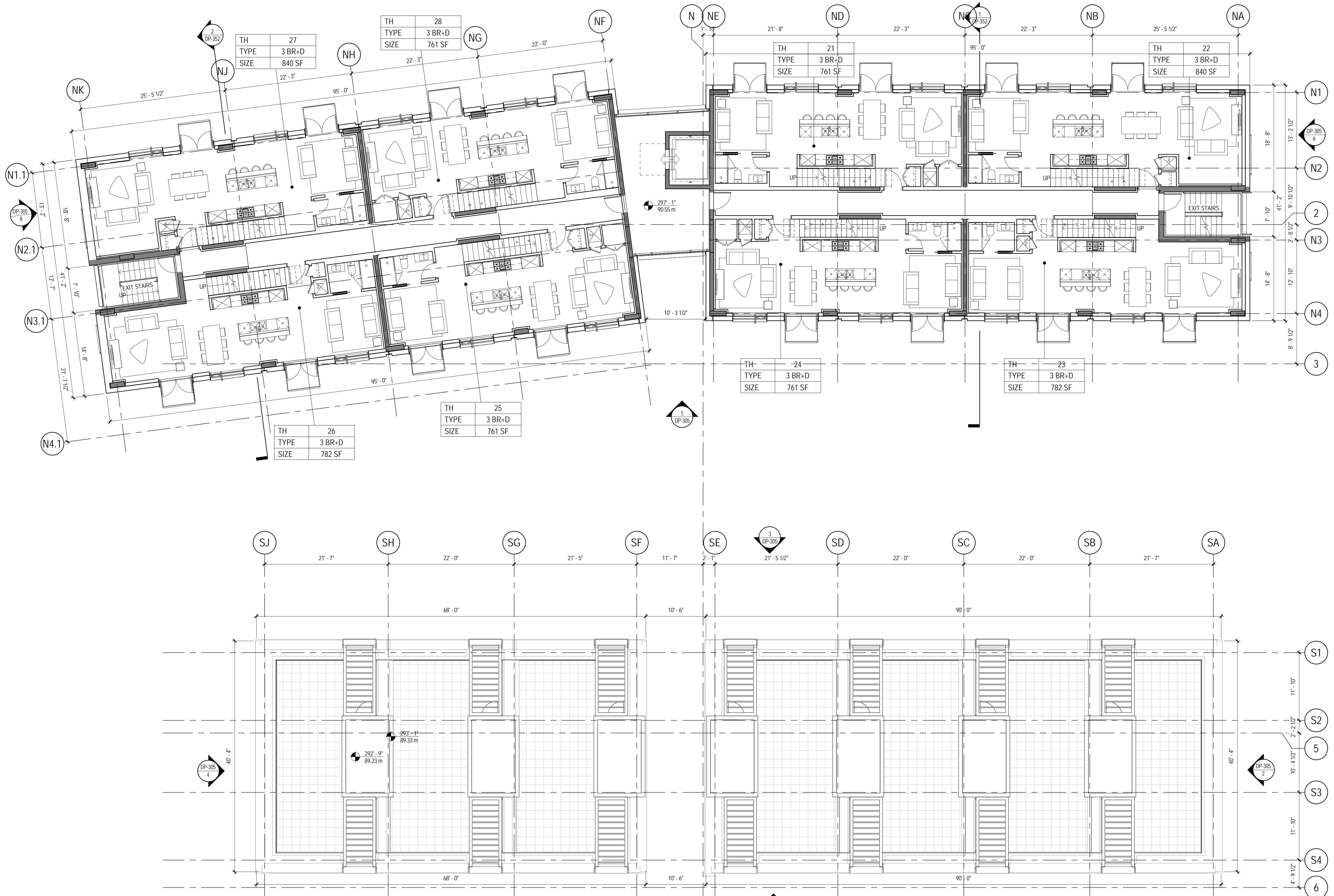
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN -
TOWNHOUSE - LEVEL 03

1 TOWNHOUSE PLAN - LEVEL 03
1/8" = 1'-0"

DP-113



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

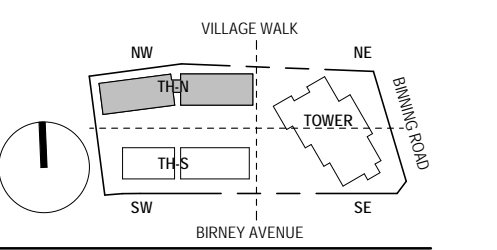
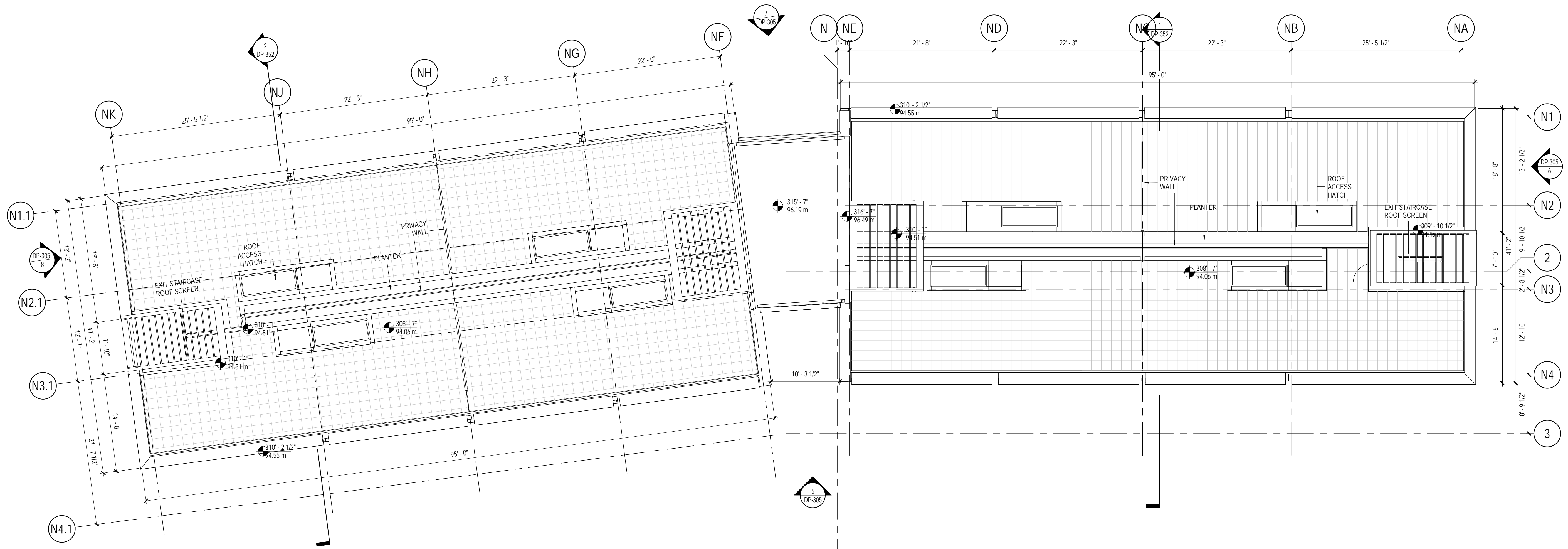
FLOOR PLAN -
TOWNHOUSE - LEVEL 04

DP-114

1 TOWNHOUSE PLAN - LEVEL 04
1/8" = 1'-0"

C:\Temp\A-UBC Lot 8\DP Master_abdulhali.rvt

3/12/2018 4:29:49 PM



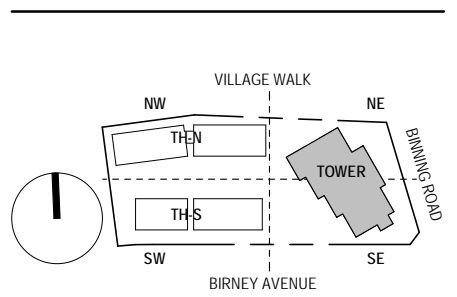
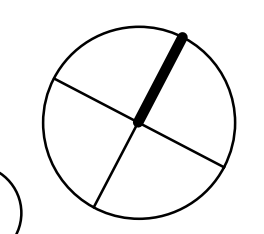
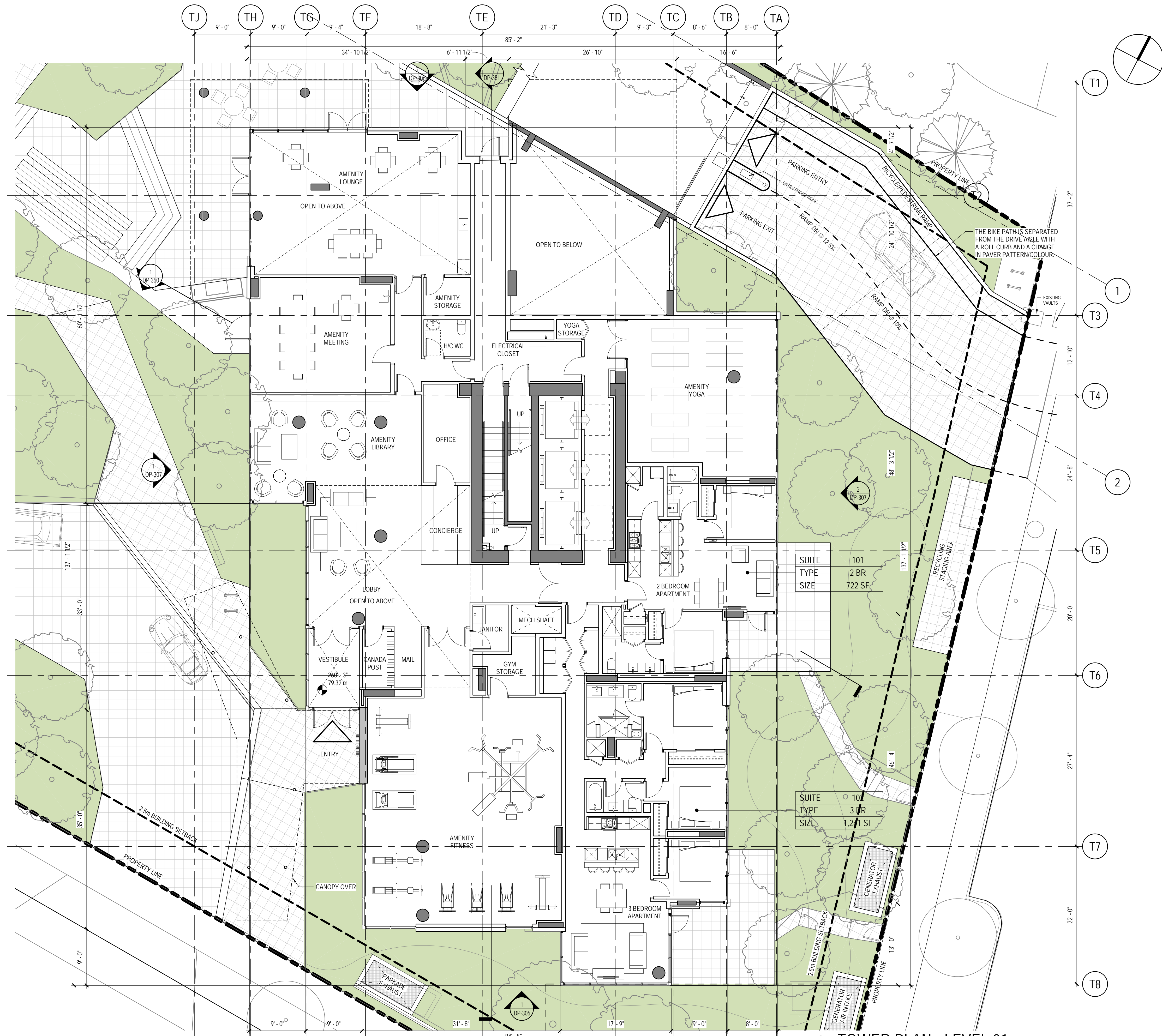
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN -
TOWNHOUSE - LEVEL 05

DP-115

1 TOWNHOUSE PLAN - LEVEL 05
1/8" = 1'-0"



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

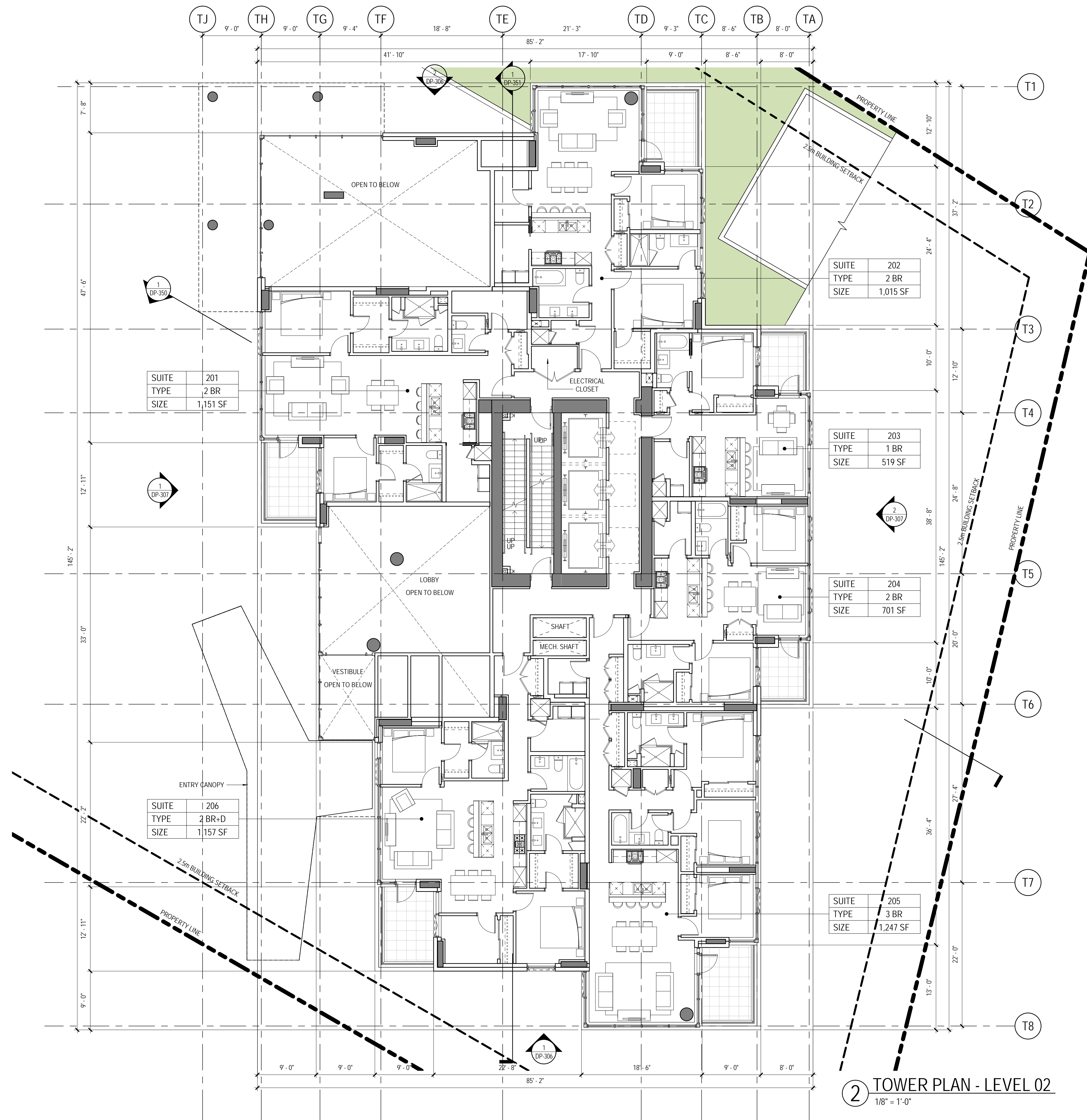
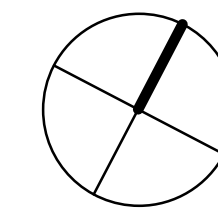
FLOOR PLAN - TOWER -
LEVEL 01

DP-121

1 TOWER PLAN - LEVEL 01
1/8" = 1'-0"

C:\Temp\A-UBC_Lot 8 DP Master_smydare.rvt

3/8/2018 8:59:37 AM



| | |
|-------|----------|
| SUITE | 202 |
| TYPE | 2 BR |
| SIZE | 1,015 SF |

| | |
|-------|----------|
| SUITE | 201 |
| TYPE | 2 BR |
| SIZE | 1,151 SF |

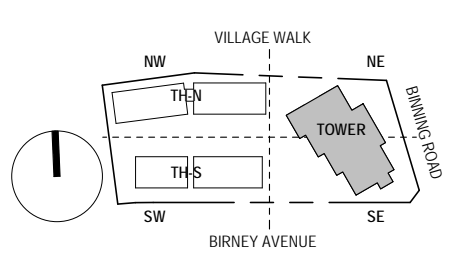
| | |
|-------|--------|
| SUITE | 203 |
| TYPE | 1 BR |
| SIZE | 519 SF |

| | |
|-------|--------|
| SUITE | 204 |
| TYPE | 2 BR |
| SIZE | 701 SF |

| | |
|-------|----------|
| SUITE | 1206 |
| TYPE | 2 BR+D |
| SIZE | 1,157 SF |

| | |
|-------|----------|
| SUITE | 205 |
| TYPE | 3 BR |
| SIZE | 1,247 SF |

2 TOWER PLAN - LEVEL 02
1/8" = 1'-0"

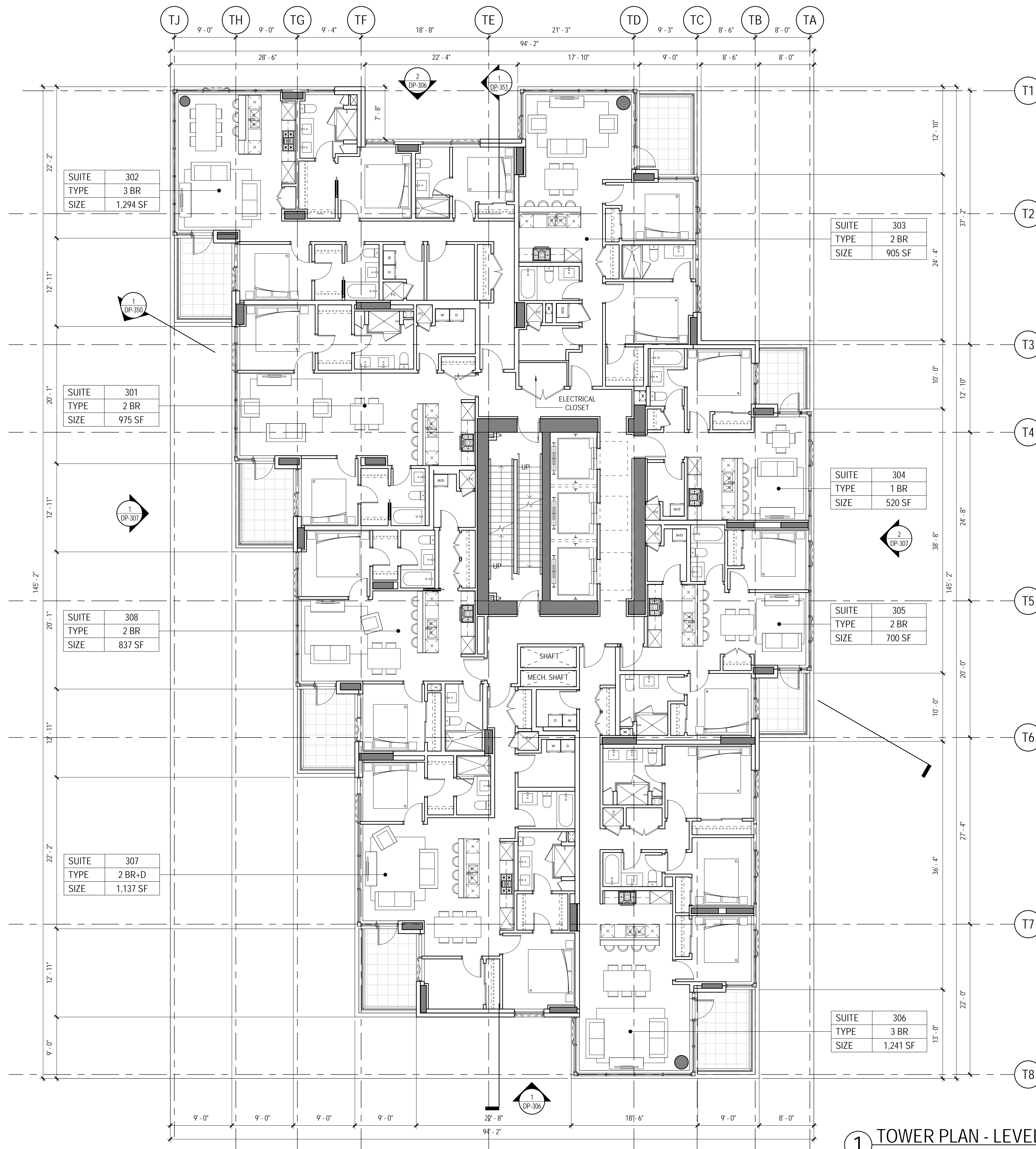
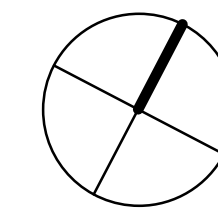


IVY ON THE PARK
LOT 8

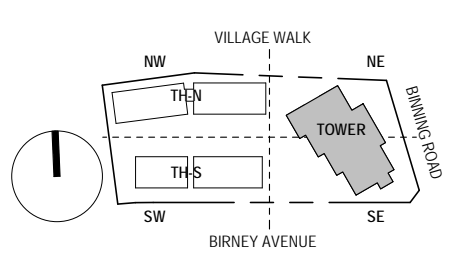
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - TOWER -
LEVEL 02

DP-122



1 TOWER PLAN - LEVEL 03-16
1/8" = 1'-0"

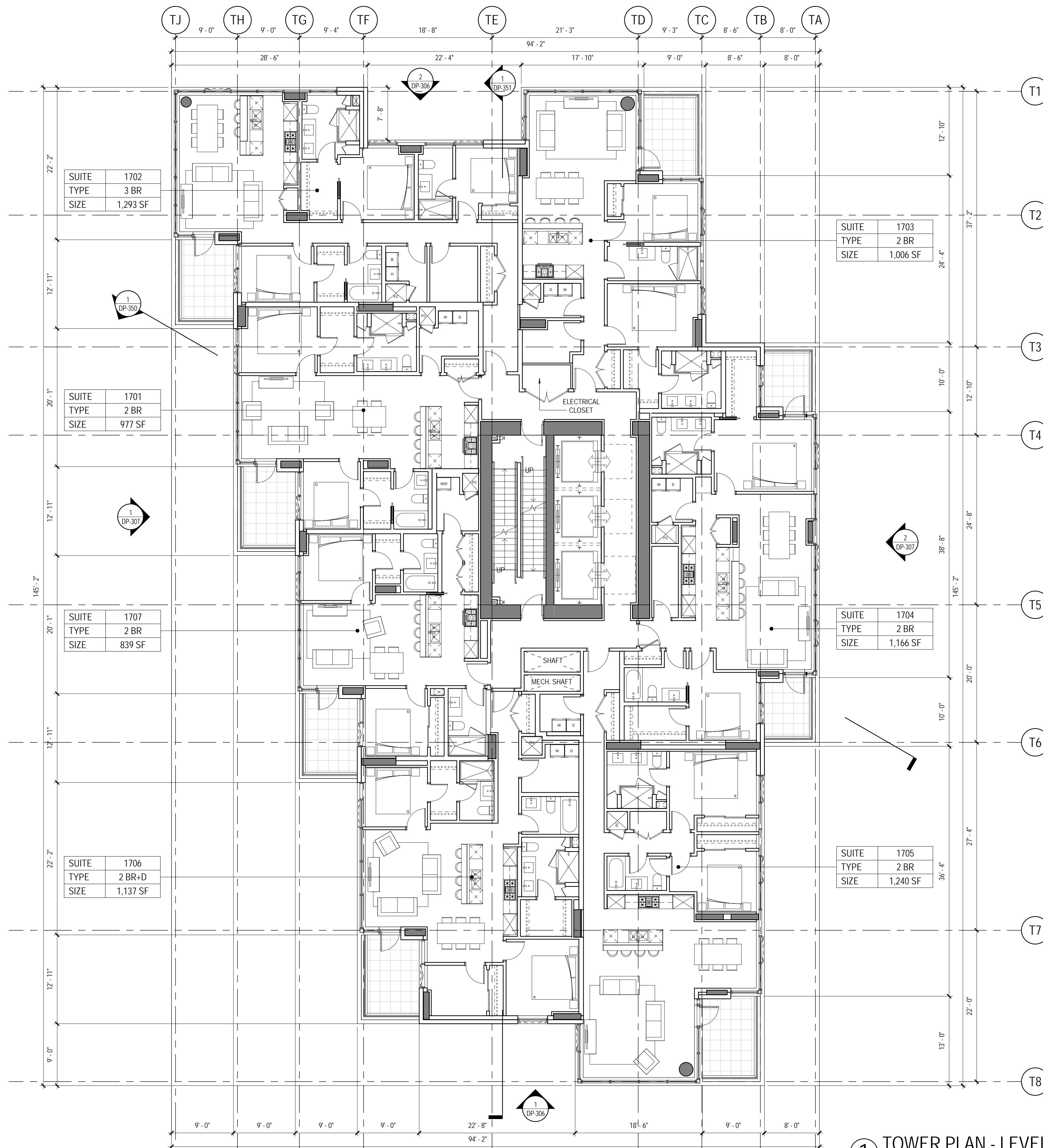
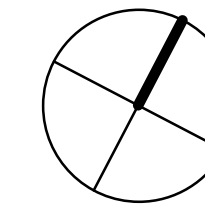


IVY ON THE PARK
LOT 8

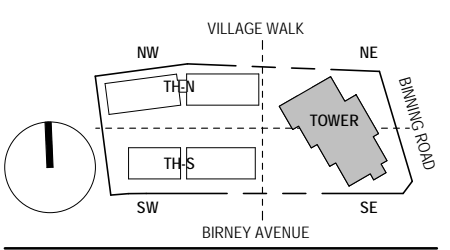
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - TOWER - LEVELS 03-16

DP-123



1 TOWER PLAN - LEVEL 17-21
1/8" = 1'-0"

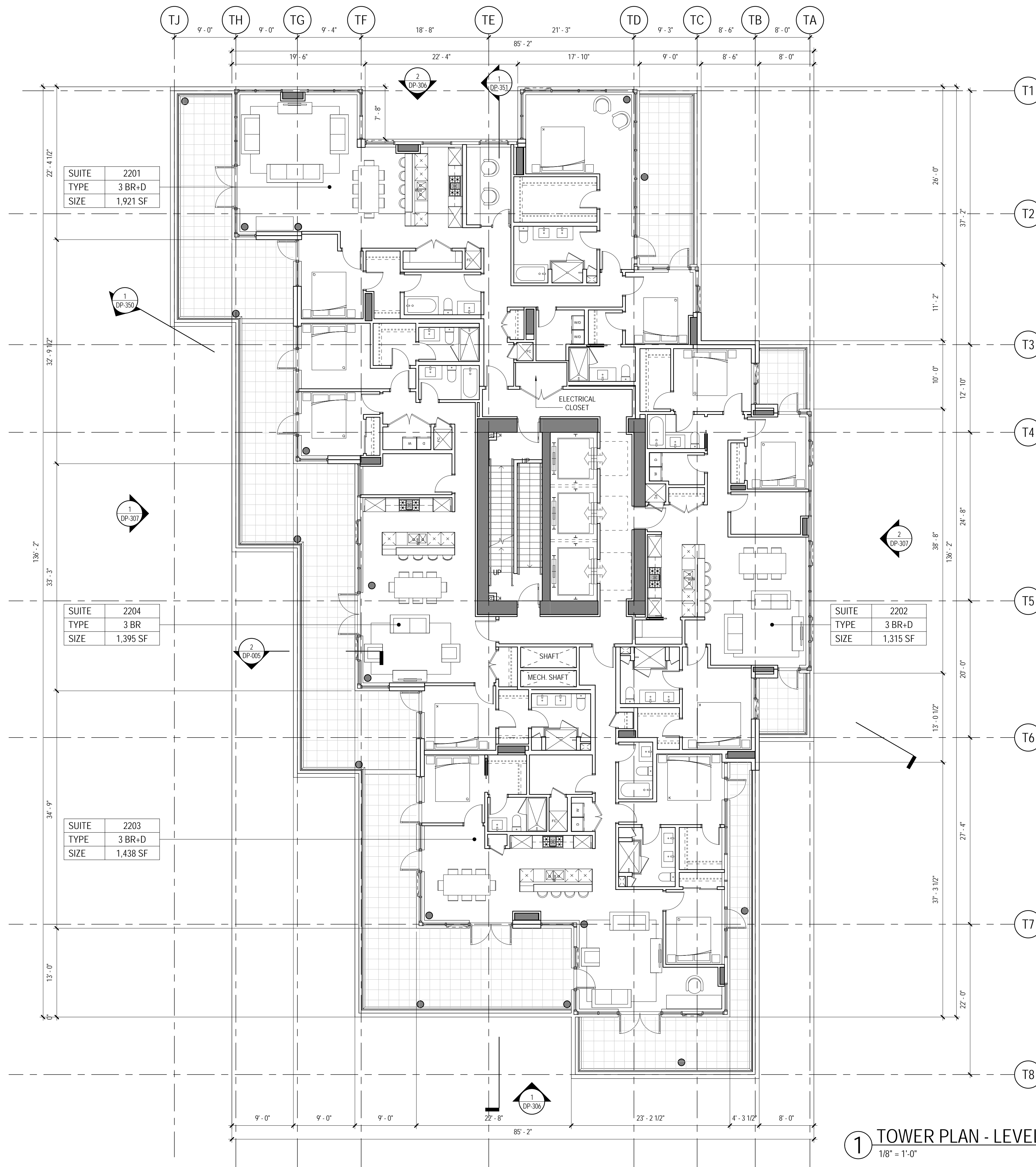
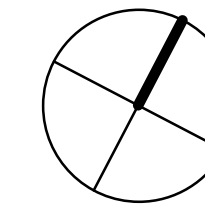


IVY ON THE PARK
LOT 8

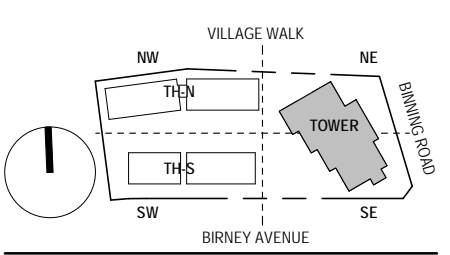
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - TOWER -
LEVELS 17-21

DP-124



1 TOWER PLAN - LEVEL 22
1/8" = 1'-0"

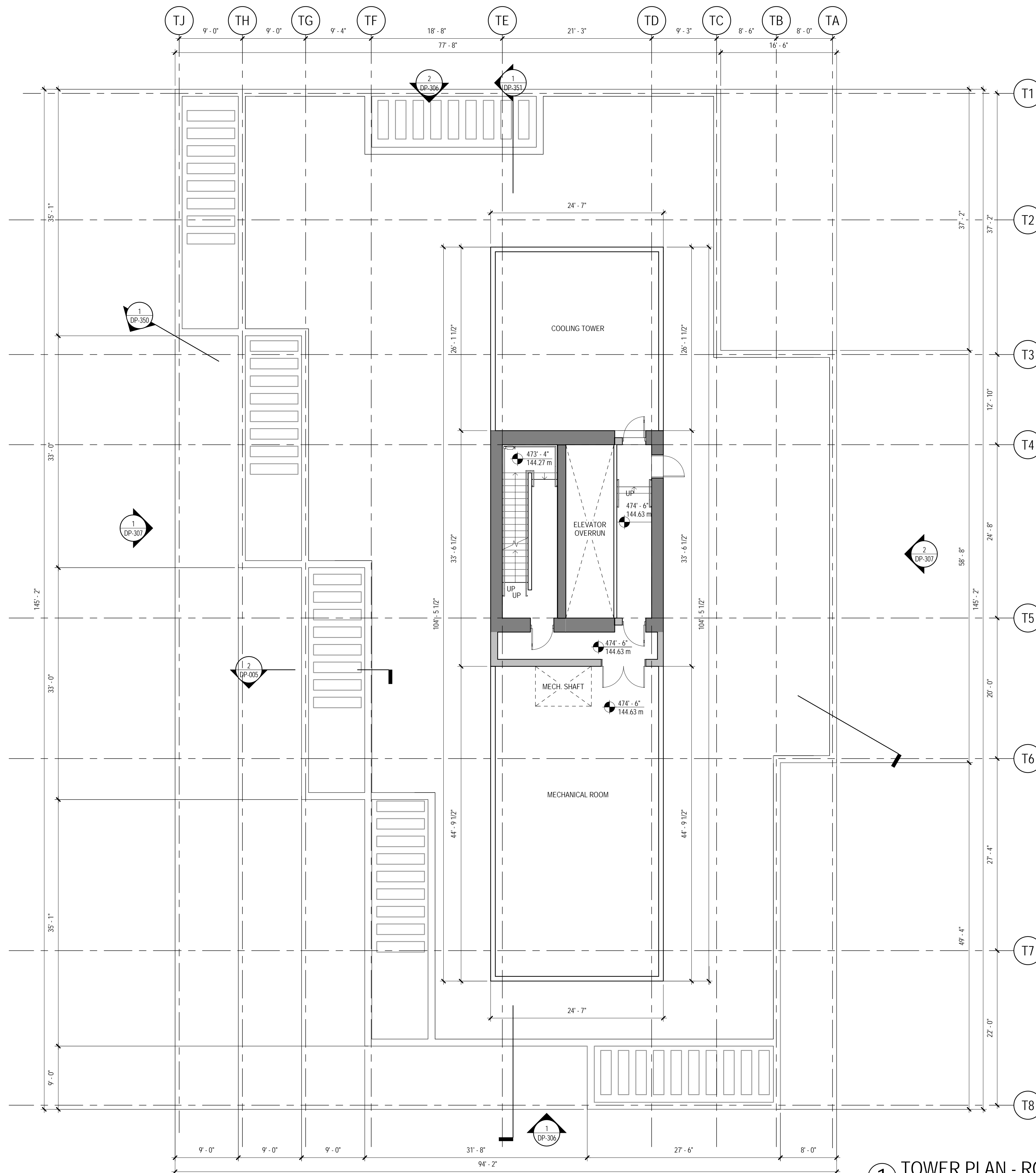
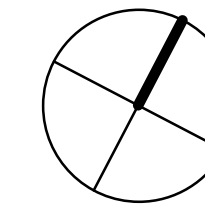


IVY ON THE PARK
LOT 8

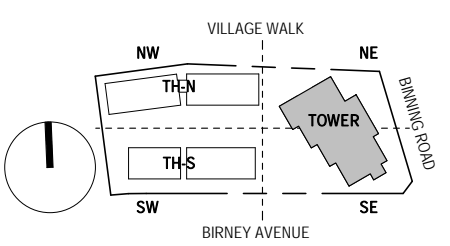
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - TOWER -
LEVEL 22

DP-125



1 TOWER PLAN - ROOF LEVEL
1/8" = 1'-0"

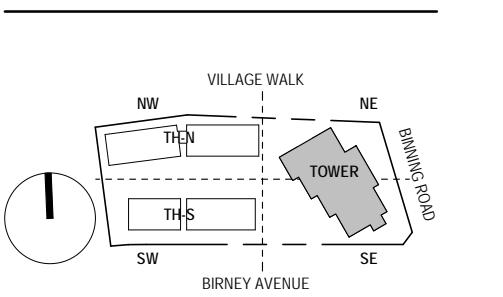
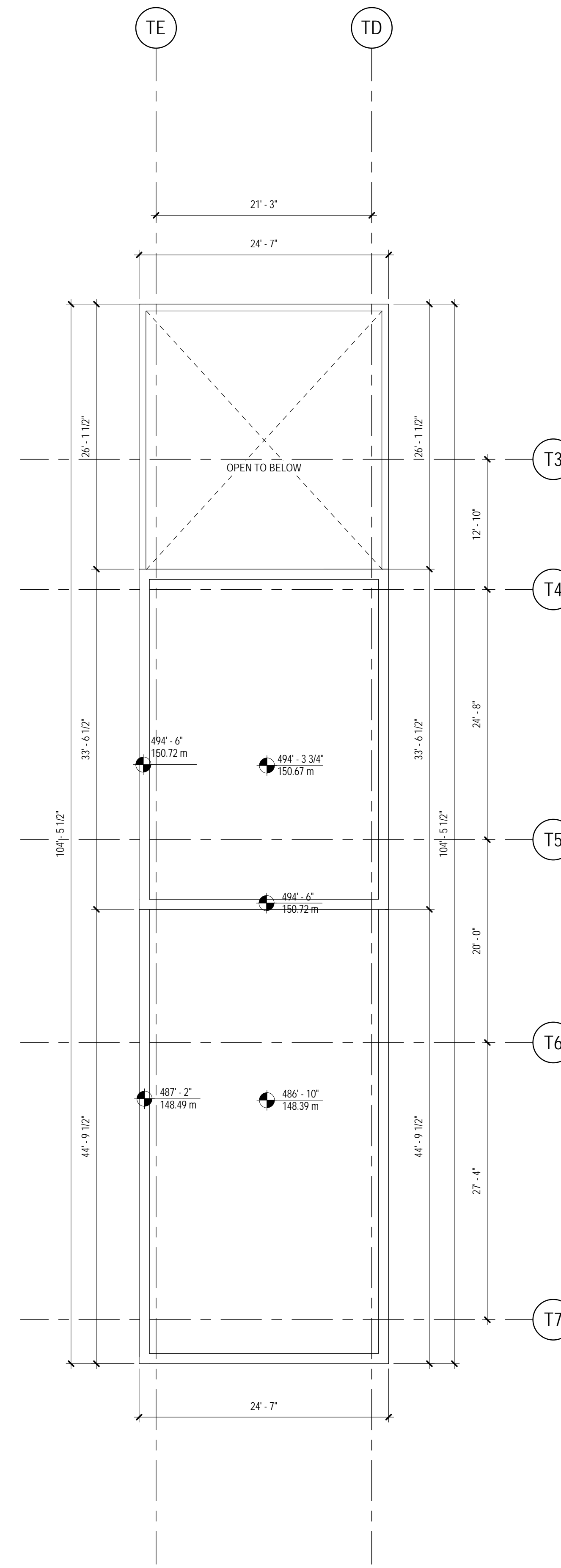
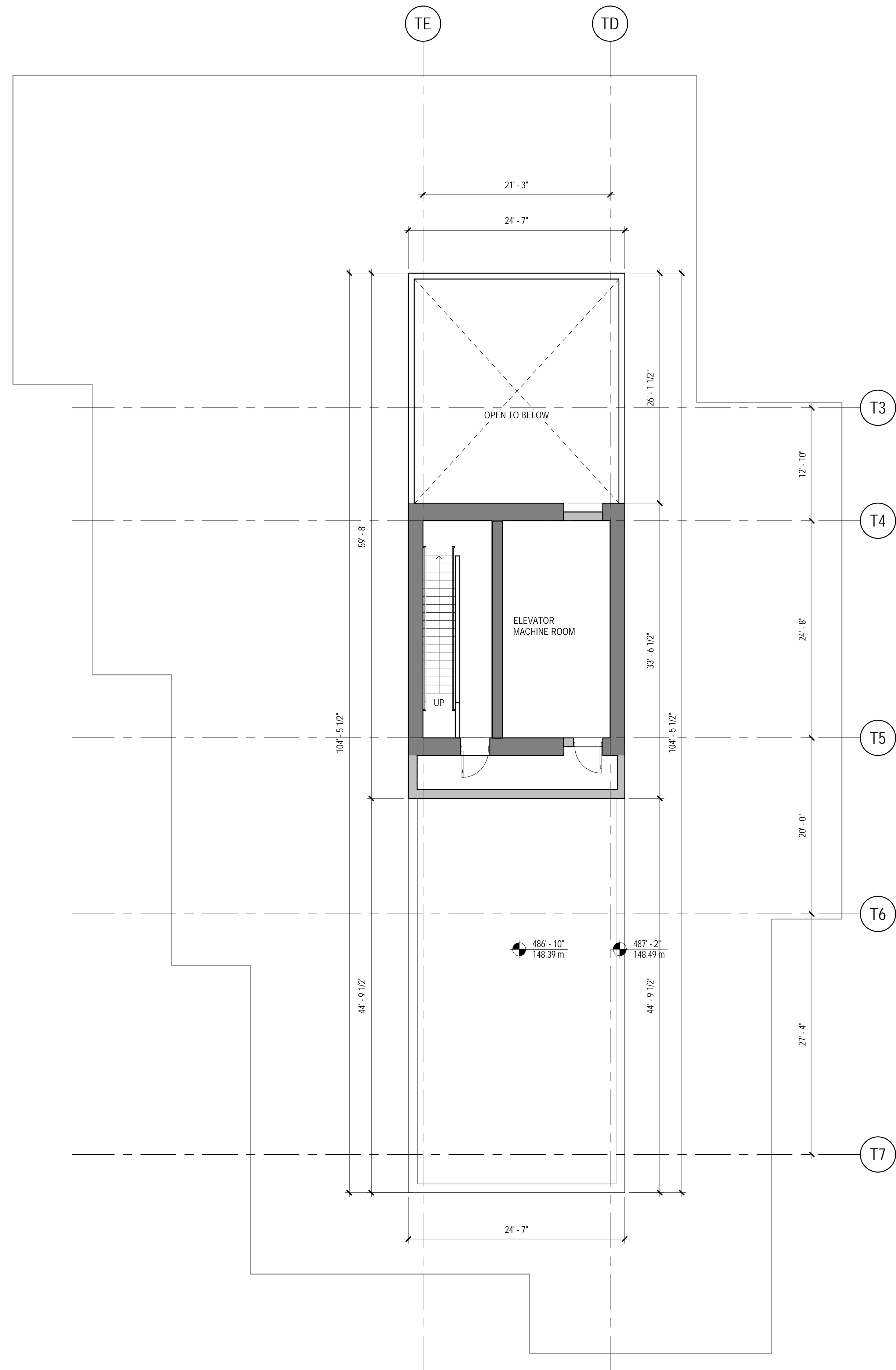
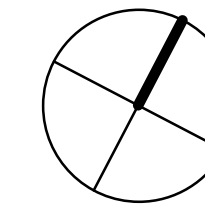


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - TOWER -
LEVEL ROOF

DP-126



IVY ON THE PARK
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FLOOR PLAN - TOWER -
LEVEL ELEV MACHINE
ROOM

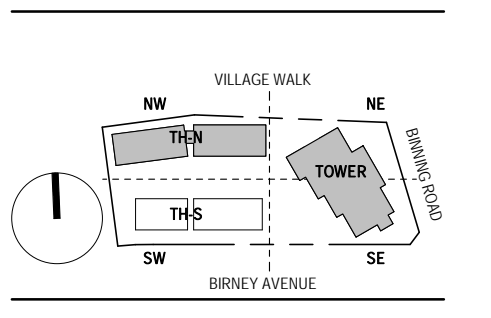
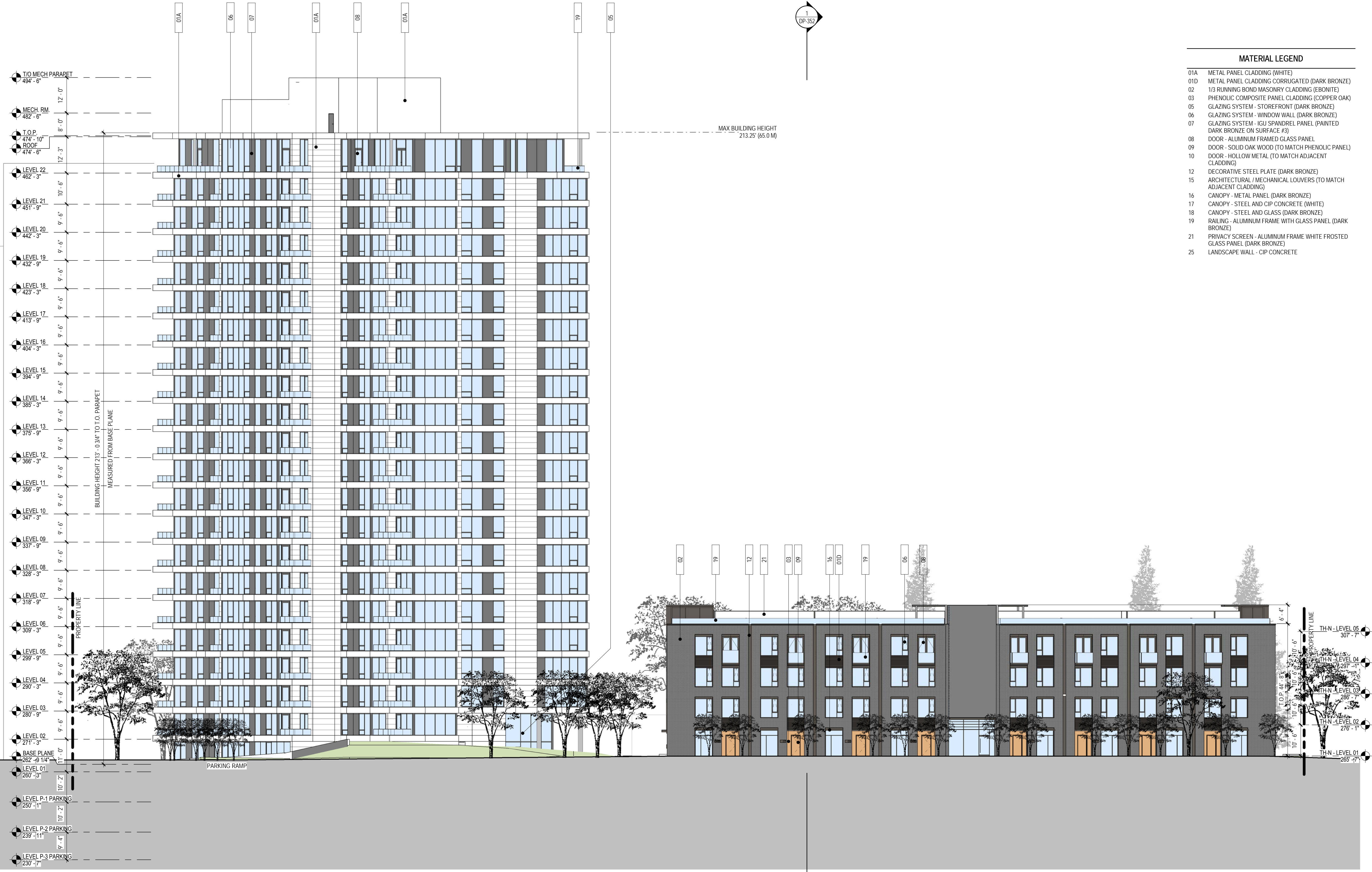
DP-127

2 TOWER PLAN - LEVEL ELEVATOR
MACHINE ROOM
1/8" = 1'-0"

1 TOWER PLAN - LEVEL ELEVATOR
MACHINE ROOM ROOF
1/8" = 1'-0"

MATERIAL LEGEND

| | |
|-----|---|
| 01A | METAL PANEL CLADDING (WHITE) |
| 01D | METAL PANEL CLADDING CORRUGATED (DARK BRONZE) |
| 02 | 1/3 RUNNING BOND MASONRY CLADDING (EBONITE) |
| 03 | PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK) |
| 05 | GLAZING SYSTEM - STOREFRONT (DARK BRONZE) |
| 06 | GLAZING SYSTEM - WINDOW WALL (DARK BRONZE) |
| 07 | GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3) |
| 08 | DOOR - ALUMINUM FRAMED GLASS PANEL |
| 09 | DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL) |
| 10 | DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING) |
| 12 | DECORATIVE STEEL PLATE (DARK BRONZE) |
| 15 | ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING) |
| 16 | CANOPY - METAL PANEL (DARK BRONZE) |
| 17 | CANOPY - STEEL AND CIP CONCRETE (WHITE) |
| 18 | CANOPY - STEEL AND GLASS (DARK BRONZE) |
| 19 | RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE) |
| 21 | PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE) |
| 25 | LANDSCAPE WALL - CIP CONCRETE |



IVY ON THE PARK
LOT 8

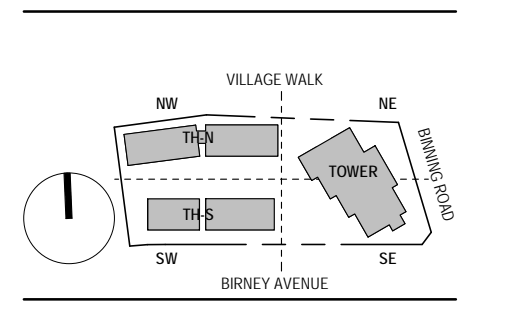
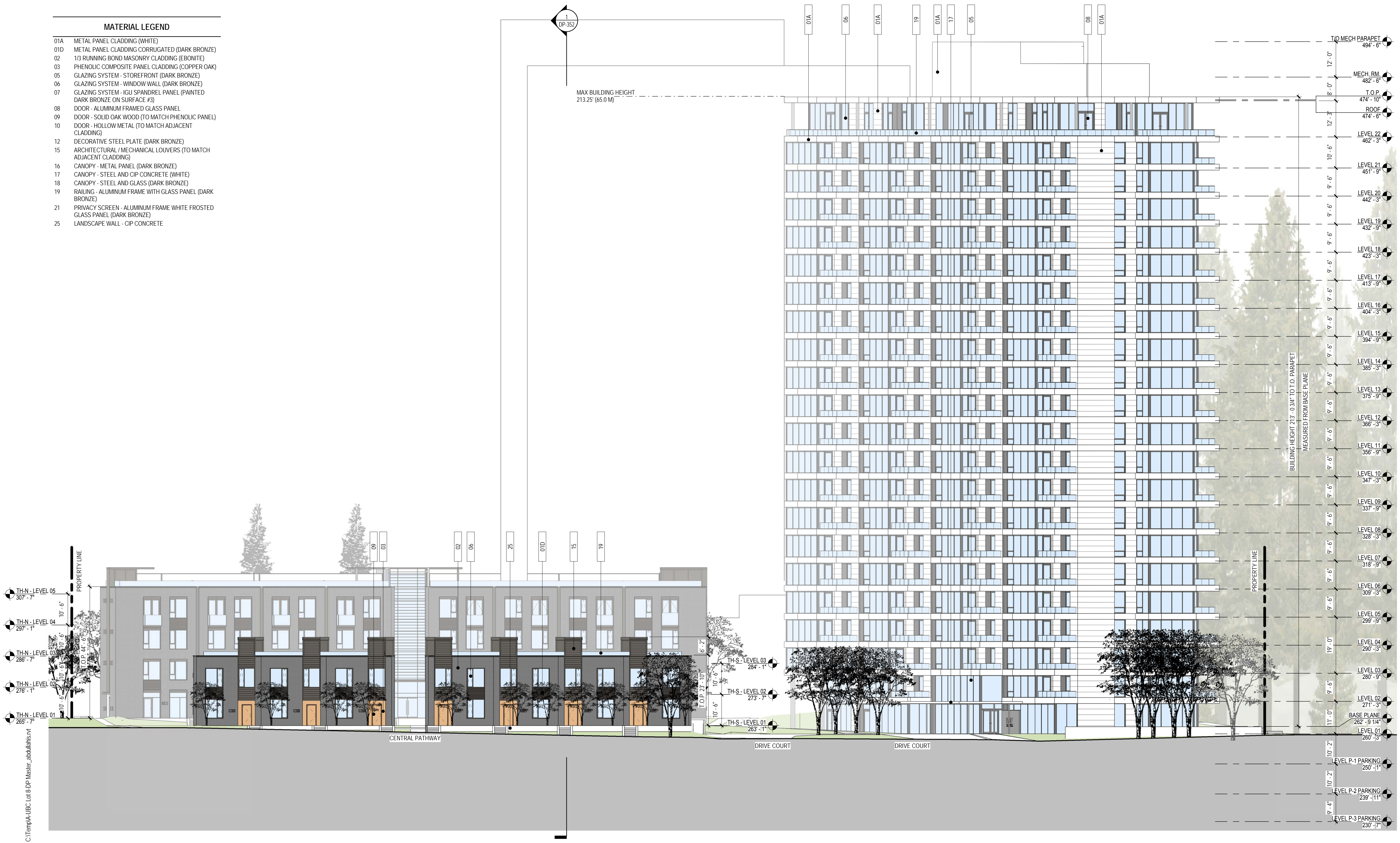
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

NORTH ELEVATION

1 NORTH ELEVATION
1/16" = 1'-0"

DP-301

| MATERIAL LEGEND | |
|-----------------|---|
| 01A | METAL PANEL CLADDING (WHITE) |
| 01D | METAL PANEL CLADDING CORRUGATED (DARK BRONZE) |
| 02 | 1/3 RUNNING BOND MASONRY CLADDING (EBONITE) |
| 03 | PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK) |
| 05 | GLAZING SYSTEM - STOREFRONT (DARK BRONZE) |
| 06 | GLAZING SYSTEM - WINDOW WALL (DARK BRONZE) |
| 07 | GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3) |
| 08 | DOOR - ALUMINUM FRAMED GLASS PANEL |
| 09 | DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL) |
| 10 | DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING) |
| 12 | DECORATIVE STEEL PLATE (DARK BRONZE) |
| 15 | ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING) |
| 16 | CANOPY - METAL PANEL (DARK BRONZE) |
| 17 | CANOPY - STEEL AND CIP CONCRETE (WHITE) |
| 18 | CANOPY - STEEL AND GLASS (DARK BRONZE) |
| 19 | RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE) |
| 21 | PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE) |
| 25 | LANDSCAPE WALL - CIP CONCRETE |



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

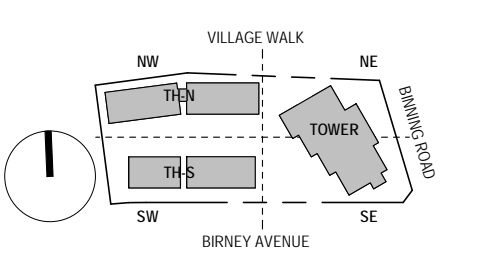
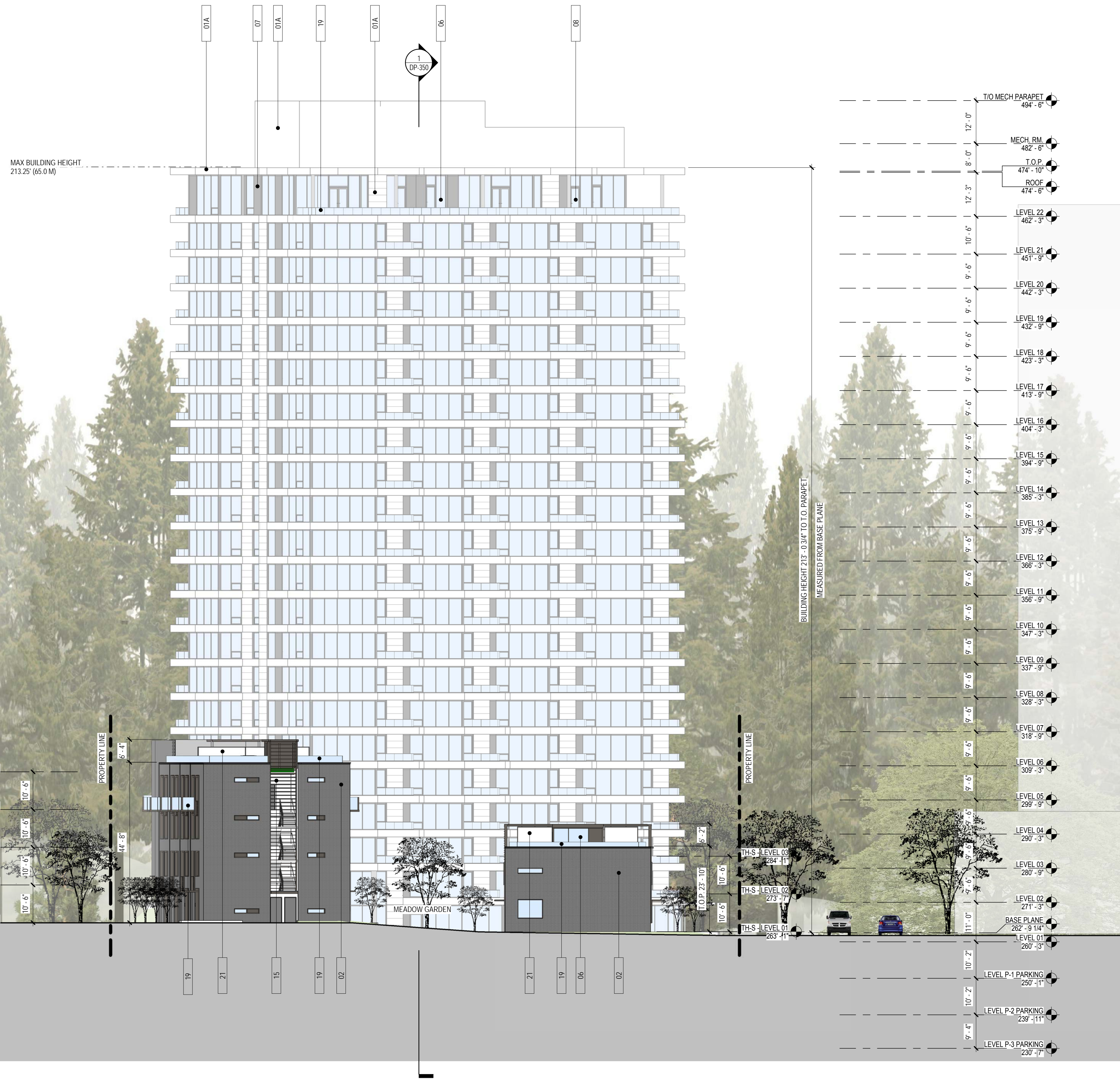
SOUTH ELEVATION

1 SOUTH ELEVATION
1/16" = 1'-0"

DP-302

MATERIAL LEGEND

- 01A METAL PANEL CLADDING (WHITE)
- 01D METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
- 02 1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
- 03 PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
- 05 GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
- 06 GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- 07 GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
- 08 DOOR - ALUMINUM FRAMED GLASS PANEL
- 09 DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL)
- 10 DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING)
- 12 DECORATIVE STEEL PLATE (DARK BRONZE)
- 15 ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING)
- 16 CANOPY - METAL PANEL (DARK BRONZE)
- 17 CANOPY - STEEL AND CIP CONCRETE (WHITE)
- 18 CANOPY - STEEL AND GLASS (DARK BRONZE)
- 19 RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- 21 PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
- 25 LANDSCAPE WALL - CIP CONCRETE



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

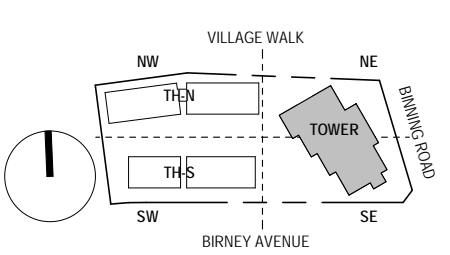
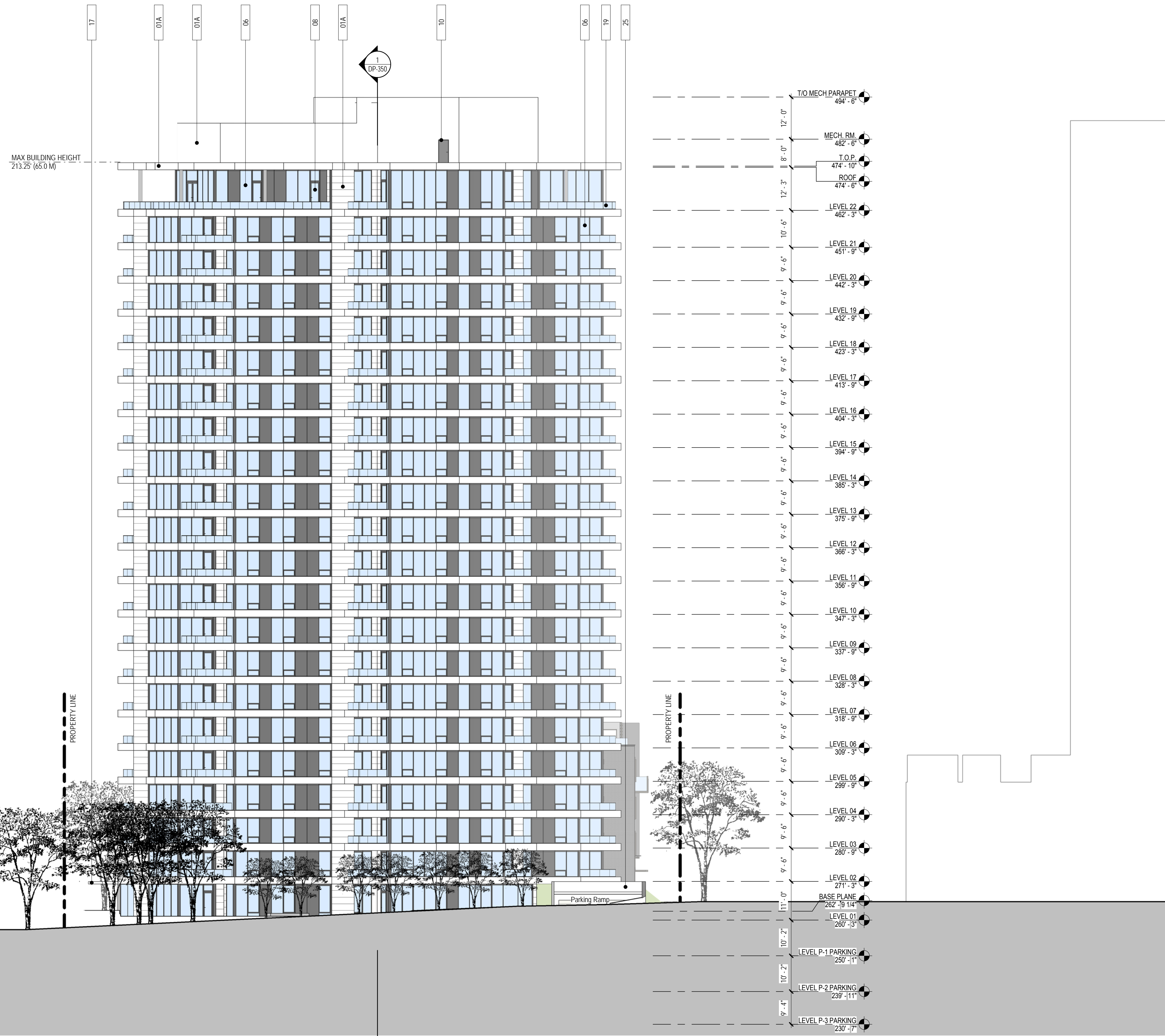
WEST ELEVATION

DP-303

1 WEST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

- 01A METAL PANEL CLADDING (WHITE)
- 01D METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
- 02 1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
- 03 PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
- 05 GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
- 06 GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- 07 GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
- 08 DOOR - ALUMINUM FRAMED GLASS PANEL
- 09 DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL)
- 10 DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING)
- 12 DECORATIVE STEEL PLATE (DARK BRONZE)
- 15 ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING)
- 16 CANOPY - METAL PANEL (DARK BRONZE)
- 17 CANOPY - STEEL AND CIP CONCRETE (WHITE)
- 18 CANOPY - STEEL AND GLASS (DARK BRONZE)
- 19 RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- 21 PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
- 25 LANDSCAPE WALL - CIP CONCRETE



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

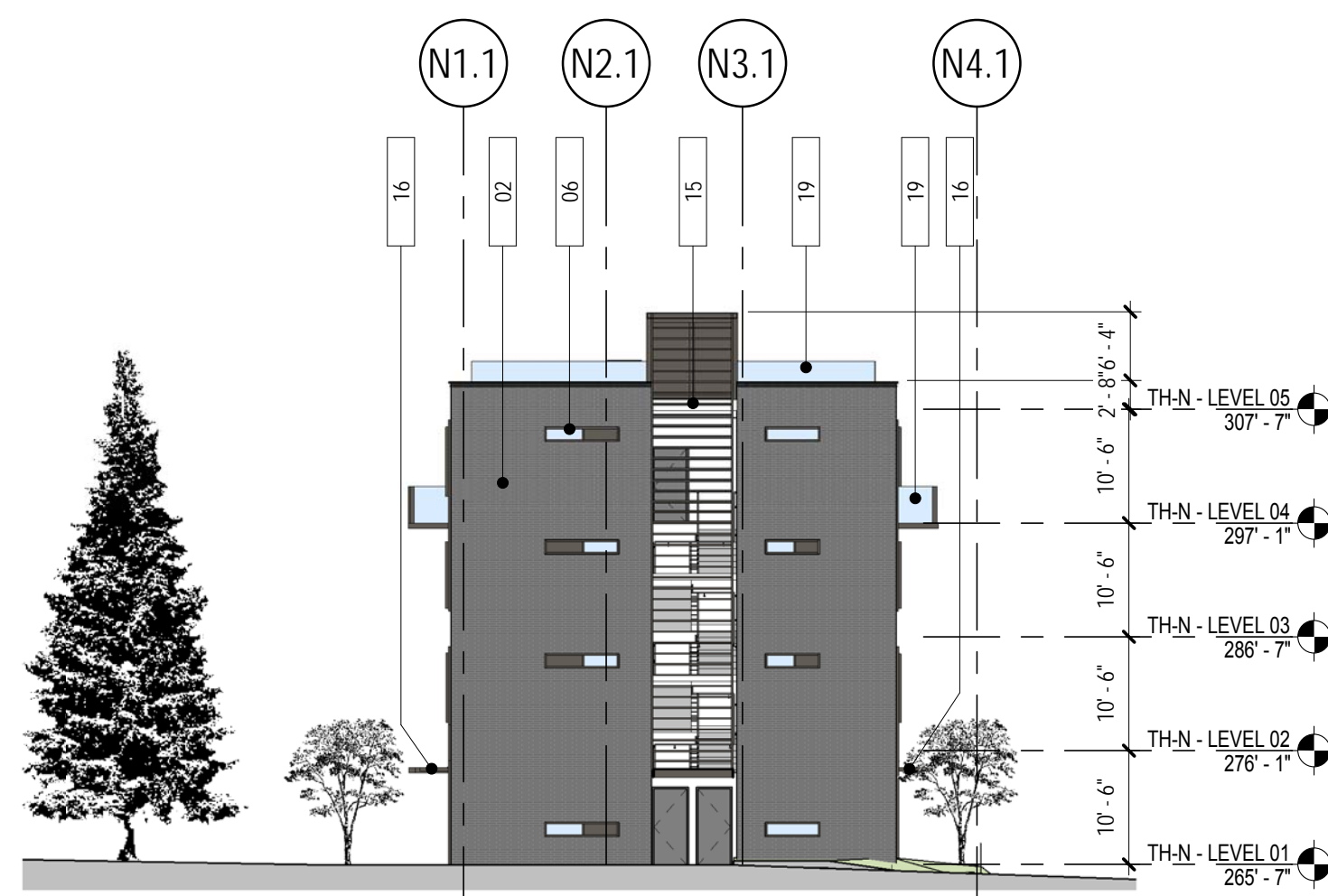
EAST ELEVATION

DP-304

1 EAST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

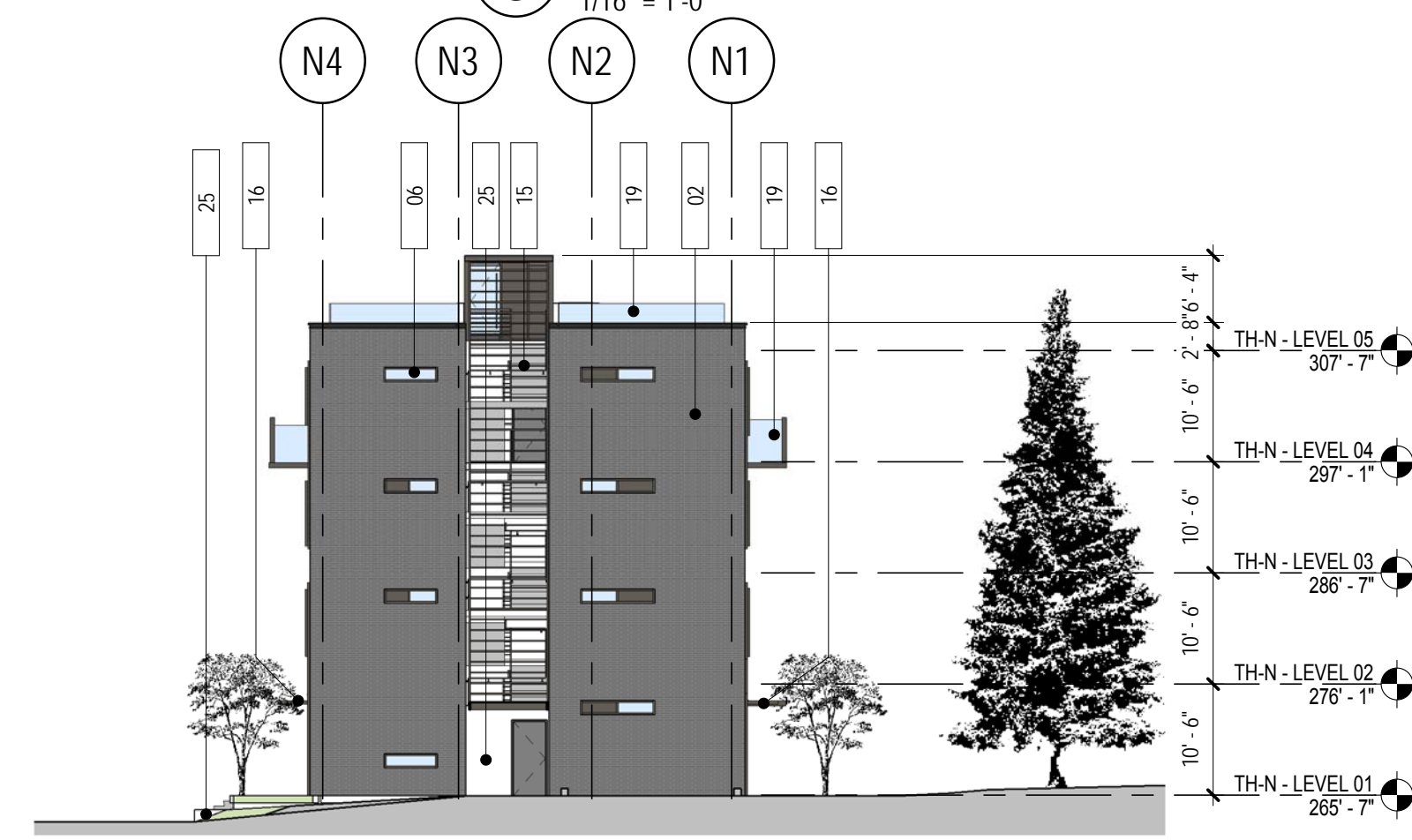
- 01A METAL PANEL CLADDING (WHITE)
- 01D METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
- 02 1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
- 03 PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
- 05 GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
- 06 GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- 07 GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
- 08 DOOR - ALUMINUM FRAMED GLASS PANEL
- 09 DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL)
- 10 DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING)
- 12 DECORATIVE STEEL PLATE (DARK BRONZE)
- 15 ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING)
- 16 CANOPY - METAL PANEL (DARK BRONZE)
- 17 CANOPY - STEEL AND CIP CONCRETE (WHITE)
- 18 CANOPY - STEEL AND GLASS (DARK BRONZE)
- 19 RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- 21 PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
- 25 LANDSCAPE WALL - CIP CONCRETE



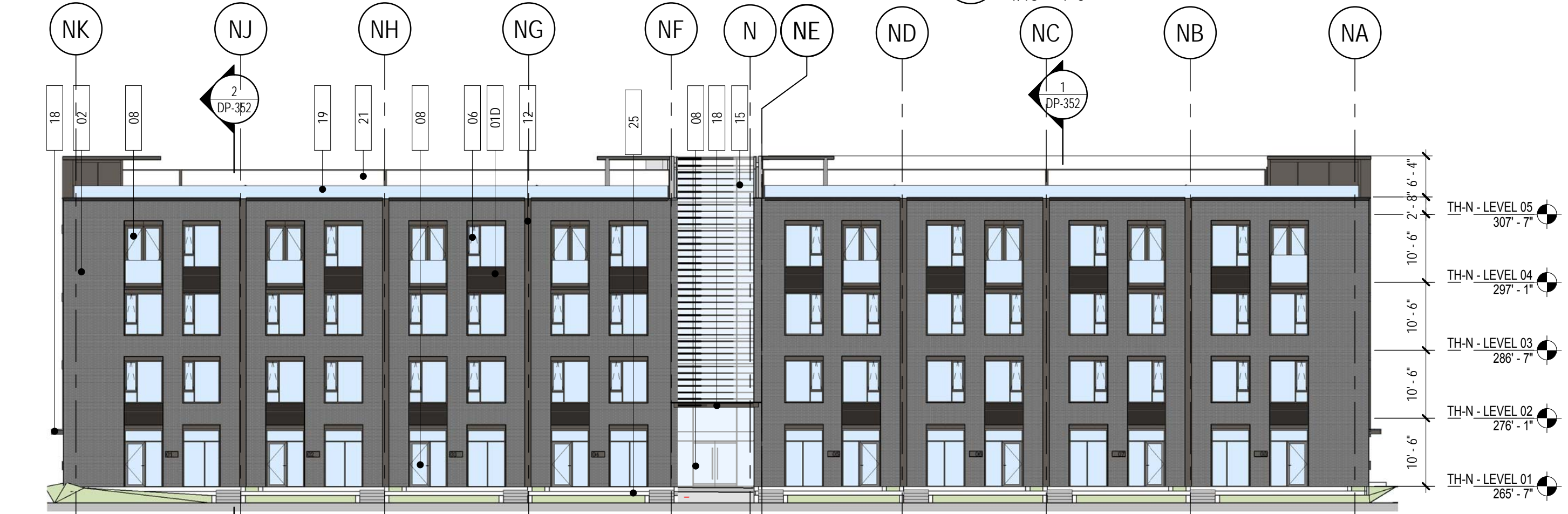
8 TH-N WEST ELEVATION
1/16" = 1'-0"



7 TH-N NORTH ELEVATION
1/16" = 1'-0"



6 TH-N EAST ELEVATION
1/16" = 1'-0"



5 TH-N SOUTH ELEVATION
1/16" = 1'-0"



4 TH-S WEST ELEVATION
1/16" = 1'-0"



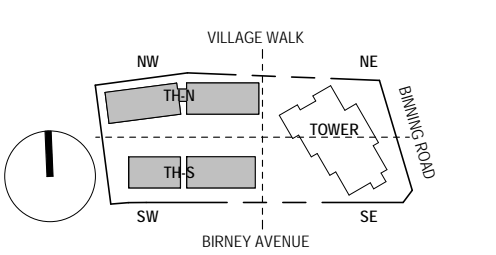
3 TH-S NORTH ELEVATION
1/16" = 1'-0"



2 TH-S EAST ELEVATION
1/16" = 1'-0"



1 TH-S SOUTH ELEVATION
1/16" = 1'-0"

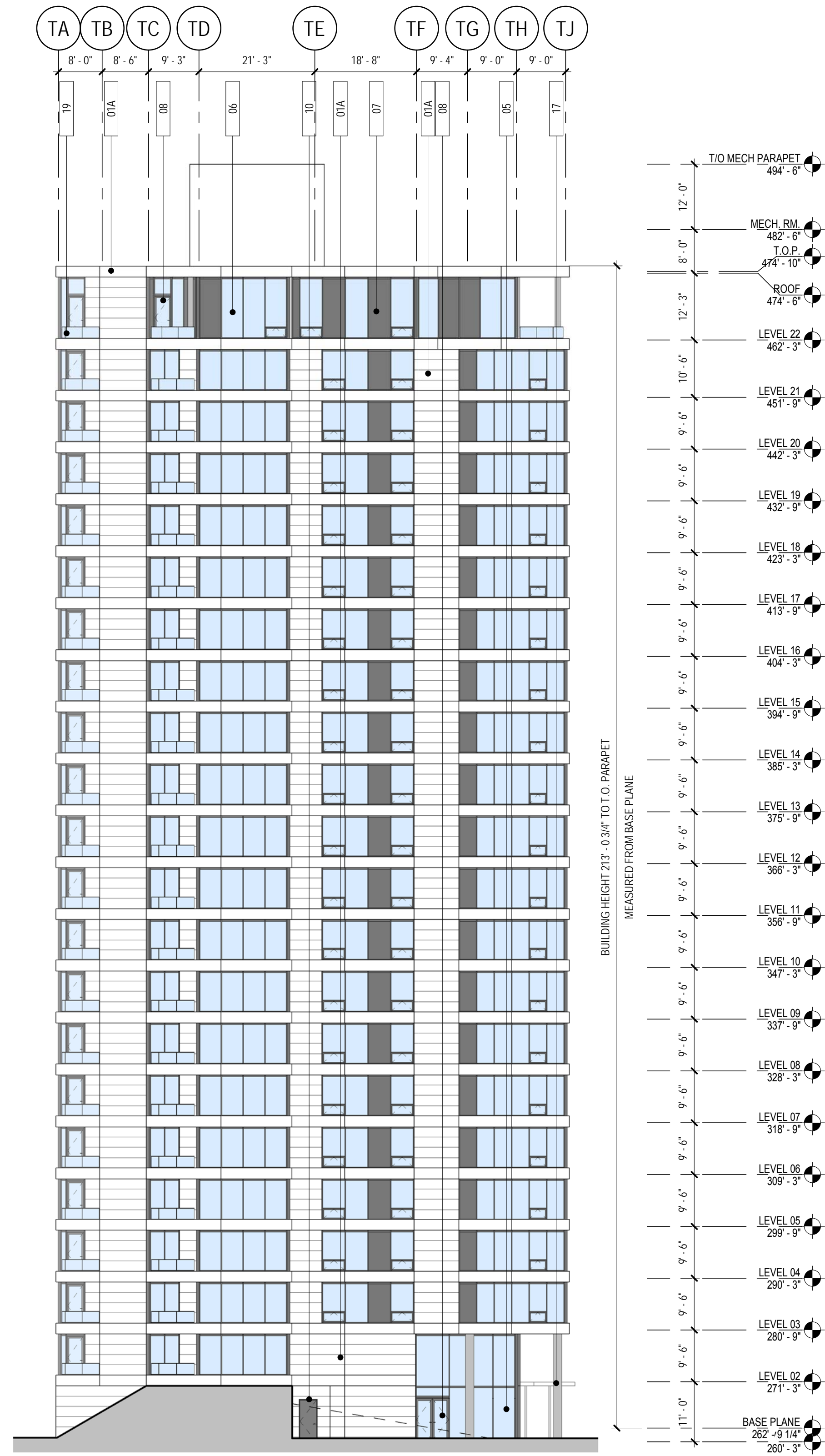


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

TOWNHOUSE
ELEVATIONS

DP-305



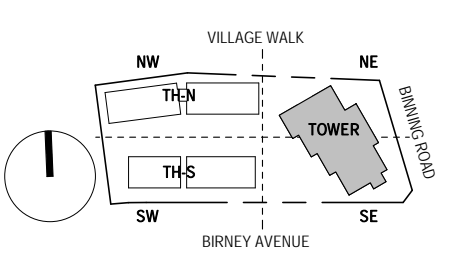
② TOWER NORTH ELEVATION
1/16" = 1'-0"



① TOWER SOUTH ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

- 01A METAL PANEL CLADDING (WHITE)
- 01D METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
- 02 1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
- 03 PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
- 05 GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
- 06 GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- 07 GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
- 08 DOOR - ALUMINUM FRAMED GLASS PANEL
- 09 DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL)
- 10 DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING)
- 12 DECORATIVE STEEL PLATE (DARK BRONZE)
- 15 ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING)
- 16 CANOPY - METAL PANEL (DARK BRONZE)
- 17 CANOPY - STEEL AND CIP CONCRETE (WHITE)
- 18 CANOPY - STEEL AND GLASS (DARK BRONZE)
- 19 RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- 21 PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
- 25 LANDSCAPE WALL - CIP CONCRETE

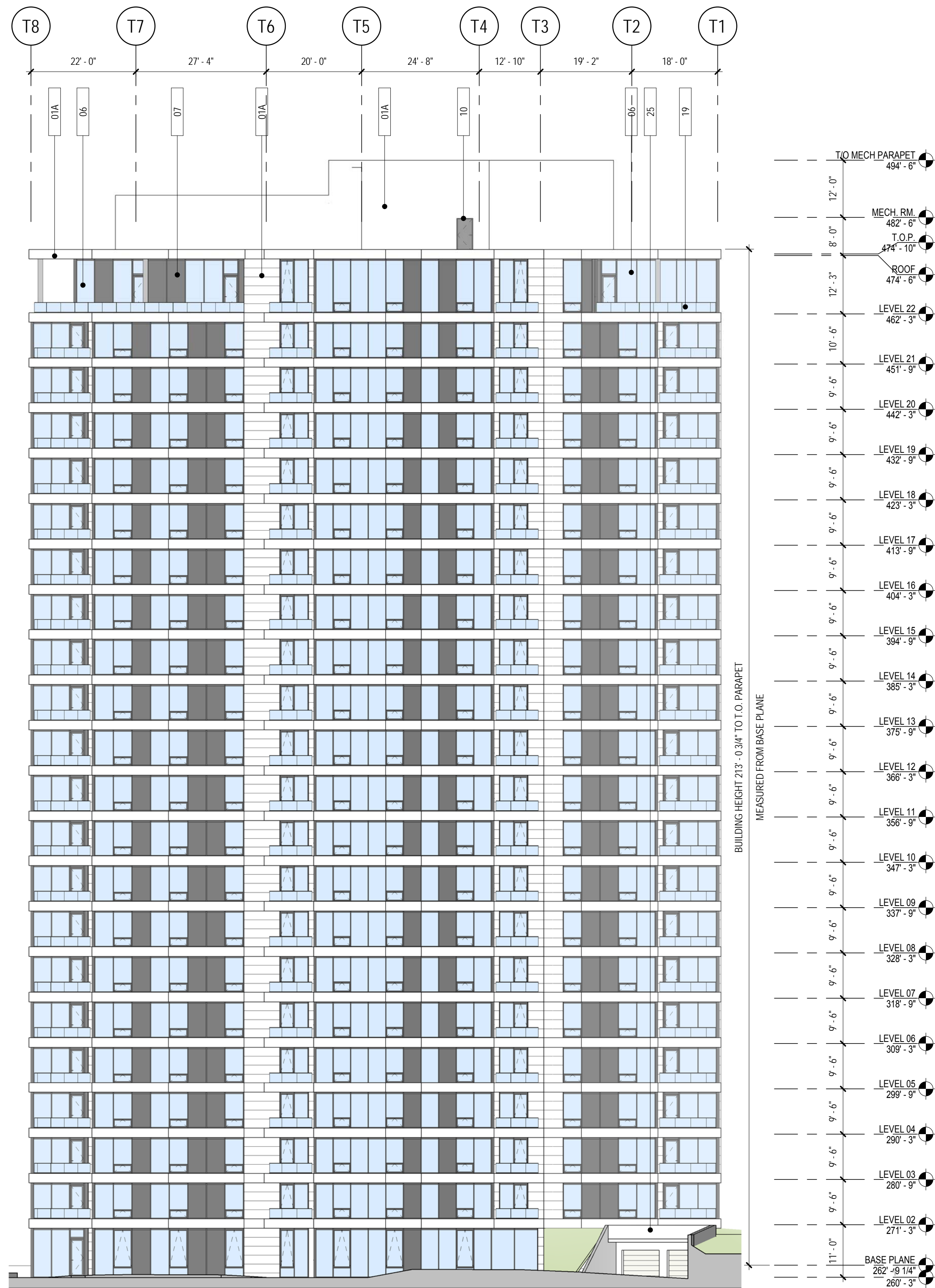


IVY ON THE PARK
LOT 8

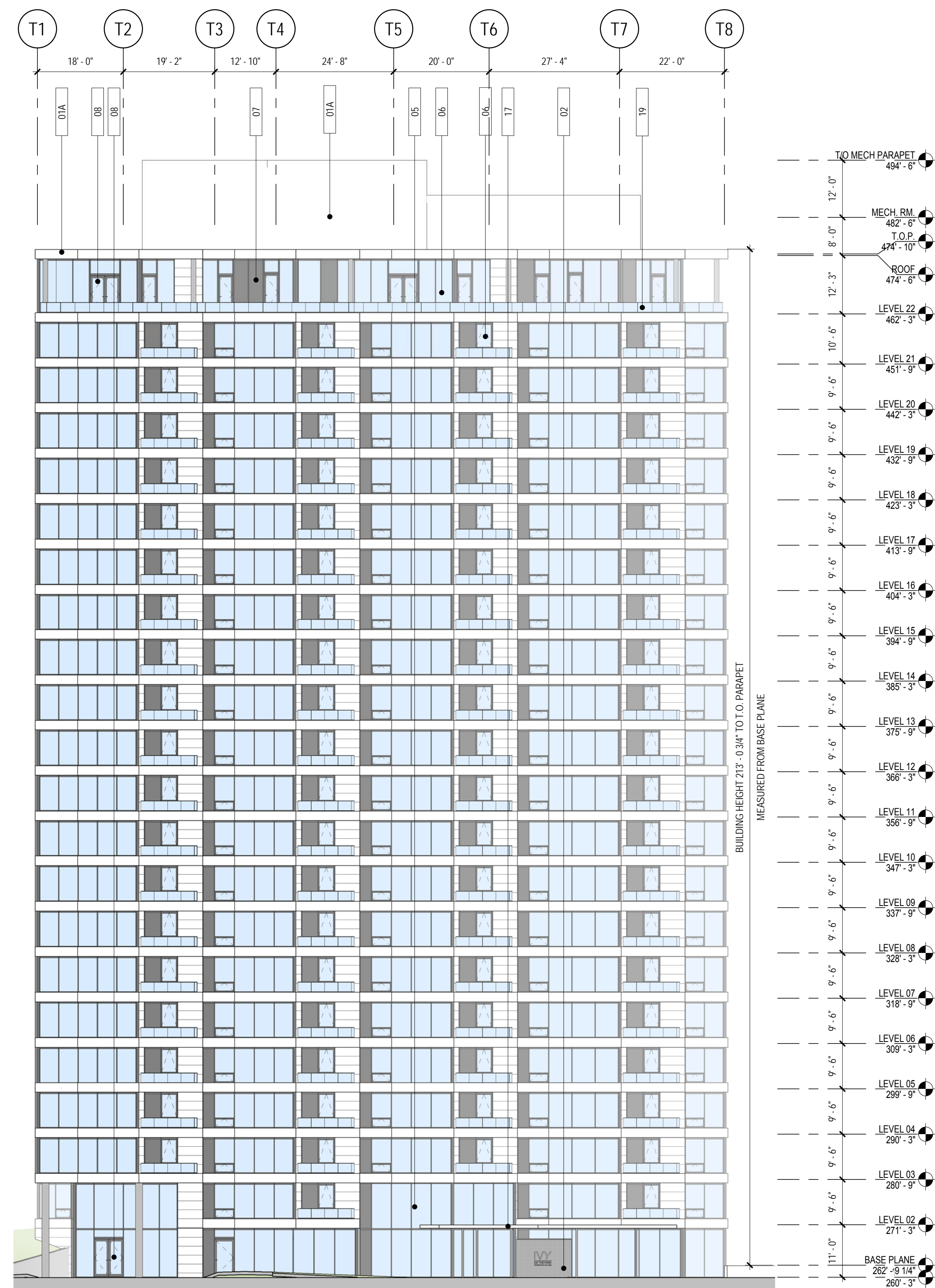
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

TOWER NORTH & SOUTH ELEVATIONS

DP-306



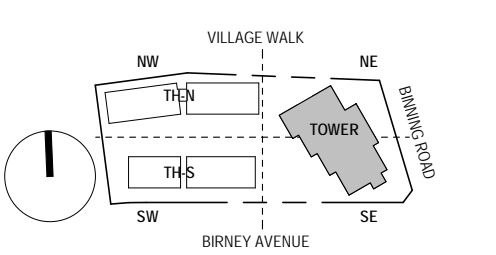
2 TOWER EAST ELEVATION
1/16" = 1'-0"



1 TOWER WEST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

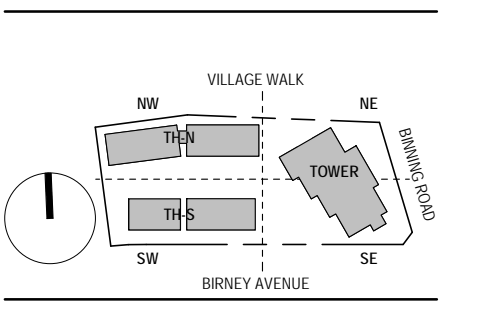
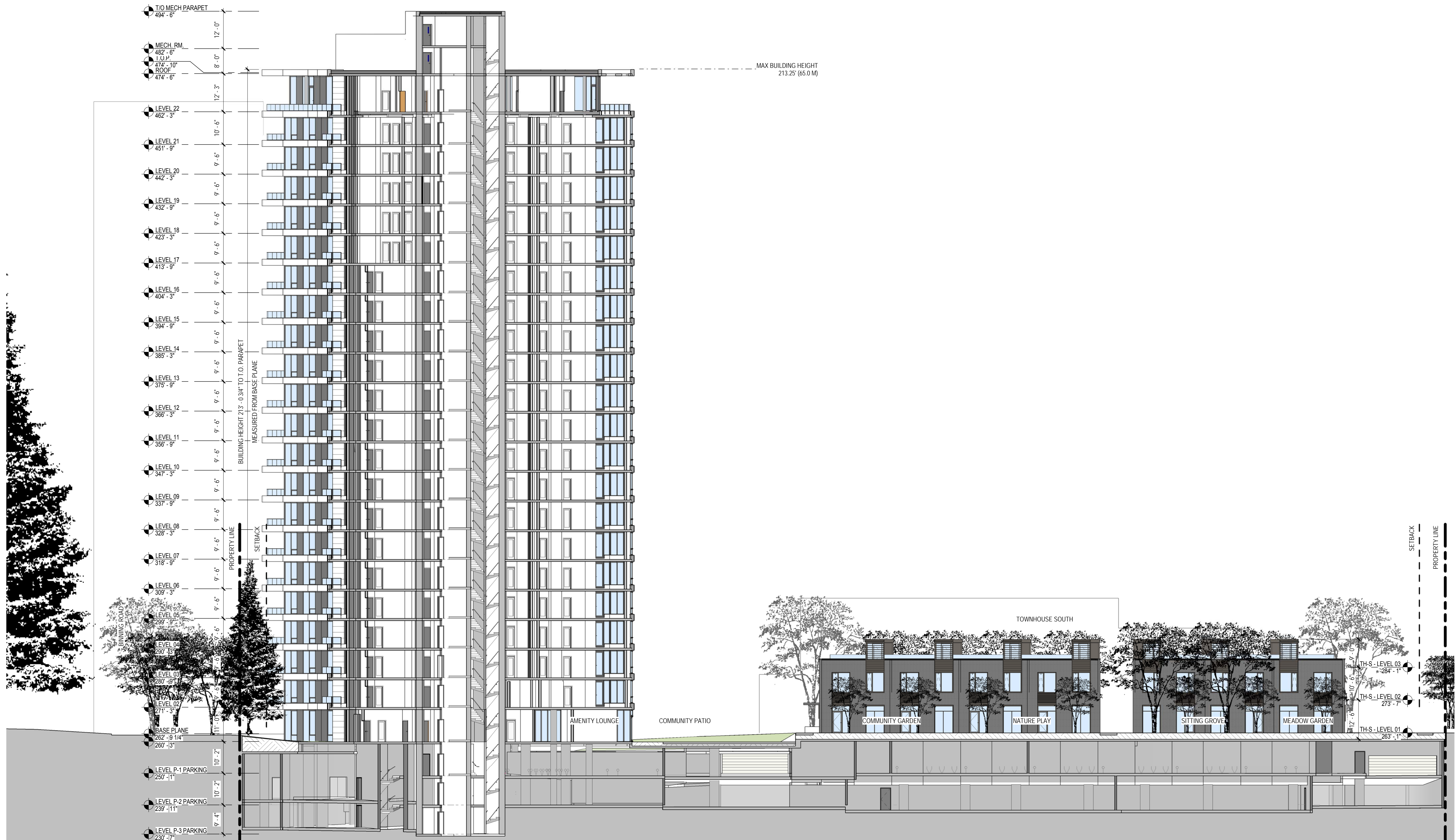
| | |
|-----|---|
| 01A | METAL PANEL CLADDING (WHITE) |
| 01D | METAL PANEL CLADDING CORRUGATED (DARK BRONZE) |
| 02 | 1/3 RUNNING BOND MASONRY CLADDING (EBONITE) |
| 03 | PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK) |
| 05 | GLAZING SYSTEM - STOREFRONT (DARK BRONZE) |
| 06 | GLAZING SYSTEM - WINDOW WALL (DARK BRONZE) |
| 07 | GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3) |
| 08 | DOOR - ALUMINUM FRAMED GLASS PANEL |
| 09 | DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL) |
| 10 | DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING) |
| 12 | DECORATIVE STEEL PLATE (DARK BRONZE) |
| 15 | ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING) |
| 16 | CANOPY - METAL PANEL (DARK BRONZE) |
| 17 | CANOPY - STEEL AND CIP CONCRETE (WHITE) |
| 18 | CANOPY - STEEL AND GLASS (DARK BRONZE) |
| 19 | RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE) |
| 21 | PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE) |
| 25 | LANDSCAPE WALL - CIP CONCRETE |



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

TOWER WEST & EAST
ELEVATIONS



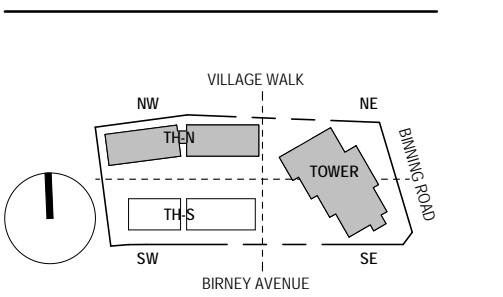
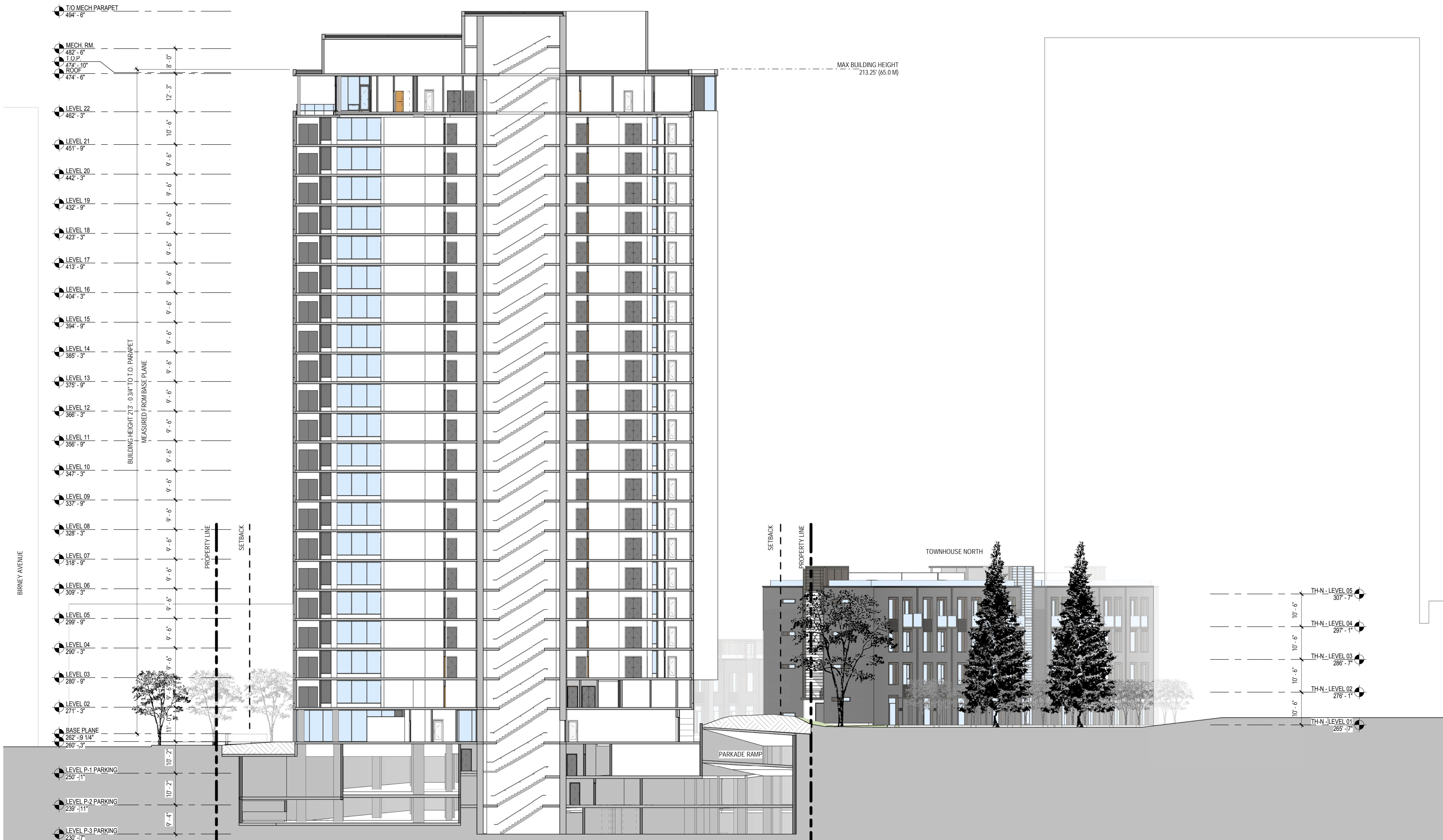
IVY ON THE PARK
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

BUILDING SECTIONS

① TWR / TH SECTION - EAST / WEST
1/16" = 1'-0"

DP-350



IVY ON THE PARK
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

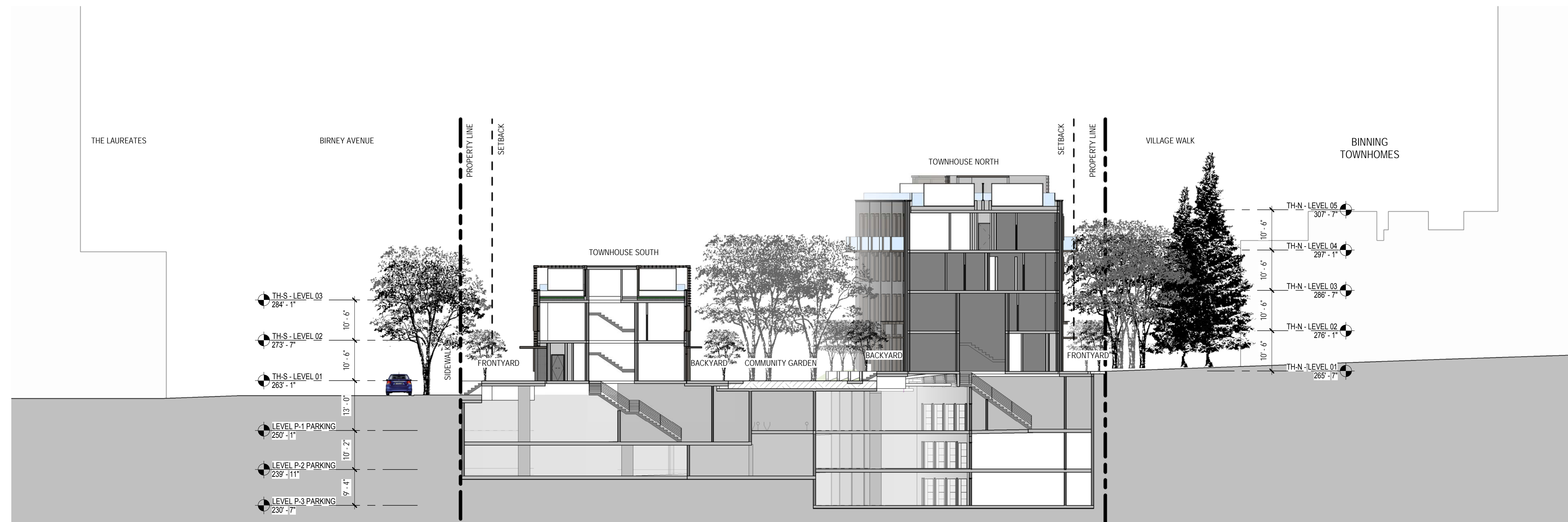
BUILDING SECTIONS

1 TOWER SECTION - NW / SE
1/16" = 1'-0"

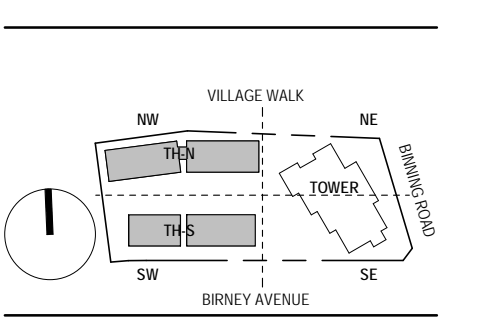
DP-351



② TH SECTION B - NORTH / SOUTH
1/16" = 1'-0"



① TH SECTION A / C - NORTH / SOUTH
1/16" = 1'-0"

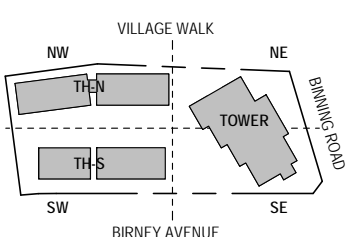


IVY ON THE PARK
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

BUILDING SECTIONS

DP-352



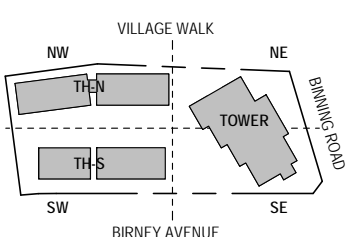
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

PERSPECTIVE VIEW

① AERIAL VIEW - LOOKING EAST
NOT TO SCALE

DP-401



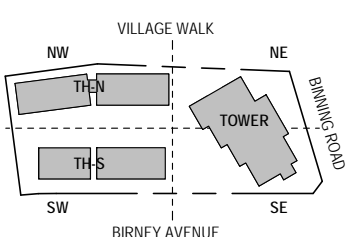
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

PERSPECTIVE VIEW

① STREET VIEW - BIRNEY AVENUE LOOKING EAST
NOT TO SCALE

DP-402



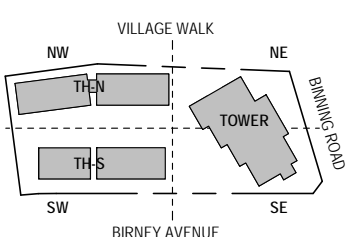
IVY ON THE PARK
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

PERSPECTIVE VIEW

① STREET VIEW - VILLAGE WALK LOOKING SOUTH/EAST
NOT TO SCALE

DP-403



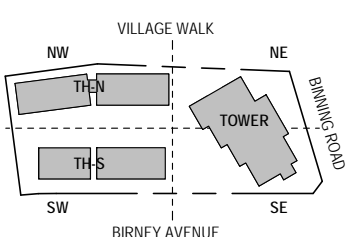
IVY ON THE PARK
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

PERSPECTIVE VIEW

① STREET VIEW - BINNING ROAD LOOKING SOUTHWEST
NOT TO SCALE

DP-404



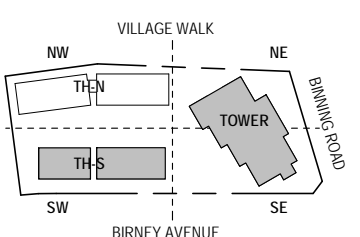
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

PERSPECTIVE VIEW

① STREET VIEW - CLOSE-UP OF DROP-OFF AREA
NOT TO SCALE

DP-405



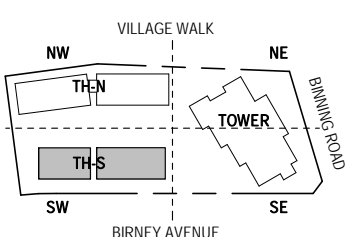
IVY ON THE PARK
LOT 8

| | |
|-------------------------------------|------------|
| 1. DEVELOPMENT PERMIT SUBMISSION | 2018-01-23 |
| 2. DEVELOPMENT PERMIT RE-SUBMISSION | 2018-03-02 |

PERSPECTIVE VIEW

DP-406

① STREET VIEW - BINNING ROAD LOOKING NORTH
NOT TO SCALE



IVY ON THE PARK
LOT 8

1 DEVELOPMENT PERMIT
RE-SUBMISSION 2018-03-02

PERSPECTIVE VIEW

① STREET VIEW - TOWNHOMES ALONG BIRNEY
NOT TO SCALE

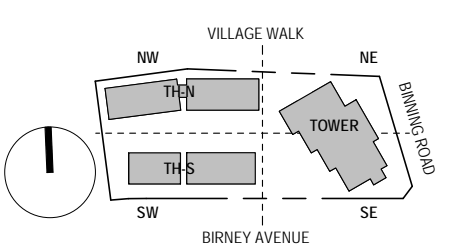
DP-407

FSR CALCULATIONS

| RESIDENTIAL | | | | | | | |
|-----------------|-----------------|---------------------|---------------------|------------------------|------------------------|-----------------|--------------------------|
| LEVEL | RESIDENTIAL GFA | EXCLUSIONS | | | | RESIDENTIAL FSR | RESIDENTIAL OPEN BALCONY |
| | | AMENITY R EXCLUSION | STORAGE R EXCLUSION | MECHANICAL R EXCLUSION | ELECTRICAL R EXCLUSION | | |
| LEVEL 01 | 8178.51 SF | 3755.24 SF | 63.93 SF | 52.12 SF | 9.53 SF | 4297.69 SF | 0.00 SF |
| TH B - LEVEL 01 | 13066.68 SF | 0.00 SF | 245.12 SF | 93.33 SF | 0.00 SF | 12728.22 SF | 0.00 SF |
| LEVEL 02 | 7048.27 SF | 0.00 SF | 215.80 SF | 96.36 SF | 24.37 SF | 6711.74 SF | 613.83 SF |
| TH B - LEVEL 02 | 13114.02 SF | 0.00 SF | 0.00 SF | 93.33 SF | 0.00 SF | 13020.69 SF | 0.00 SF |
| LEVEL 03 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| TH B - LEVEL 03 | 7918.63 SF | 0.00 SF | 298.16 SF | 49.78 SF | 0.00 SF | 7570.70 SF | 0.00 SF |
| LEVEL 04 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| TH-N - LEVEL 04 | 7501.63 SF | 0.00 SF | 0.00 SF | 49.78 SF | 0.00 SF | 7451.85 SF | 402.37 SF |
| LEVEL 05 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| TH-N - LEVEL 05 | 0.00 SF | 0.00 SF | 0.00 SF | 0.00 SF | 0.00 SF | 0.00 SF | 0.00 SF |
| LEVEL 06 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 07 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 08 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 09 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 10 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 11 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 12 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 13 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 14 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 15 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 16 | 8974.83 SF | 0.00 SF | 303.17 SF | 113.57 SF | 24.79 SF | 8533.31 SF | 844.70 SF |
| LEVEL 17 | 8975.08 SF | 0.00 SF | 271.71 SF | 108.80 SF | 24.37 SF | 8570.20 SF | 843.74 SF |
| LEVEL 18 | 8975.08 SF | 0.00 SF | 271.71 SF | 108.80 SF | 24.37 SF | 8570.20 SF | 843.74 SF |
| LEVEL 19 | 8975.08 SF | 0.00 SF | 271.71 SF | 108.80 SF | 24.37 SF | 8570.20 SF | 843.74 SF |
| LEVEL 20 | 8975.08 SF | 0.00 SF | 271.71 SF | 108.80 SF | 24.37 SF | 8570.20 SF | 843.74 SF |
| LEVEL 21 | 8975.08 SF | 0.00 SF | 271.71 SF | 108.80 SF | 24.37 SF | 8570.20 SF | 843.74 SF |
| LEVEL 22 | 7177.08 SF | 0.00 SF | 145.20 SF | 90.08 SF | 26.00 SF | 6915.81 SF | 2639.52 SF |
| TOTAL | 234527.90 SF | 3755.24 SF | 6571.08 SF | 2658.81 SF | 528.76 SF | 221014.02 SF | 19700.24 SF |

FSR SUMMARY

| FSR AREA | | | |
|-------------|--------------|-------------|--------------|
| PERMITTED | | PROVIDED | |
| FSR | | FSR | |
| RESIDENTIAL | 221025.00 SF | RESIDENTIAL | 221014.02 SF |
| | | TOTAL | 221014.02 SF |



IVY ON THE PARK
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FSR SUMMARY SHEET

FSR-001



RESIDENTIAL AREA SUMMARY - TH LEVEL 01

| | |
|------------------------|-------------|
| RESIDENTIAL | 12728.22 SF |
| FSR R AREA | 12728.22 SF |
| MECHANICAL | 93.33 SF |
| STORAGE | 245.12 SF |
| FSR R EXCLUSION | 338.45 SF |
| TOTAL GROSS FLOOR AREA | 13066.68 SF |

RESIDENTIAL FSR AREA - TH LEVEL 01

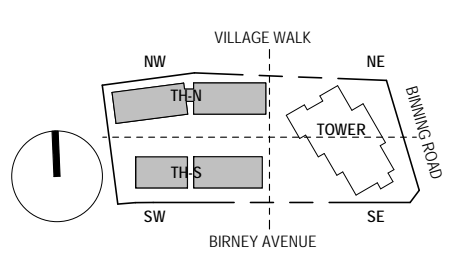
| | | |
|----------------------------|------------|-------------|
| RESIDENTIAL | R-LTH01.01 | 868.84 SF |
| RESIDENTIAL | R-LTH01.02 | 833.61 SF |
| RESIDENTIAL | R-LTH01.03 | 833.74 SF |
| RESIDENTIAL | R-LTH01.04 | 835.15 SF |
| RESIDENTIAL | R-LTH01.05 | 835.28 SF |
| RESIDENTIAL | R-LTH01.06 | 833.64 SF |
| RESIDENTIAL | R-LTH01.07 | 833.61 SF |
| RESIDENTIAL | R-LTH01.08 | 803.25 SF |
| RESIDENTIAL | R-LTH01.09 | 814.69 SF |
| RESIDENTIAL | R-LTH01.10 | 808.14 SF |
| RESIDENTIAL | R-LTH01.11 | 808.14 SF |
| RESIDENTIAL | R-LTH01.12 | 814.59 SF |
| RESIDENTIAL | R-LTH01.13 | 814.75 SF |
| RESIDENTIAL | R-LTH01.14 | 807.77 SF |
| RESIDENTIAL | R-LTH01.15 | 814.80 SF |
| RESIDENTIAL | R-LTH01.S2 | 368.22 SF |
| TOTAL RESIDENTIAL FSR AREA | | 12728.22 SF |

MECHANICAL R EXCLUSION - TH LEVEL 01

| | | |
|----------------------------|------------|----------|
| MECHANICAL | M-LTH01.01 | 6.22 SF |
| MECHANICAL | M-LTH01.02 | 6.22 SF |
| MECHANICAL | M-LTH01.03 | 6.22 SF |
| MECHANICAL | M-LTH01.04 | 6.22 SF |
| MECHANICAL | M-LTH01.05 | 6.22 SF |
| MECHANICAL | M-LTH01.06 | 6.22 SF |
| MECHANICAL | M-LTH01.07 | 6.22 SF |
| MECHANICAL | M-LTH01.08 | 6.22 SF |
| MECHANICAL | M-LTH01.09 | 6.22 SF |
| MECHANICAL | M-LTH01.10 | 6.22 SF |
| MECHANICAL | M-LTH01.11 | 6.22 SF |
| MECHANICAL | M-LTH01.12 | 6.22 SF |
| MECHANICAL | M-LTH01.13 | 6.22 SF |
| MECHANICAL | M-LTH01.14 | 6.22 SF |
| MECHANICAL | M-LTH01.15 | 6.22 SF |
| TOTAL MECHANICAL EXCLUSION | | 93.33 SF |

STORAGE R EXCLUSION - TH LEVEL 01

| | | |
|-------------------------|------------|-----------|
| STORAGE | S-LTH01.01 | 30.71 SF |
| STORAGE | S-LTH01.02 | 16.16 SF |
| STORAGE | S-LTH01.03 | 16.04 SF |
| STORAGE | S-LTH01.04 | 16.16 SF |
| STORAGE | S-LTH01.05 | 16.16 SF |
| STORAGE | S-LTH01.06 | 16.04 SF |
| STORAGE | S-LTH01.07 | 16.16 SF |
| STORAGE | S-LTH01.08 | 16.28 SF |
| STORAGE | S-LTH01.09 | 14.39 SF |
| STORAGE | S-LTH01.10 | 14.50 SF |
| STORAGE | S-LTH01.11 | 14.50 SF |
| STORAGE | S-LTH01.12 | 14.50 SF |
| STORAGE | S-LTH01.13 | 14.50 SF |
| STORAGE | S-LTH01.14 | 14.50 SF |
| STORAGE | S-LTH01.15 | 14.50 SF |
| TOTAL STORAGE EXCLUSION | | 245.12 SF |



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FSR PLAN -
TOWNHOUSES - LEVEL
01

FSR-111

1 FSR_PLAN_TOWNHOUSES_LEVEL_01
1/8" = 1'-0"

C:\Temp\A-UBC_Cat8\DP_Mastiz_abdullahs.rvt
3/1/2018 12:51:33 PM

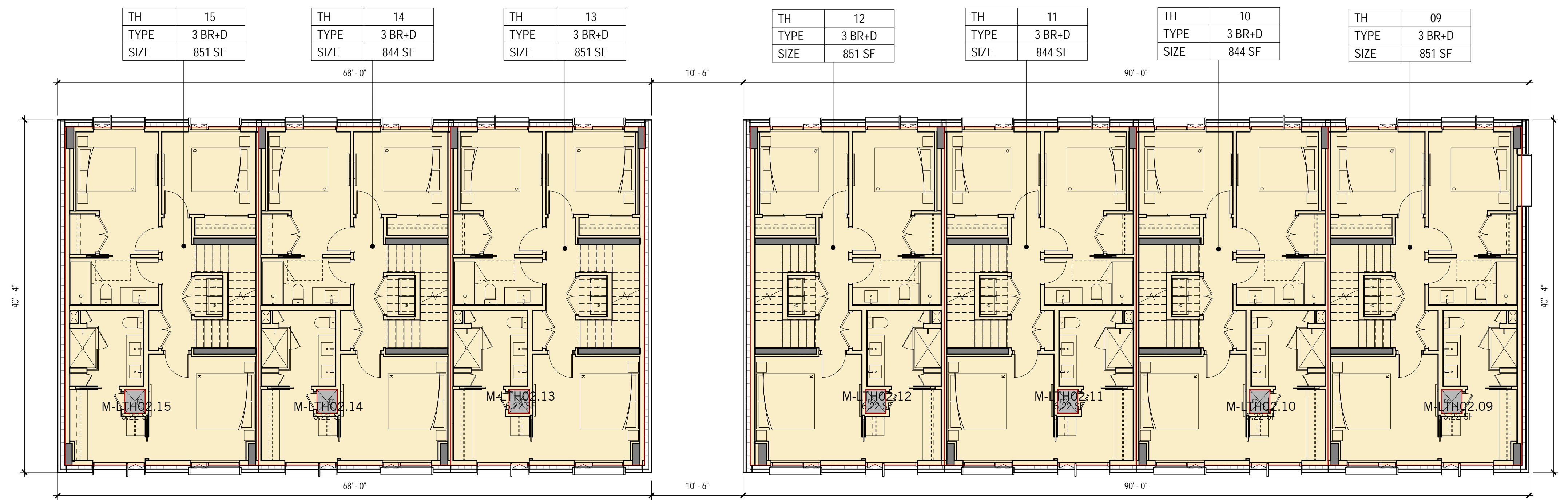
| RESIDENTIAL AREA SUMMARY - TH LEVEL 02 | | |
|--|------------|-------------|
| RESIDENTIAL | | 13020.69 SF |
| FSR R AREA | | 13020.69 SF |
| MECHANICAL | | 93.33 SF |
| FSR R EXCLUSION | | 93.33 SF |
| TOTAL GROSS FLOOR AREA | | 13114.02 SF |
| RESIDENTIAL FSR AREA - TH LEVEL 02 | | |
| RESIDENTIAL | R-LTH02.01 | 922.30 SF |
| RESIDENTIAL | R-LTH02.02 | 872.65 SF |
| RESIDENTIAL | R-LTH02.03 | 872.65 SF |
| RESIDENTIAL | R-LTH02.04 | 874.30 SF |
| RESIDENTIAL | R-LTH02.05 | 874.30 SF |
| RESIDENTIAL | R-LTH02.06 | 872.65 SF |
| RESIDENTIAL | R-LTH02.07 | 872.64 SF |
| RESIDENTIAL | R-LTH02.08 | 922.31 SF |
| RESIDENTIAL | R-LTH02.09 | 850.89 SF |
| RESIDENTIAL | R-LTH02.10 | 844.44 SF |
| RESIDENTIAL | R-LTH02.11 | 844.44 SF |
| RESIDENTIAL | R-LTH02.12 | 850.89 SF |
| RESIDENTIAL | R-LTH02.13 | 850.89 SF |
| RESIDENTIAL | R-LTH02.14 | 844.44 SF |
| RESIDENTIAL | R-LTH02.15 | 850.89 SF |
| TOTAL RESIDENTIAL FSR AREA | | 13020.69 SF |
| MECHANICAL R EXCLUSION - TH LEVEL 02 | | |
| MECHANICAL | M-LTH02.01 | 6.22 SF |
| MECHANICAL | M-LTH02.02 | 6.22 SF |
| MECHANICAL | M-LTH02.03 | 6.22 SF |
| MECHANICAL | M-LTH02.04 | 6.22 SF |
| MECHANICAL | M-LTH02.05 | 6.22 SF |
| MECHANICAL | M-LTH02.06 | 6.22 SF |
| MECHANICAL | M-LTH02.07 | 6.22 SF |
| MECHANICAL | M-LTH02.08 | 6.22 SF |
| MECHANICAL | M-LTH02.09 | 6.22 SF |
| MECHANICAL | M-LTH02.10 | 6.22 SF |
| MECHANICAL | M-LTH02.11 | 6.22 SF |
| MECHANICAL | M-LTH02.12 | 6.22 SF |
| MECHANICAL | M-LTH02.13 | 6.22 SF |
| MECHANICAL | M-LTH02.14 | 6.22 SF |
| MECHANICAL | M-LTH02.15 | 6.22 SF |
| TOTAL MECHANICAL EXCLUSION | | 93.33 SF |
| STORAGE R EXCLUSION - TH LEVEL 02 | | |



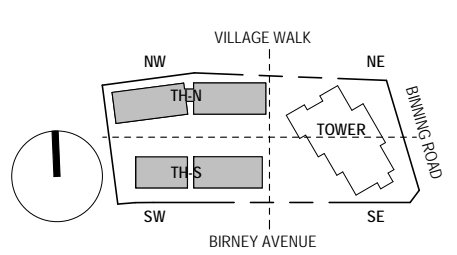
| | | | | |
|-------------|-------------|-------------|-------------|-------------|
| TH 05 | TH 04 | TH 03 | TH 02 | TH 01 |
| TYPE 3 BR+D | TYPE 3 BR+D | TYPE 3 BR+D | TYPE 3 BR+D | TYPE 3 BR+D |
| SIZE 874 SF | SIZE 874 SF | SIZE 873 SF | SIZE 873 SF | SIZE 922 SF |

| | |
|-------------|-------------|
| TH 07 | TH 06 |
| TYPE 3 BR+D | TYPE 3 BR+D |
| SIZE 873 SF | SIZE 873 SF |

| |
|-------------|
| TH 08 |
| TYPE 3 BR+D |
| SIZE 922 SF |



| | | | | | | |
|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| TH 15 | TH 14 | TH 13 | TH 12 | TH 11 | TH 10 | TH 09 |
| TYPE 3 BR+D | TYPE 3 BR+D | TYPE 3 BR+D | TYPE 3 BR+D | TYPE 3 BR+D | TYPE 3 BR+D | TYPE 3 BR+D |
| SIZE 851 SF | SIZE 844 SF | SIZE 851 SF | SIZE 851 SF | SIZE 844 SF | SIZE 844 SF | SIZE 851 SF |



IVY ON THE PARK
LOT 8

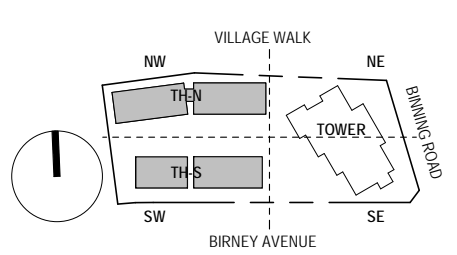
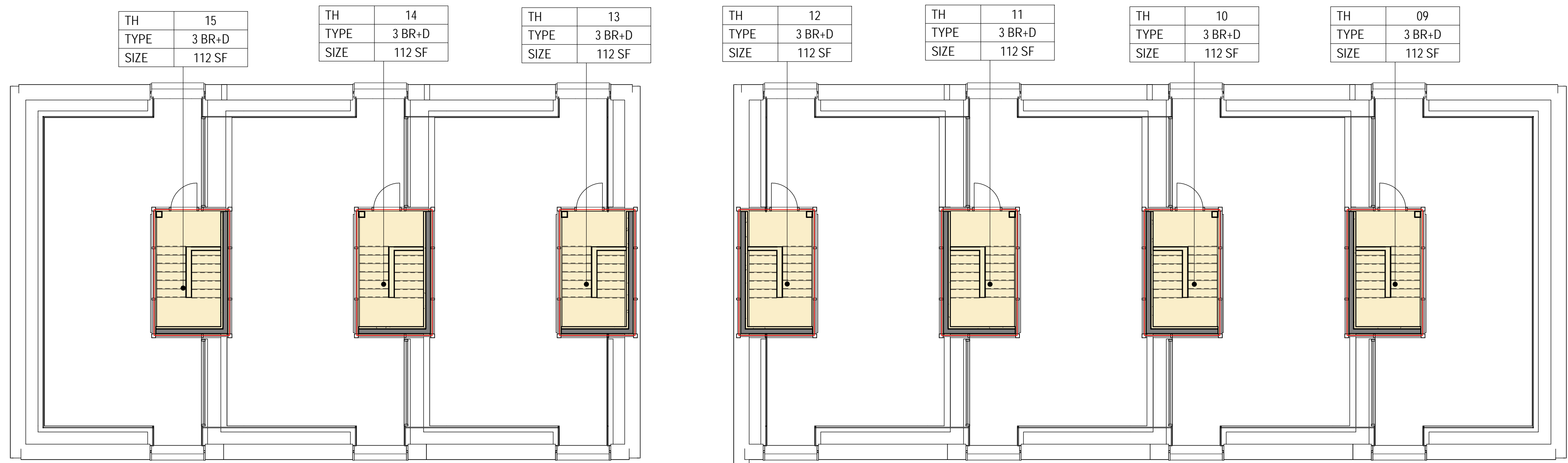
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FSR PLAN -
TOWNHOUSES - LEVEL
02

FSR-112

1 FSR PLAN TOWNHOUSES LEVEL 02
1/8" = 1'-0"

| RESIDENTIAL AREA SUMMARY - TH LEVEL 03 | | |
|--|------------|------------|
| RESIDENTIAL | | 7570.70 SF |
| FSR R AREA | | 7570.70 SF |
| MECHANICAL | | 49.78 SF |
| STORAGE | | 298.16 SF |
| FSR R EXCLUSION | | 347.94 SF |
| TOTAL GROSS FLOOR AREA | | 7918.63 SF |
| RESIDENTIAL FSR AREA - TH LEVEL 03 | | |
| RESIDENTIAL | R-LTH03.01 | 838.55 SF |
| RESIDENTIAL | R-LTH03.02 | 880.13 SF |
| RESIDENTIAL | R-LTH03.06 | 839.30 SF |
| RESIDENTIAL | R-LTH03.07 | 880.25 SF |
| RESIDENTIAL | R-LTH03.08 | 838.60 SF |
| RESIDENTIAL | R-LTH03.09 | 112.15 SF |
| RESIDENTIAL | R-LTH03.10 | 112.15 SF |
| RESIDENTIAL | R-LTH03.10 | 838.86 SF |
| RESIDENTIAL | R-LTH03.11 | 112.15 SF |
| RESIDENTIAL | R-LTH03.11 | 835.15 SF |
| RESIDENTIAL | R-LTH03.12 | 112.15 SF |
| RESIDENTIAL | R-LTH03.12 | 834.80 SF |
| RESIDENTIAL | R-LTH03.13 | 112.15 SF |
| RESIDENTIAL | R-LTH03.13 | 838.86 SF |
| RESIDENTIAL | R-LTH03.14 | 112.15 SF |
| RESIDENTIAL | R-LTH03.15 | 112.15 SF |
| TOTAL RESIDENTIAL FSR AREA | | 7570.70 SF |
| MECHANICAL R EXCLUSION - TH LEVEL 03 | | |
| MECHANICAL | M-LTH03.01 | 6.22 SF |
| MECHANICAL | M-LTH03.02 | 6.22 SF |
| MECHANICAL | M-LTH03.03 | 6.22 SF |
| MECHANICAL | M-LTH03.04 | 6.22 SF |
| MECHANICAL | M-LTH03.05 | 6.22 SF |
| MECHANICAL | M-LTH03.06 | 6.22 SF |
| MECHANICAL | M-LTH03.07 | 6.22 SF |
| MECHANICAL | M-LTH03.08 | 6.22 SF |
| TOTAL MECHANICAL EXCLUSION | | 49.78 SF |
| STORAGE R EXCLUSION - TH LEVEL 03 | | |
| STORAGE | S-LTH03.01 | 35.31 SF |
| STORAGE | S-LTH03.02 | 36.41 SF |
| STORAGE | S-LTH03.03 | 38.73 SF |
| STORAGE | S-LTH03.04 | 38.76 SF |
| STORAGE | S-LTH03.05 | 38.49 SF |
| STORAGE | S-LTH03.06 | 38.73 SF |
| STORAGE | S-LTH03.07 | 36.67 SF |
| STORAGE | S-LTH03.08 | 35.06 SF |
| TOTAL STORAGE EXCLUSION | | 298.16 SF |



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

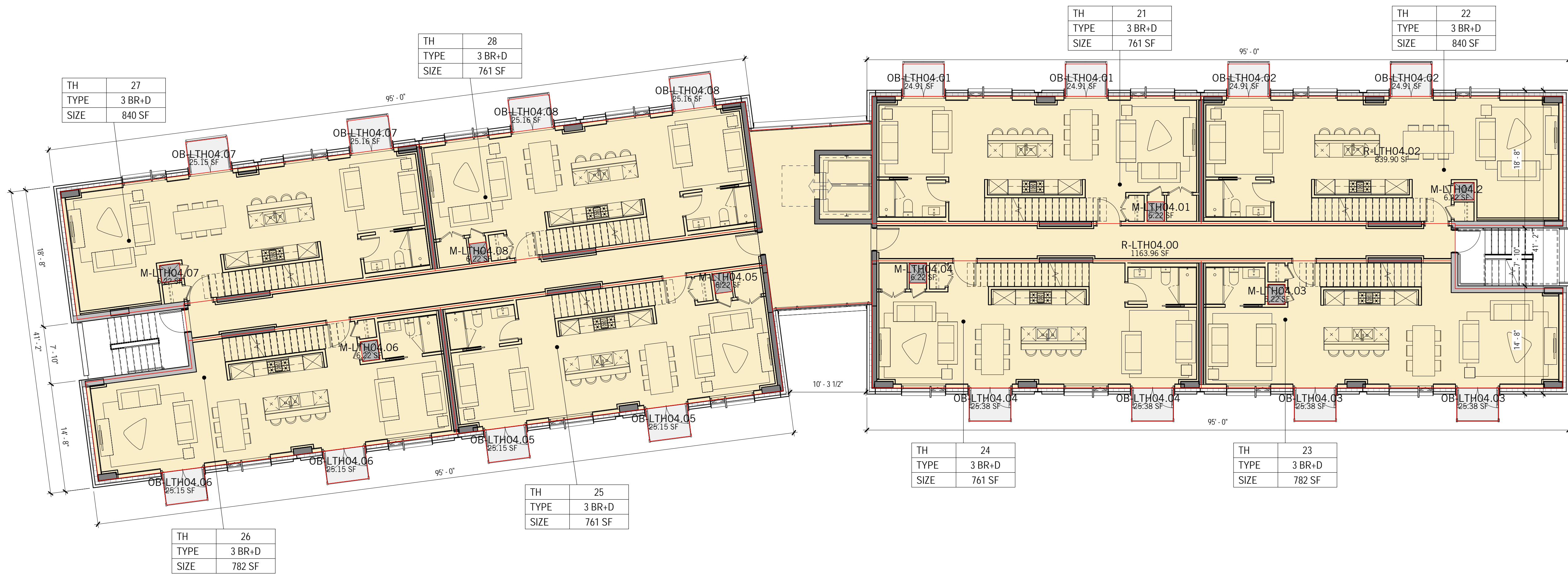
FSR PLAN -
TOWNHOUSES - LEVEL
03

FSR-113

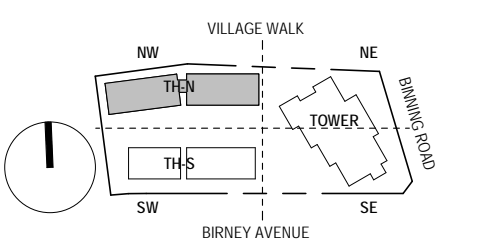
1 FSR PLAN TOWNHOUSES LEVEL 03
1/8" = 1'-0"

C:\Temp\A-UBC_Cat8\DP_Mastier_abdullahs.rvt

3/12/2018 12:51:52 PM



| RESIDENTIAL AREA SUMMARY - TH LEVEL 04 | | |
|---|-------------|-------------------|
| RESIDENTIAL | | 7451.85 SF |
| FSR R AREA | | 7451.85 SF |
| MECHANICAL | | 49.78 SF |
| FSR R EXCLUSION | | 49.78 SF |
| TOTAL GROSS FLOOR AREA | | 7501.63 SF |
| RESIDENTIAL FSR AREA - TH LEVEL 04 | | |
| RESIDENTIAL | R-LTH03.01 | 838.55 SF |
| RESIDENTIAL | R-LTH03.02 | 890.13 SF |
| RESIDENTIAL | R-LTH03.06 | 839.30 SF |
| RESIDENTIAL | R-LTH03.07 | 880.25 SF |
| RESIDENTIAL | R-LTH03.08 | 838.60 SF |
| RESIDENTIAL | R-LTH03.09 | 112.15 SF |
| RESIDENTIAL | R-LTH03.10 | 112.15 SF |
| RESIDENTIAL | R-LTH03.10 | 838.86 SF |
| RESIDENTIAL | R-LTH03.11 | 112.15 SF |
| RESIDENTIAL | R-LTH03.11 | 835.15 SF |
| RESIDENTIAL | R-LTH03.12 | 112.15 SF |
| RESIDENTIAL | R-LTH03.12 | 834.80 SF |
| RESIDENTIAL | R-LTH03.13 | 112.15 SF |
| RESIDENTIAL | R-LTH03.14 | 112.15 SF |
| RESIDENTIAL | R-LTH03.15 | 112.15 SF |
| TOTAL RESIDENTIAL FSR AREA | | 7570.70 SF |
| MECHANICAL R EXCLUSION - TH LEVEL 04 | | |
| MECHANICAL | M-LTH04.01 | 6.22 SF |
| MECHANICAL | M-LTH04.02 | 6.22 SF |
| MECHANICAL | M-LTH04.03 | 6.22 SF |
| MECHANICAL | M-LTH04.04 | 6.22 SF |
| MECHANICAL | M-LTH04.05 | 6.22 SF |
| MECHANICAL | M-LTH04.06 | 6.22 SF |
| MECHANICAL | M-LTH04.07 | 6.22 SF |
| MECHANICAL | M-LTH04.08 | 6.22 SF |
| TOTAL MECHANICAL EXCLUSION | | 49.78 SF |
| OPEN BALCONY R NON GFA - TH LEVEL 04 | | |
| OPEN BALCONY | OB-LTH04.01 | 24.91 SF |
| OPEN BALCONY | OB-LTH04.01 | 24.91 SF |
| OPEN BALCONY | OB-LTH04.02 | 24.91 SF |
| OPEN BALCONY | OB-LTH04.02 | 24.91 SF |
| OPEN BALCONY | OB-LTH04.03 | 25.38 SF |
| OPEN BALCONY | OB-LTH04.03 | 25.38 SF |
| OPEN BALCONY | OB-LTH04.04 | 25.38 SF |
| OPEN BALCONY | OB-LTH04.04 | 25.38 SF |
| OPEN BALCONY | OB-LTH04.05 | 25.15 SF |
| OPEN BALCONY | OB-LTH04.05 | 25.15 SF |
| OPEN BALCONY | OB-LTH04.06 | 25.15 SF |
| OPEN BALCONY | OB-LTH04.06 | 25.15 SF |
| OPEN BALCONY | OB-LTH04.07 | 25.15 SF |
| OPEN BALCONY | OB-LTH04.07 | 25.15 SF |
| OPEN BALCONY | OB-LTH04.08 | 25.16 SF |
| OPEN BALCONY | OB-LTH04.08 | 25.16 SF |
| TOTAL ENCLOSED BALCONY EXCLUSION | | 402.37 SF |

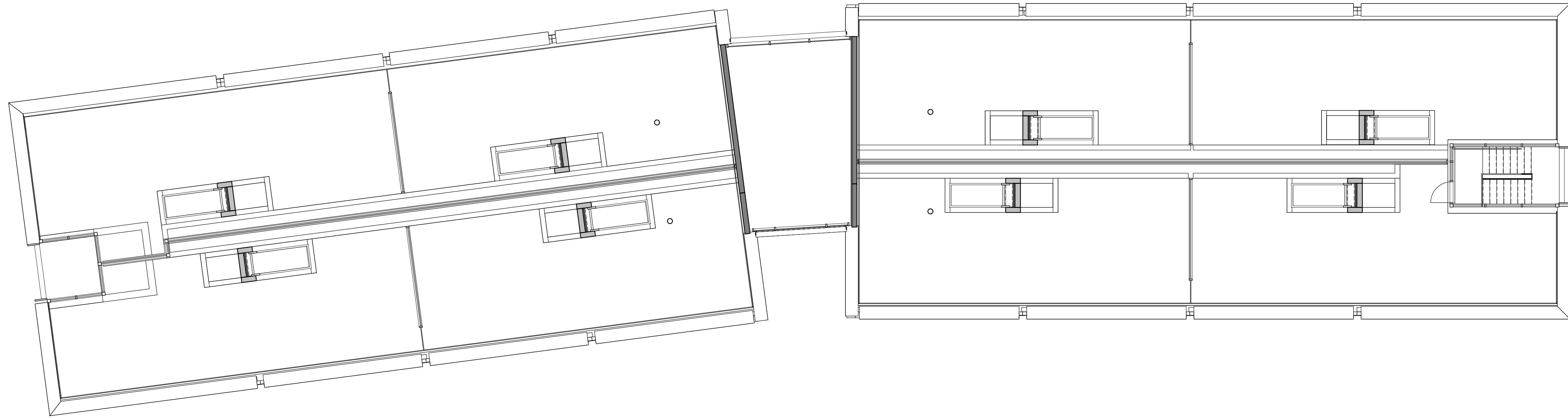


IVY ON THE PARK
LOT 8

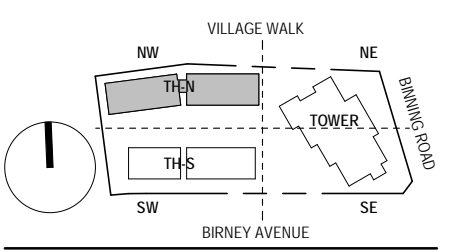
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FSR PLAN -
TOWNHOUSES - LEVEL
04

FSR-114



| |
|--|
| RESIDENTIAL AREA SUMMARY - TH LEVEL 05 |
| RESIDENTIAL FSR AREA - TH LEVEL 05 |
| STORAGE R EXCLUSION - TH LEVEL 05 |
| MECHANICAL R EXCLUSION - TH LEVEL 05 |



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FSR PLAN -
TOWNHOUSES - LEVEL
05

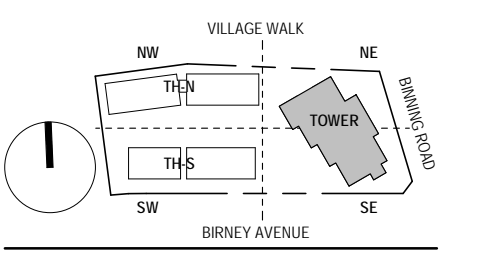
FSR-115



| | |
|-------|--------|
| SUITE | 101 |
| TYPE | 2 BR |
| SIZE | 720 SF |

| | |
|-------|----------|
| SUITE | 102 |
| TYPE | 3 BR |
| SIZE | 1,237 SF |

| RESIDENTIAL AREA SUMMARY - LEVEL 01 | | |
|-------------------------------------|------------|------------|
| RESIDENTIAL | 4297.69 SF | |
| FSR R AREA | 4297.69 SF | |
| AMENITY | | |
| ELECTRICAL | 9.53 SF | |
| MECHANICAL | 52.12 SF | |
| STORAGE | 63.93 SF | |
| FSR R EXCLUSION | 3880.82 SF | |
| TOTAL GROSS FLOOR AREA | 8178.51 SF | |
| RESIDENTIAL FSR AREA - LEVEL 01 | | |
| RESIDENTIAL | R-L01.00 | 2340.77 SF |
| RESIDENTIAL | R-L01.01 | 719.54 SF |
| RESIDENTIAL | R-L01.02 | 1237.37 SF |
| TOTAL RESIDENTIAL FSR AREA | | 4297.69 SF |
| ELECTRICAL R EXCLUSION - LEVEL 01 | | |
| ELECTRICAL | E-L01.00 | 9.53 SF |
| TOTAL WALL EXCLUSION | | 9.53 SF |
| MECHANICAL R EXCLUSION - LEVEL 01 | | |
| MECHANICAL | M-L01.00 | 34.92 SF |
| MECHANICAL | M-L01.01 | 6.20 SF |
| MECHANICAL | M-L01.01 | 1.50 SF |
| MECHANICAL | M-L01.02 | 8.00 SF |
| MECHANICAL | M-L01.02 | 1.50 SF |
| TOTAL MECHANICAL EXCLUSION | | 52.12 SF |
| STORAGE R EXCLUSION - LEVEL 01 | | |
| STORAGE | S-L01.01 | 35.16 SF |
| STORAGE | S-L01.02 | 14.00 SF |
| STORAGE | S-L01.02 | 14.77 SF |
| TOTAL STORAGE EXCLUSION | | 63.93 SF |
| AMENITY R EXCLUSION - LEVEL 01 | | |
| AMENITY | A-L01.01 | 1310.12 SF |
| AMENITY | A-L01.02 | 570.38 SF |
| AMENITY | A-L01.02 | 12.50 SF |
| AMENITY | A-L01.03 | 1862.24 SF |
| TOTAL AMENITY EXCLUSION | | 3755.24 SF |



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FSR PLAN - TOWER -
LEVEL 01

FSR-121

1 FSR PLAN TOWER LEVEL 01
1/8" = 1'-0"



| | |
|-------|----------|
| SUITE | 201 |
| TYPE | 2 BR |
| SIZE | 1,151 SF |

| | |
|-------|----------|
| SUITE | 202 |
| TYPE | 2 BR |
| SIZE | 1,015 SF |

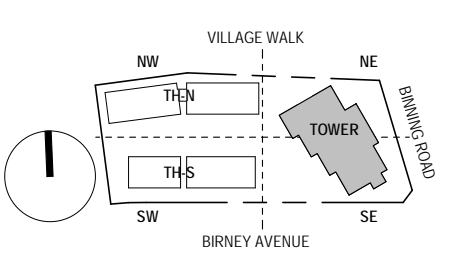
| | |
|-------|--------|
| SUITE | 203 |
| TYPE | 1 BR |
| SIZE | 521 SF |

| | |
|-------|--------|
| SUITE | 204 |
| TYPE | 2 BR |
| SIZE | 703 SF |

| | |
|-------|----------|
| SUITE | 206 |
| TYPE | 2 BR+D |
| SIZE | 1,157 SF |

| | |
|-------|----------|
| SUITE | 205 |
| TYPE | 3 BR |
| SIZE | 1,244 SF |

| RESIDENTIAL AREA SUMMARY - LEVEL 02 | | |
|-------------------------------------|-----------|------------|
| RESIDENTIAL | | 6711.74 SF |
| FSR R AREA | | 6711.74 SF |
| ELECTRICAL | | 24.37 SF |
| MECHANICAL | | 96.36 SF |
| STORAGE | | 215.80 SF |
| FSR R EXCLUSION | | 336.53 SF |
| TOTAL GROSS FLOOR AREA | | 7048.27 SF |
| RESIDENTIAL FSR AREA - LEVEL 02 | | |
| RESIDENTIAL | R-L02.00 | 921.97 SF |
| RESIDENTIAL | R-L02.01 | 1151.30 SF |
| RESIDENTIAL | R-L02.02 | 1014.71 SF |
| RESIDENTIAL | R-L02.03 | 520.71 SF |
| RESIDENTIAL | R-L02.04 | 702.57 SF |
| RESIDENTIAL | R-L02.05 | 1243.87 SF |
| RESIDENTIAL | R-L02.06 | 1156.61 SF |
| TOTAL RESIDENTIAL FSR AREA | | 6711.74 SF |
| ELECTRICAL R EXCLUSION - LEVEL 02 | | |
| ELECTRICAL | E-L02.00 | 24.37 SF |
| TOTAL WALL EXCLUSION | | 24.37 SF |
| MECHANICAL R EXCLUSION - LEVEL 02 | | |
| MECHANICAL | M-L02.00 | 47.64 SF |
| MECHANICAL | M-L02.01 | 6.22 SF |
| MECHANICAL | M-L02.01 | 1.50 SF |
| MECHANICAL | M-L02.02 | 6.22 SF |
| MECHANICAL | M-L02.02 | 1.50 SF |
| MECHANICAL | M-L02.03 | 5.06 SF |
| MECHANICAL | M-L02.03 | 1.50 SF |
| MECHANICAL | M-L02.04 | 6.22 SF |
| MECHANICAL | M-L02.04 | 1.50 SF |
| MECHANICAL | M-L02.05 | 8.00 SF |
| MECHANICAL | M-L02.05 | 1.50 SF |
| MECHANICAL | M-L02.06 | 8.00 SF |
| MECHANICAL | M-L02.06 | 1.50 SF |
| TOTAL MECHANICAL EXCLUSION | | 96.36 SF |
| STORAGE R EXCLUSION - LEVEL 02 | | |
| STORAGE | S-L02.01 | 40.00 SF |
| STORAGE | S-L02.02 | 36.75 SF |
| STORAGE | S-L02.03 | 31.83 SF |
| STORAGE | S-L02.04 | 32.01 SF |
| STORAGE | S-L02.05 | 14.00 SF |
| STORAGE | S-L02.05 | 21.20 SF |
| STORAGE | S-L02.06 | 40.00 SF |
| TOTAL STORAGE EXCLUSION | | 215.80 SF |
| OPEN BALCONY R NON GFA - LEVEL 02 | | |
| OPEN BALCONY | OB-L02.01 | 113.60 SF |
| OPEN BALCONY | OB-L02.02 | 78.08 SF |
| OPEN BALCONY | OB-L02.03 | 78.09 SF |
| OPEN BALCONY | OB-L02.04 | 115.45 SF |
| OPEN BALCONY | OB-L02.05 | 114.37 SF |
| OPEN BALCONY | OB-L02.06 | 114.23 SF |
| TOTAL ENCLOSED BALCONY EXCLUSION | | 613.83 SF |



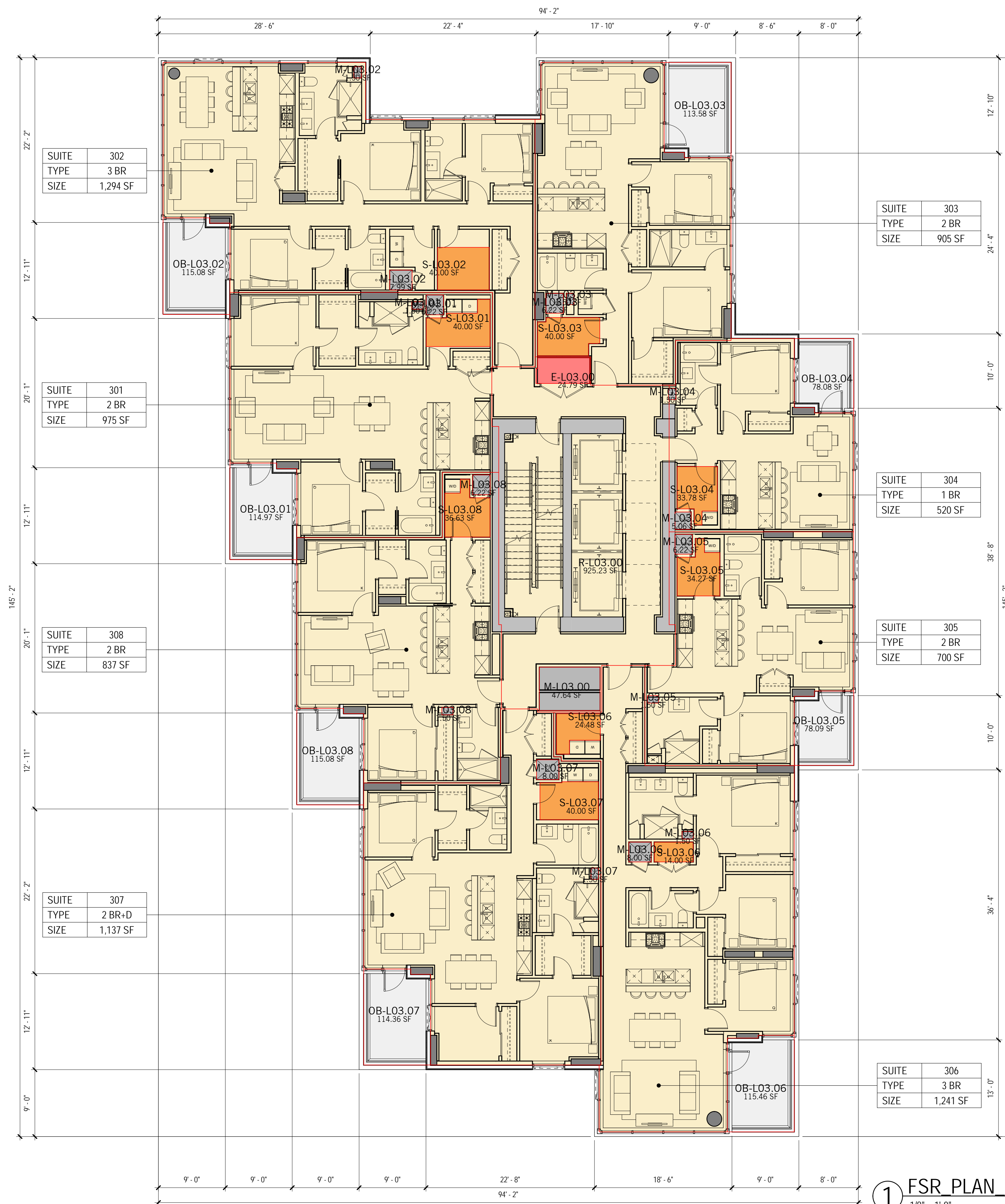
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

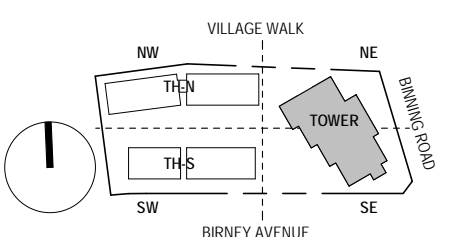
FSR PLAN - TOWER -
LEVEL 02

FSR-122

① FSR PLAN TOWER LEVEL 02
1/8" = 1'-0"



| RESIDENTIAL AREA SUMMARY - LEVELS 03-16 | | |
|---|-----------|------------|
| RESIDENTIAL | | 8533.31 SF |
| FSR R AREA | | 8533.31 SF |
| ELECTRICAL | | 24.79 SF |
| MECHANICAL | | 113.57 SF |
| STORAGE | | 303.17 SF |
| FSR R EXCLUSION | | 441.52 SF |
| TOTAL GROSS FLOOR AREA | | 8974.83 SF |
| RESIDENTIAL FSR AREA - LEVELS 03-16 | | |
| RESIDENTIAL | R-L03.00 | 925.23 SF |
| RESIDENTIAL | R-L03.01 | 974.89 SF |
| RESIDENTIAL | R-L03.02 | 1293.61 SF |
| RESIDENTIAL | R-L03.03 | 904.71 SF |
| RESIDENTIAL | R-L03.04 | 520.05 SF |
| RESIDENTIAL | R-L03.05 | 699.96 SF |
| RESIDENTIAL | R-L03.06 | 1240.61 SF |
| RESIDENTIAL | R-L03.07 | 1137.41 SF |
| RESIDENTIAL | R-L03.08 | 836.83 SF |
| TOTAL RESIDENTIAL FSR AREA | | 8533.31 SF |
| ELECTRICAL R EXCLUSION - LEVELS 03-16 | | |
| ELECTRICAL | E-L03.00 | 24.79 SF |
| TOTAL WALL EXCLUSION | | 24.79 SF |
| MECHANICAL R EXCLUSION - LEVELS 03-16 | | |
| MECHANICAL | M-L03.00 | 47.64 SF |
| MECHANICAL | M-L03.01 | 6.22 SF |
| MECHANICAL | M-L03.01 | 1.50 SF |
| MECHANICAL | M-L03.02 | 7.99 SF |
| MECHANICAL | M-L03.02 | 1.50 SF |
| MECHANICAL | M-L03.03 | 6.22 SF |
| MECHANICAL | M-L03.03 | 1.50 SF |
| MECHANICAL | M-L03.04 | 5.06 SF |
| MECHANICAL | M-L03.04 | 1.50 SF |
| MECHANICAL | M-L03.05 | 6.22 SF |
| MECHANICAL | M-L03.05 | 1.50 SF |
| MECHANICAL | M-L03.06 | 8.00 SF |
| MECHANICAL | M-L03.06 | 1.50 SF |
| MECHANICAL | M-L03.07 | 8.00 SF |
| MECHANICAL | M-L03.07 | 1.50 SF |
| MECHANICAL | M-L03.08 | 6.22 SF |
| MECHANICAL | M-L03.08 | 1.50 SF |
| TOTAL MECHANICAL EXCLUSION | | 113.57 SF |
| STORAGE R EXCLUSION - LEVELS 03-16 | | |
| STORAGE | S-L03.01 | 40.00 SF |
| STORAGE | S-L03.02 | 40.00 SF |
| STORAGE | S-L03.03 | 40.00 SF |
| STORAGE | S-L03.04 | 33.78 SF |
| STORAGE | S-L03.05 | 34.27 SF |
| STORAGE | S-L03.06 | 14.00 SF |
| STORAGE | S-L03.06 | 24.48 SF |
| STORAGE | S-L03.07 | 40.00 SF |
| STORAGE | S-L03.08 | 36.63 SF |
| TOTAL STORAGE EXCLUSION | | 303.17 SF |
| OPEN BALCONY R NON GFA - LEVELS 03-16 | | |
| OPEN BALCONY | OB-L03.01 | 114.97 SF |
| OPEN BALCONY | OB-L03.02 | 115.08 SF |
| OPEN BALCONY | OB-L03.03 | 113.58 SF |
| OPEN BALCONY | OB-L03.04 | 78.08 SF |
| OPEN BALCONY | OB-L03.05 | 78.09 SF |
| OPEN BALCONY | OB-L03.06 | 115.46 SF |
| OPEN BALCONY | OB-L03.07 | 114.36 SF |
| OPEN BALCONY | OB-L03.08 | 115.08 SF |
| TOTAL ENCLOSED BALCONY EXCLUSION | | 844.70 SF |



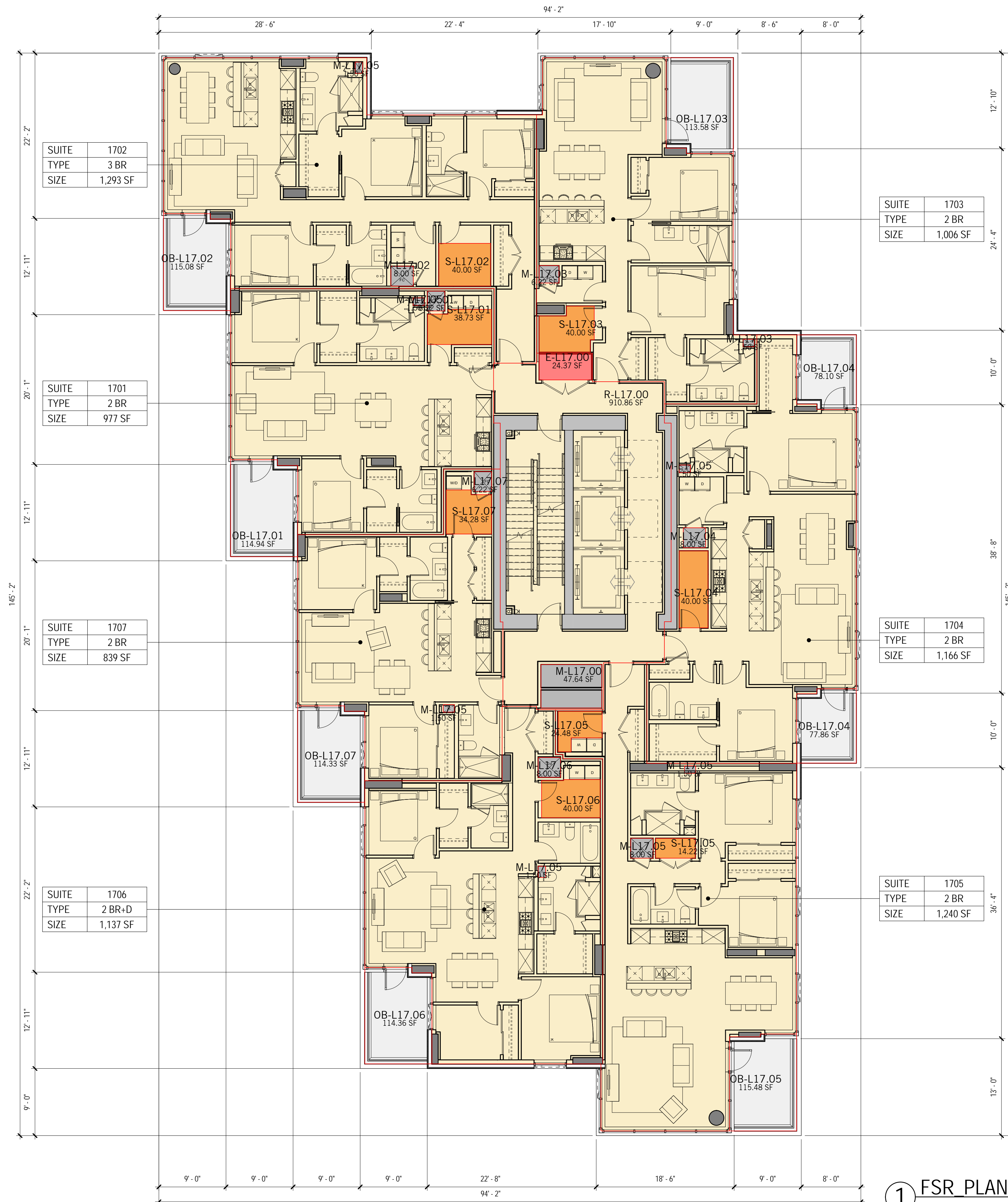
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

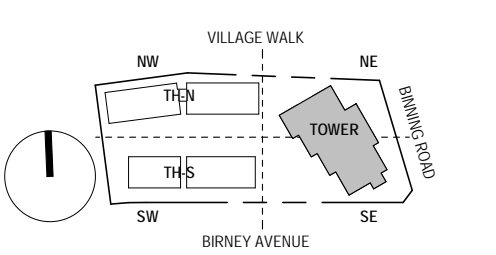
FSR PLAN - TOWER -
LEVELS 03-16

FSR-123

1 FSR PLAN TOWER LEVELS 03-16
1/8" = 1'-0"



| RESIDENTIAL AREA SUMMARY - LEVELS 17-20 | | |
|---|-----------|------------|
| RESIDENTIAL | | 8570.20 SF |
| FSR R AREA | | 8570.20 SF |
| ELECTRICAL | | 24.37 SF |
| MECHANICAL | | 108.80 SF |
| STORAGE | | 271.71 SF |
| FSR R EXCLUSION | | 404.88 SF |
| TOTAL GROSS FLOOR AREA | | 8975.08 SF |
| RESIDENTIAL FSR AREA - LEVELS 17-20 | | |
| RESIDENTIAL | R-L17.00 | 910.86 SF |
| RESIDENTIAL | R-L17.01 | 839.22 SF |
| RESIDENTIAL | R-L17.01 | 1293.15 SF |
| RESIDENTIAL | R-L17.01 | 1006.44 SF |
| RESIDENTIAL | R-L17.01 | 1165.97 SF |
| RESIDENTIAL | R-L17.01 | 1240.44 SF |
| RESIDENTIAL | R-L17.01 | 1137.36 SF |
| RESIDENTIAL | R-L17.01 | 976.76 SF |
| TOTAL RESIDENTIAL FSR AREA | | 8570.20 SF |
| ELECTRICAL R EXCLUSION - LEVELS 17-20 | | |
| ELECTRICAL | E-L17.00 | 24.37 SF |
| TOTAL WALL EXCLUSION | | 24.37 SF |
| MECHANICAL R EXCLUSION - LEVELS 17-20 | | |
| MECHANICAL | M-L17.00 | 47.64 SF |
| MECHANICAL | M-L17.01 | 6.22 SF |
| MECHANICAL | M-L17.02 | 8.00 SF |
| MECHANICAL | M-L17.03 | 6.22 SF |
| MECHANICAL | M-L17.03 | 1.50 SF |
| MECHANICAL | M-L17.04 | 8.00 SF |
| MECHANICAL | M-L17.05 | 8.00 SF |
| MECHANICAL | M-L17.05 | 1.50 SF |
| MECHANICAL | M-L17.05 | 1.50 SF |
| MECHANICAL | M-L17.05 | 1.50 SF |
| MECHANICAL | M-L17.05 | 1.50 SF |
| MECHANICAL | M-L17.05 | 1.50 SF |
| MECHANICAL | M-L17.05 | 1.50 SF |
| MECHANICAL | M-L17.06 | 8.00 SF |
| MECHANICAL | M-L17.07 | 6.22 SF |
| TOTAL MECHANICAL EXCLUSION | | 108.80 SF |
| STORAGE R EXCLUSION - LEVELS 17-20 | | |
| STORAGE | S-L17.01 | 38.73 SF |
| STORAGE | S-L17.02 | 40.00 SF |
| STORAGE | S-L17.03 | 40.00 SF |
| STORAGE | S-L17.04 | 40.00 SF |
| STORAGE | S-L17.05 | 14.22 SF |
| STORAGE | S-L17.05 | 24.48 SF |
| STORAGE | S-L17.06 | 40.00 SF |
| STORAGE | S-L17.07 | 34.28 SF |
| TOTAL STORAGE EXCLUSION | | 271.71 SF |
| OPEN BALCONY R NON GFA - LEVELS 17-20 | | |
| OPEN BALCONY | OB-L17.01 | 114.94 SF |
| OPEN BALCONY | OB-L17.02 | 115.08 SF |
| OPEN BALCONY | OB-L17.03 | 113.58 SF |
| OPEN BALCONY | OB-L17.04 | 77.86 SF |
| OPEN BALCONY | OB-L17.04 | 78.10 SF |
| OPEN BALCONY | OB-L17.05 | 115.48 SF |
| OPEN BALCONY | OB-L17.06 | 114.36 SF |
| OPEN BALCONY | OB-L17.07 | 114.33 SF |
| TOTAL ENCLOSED BALCONY EXCLUSION | | 843.74 SF |



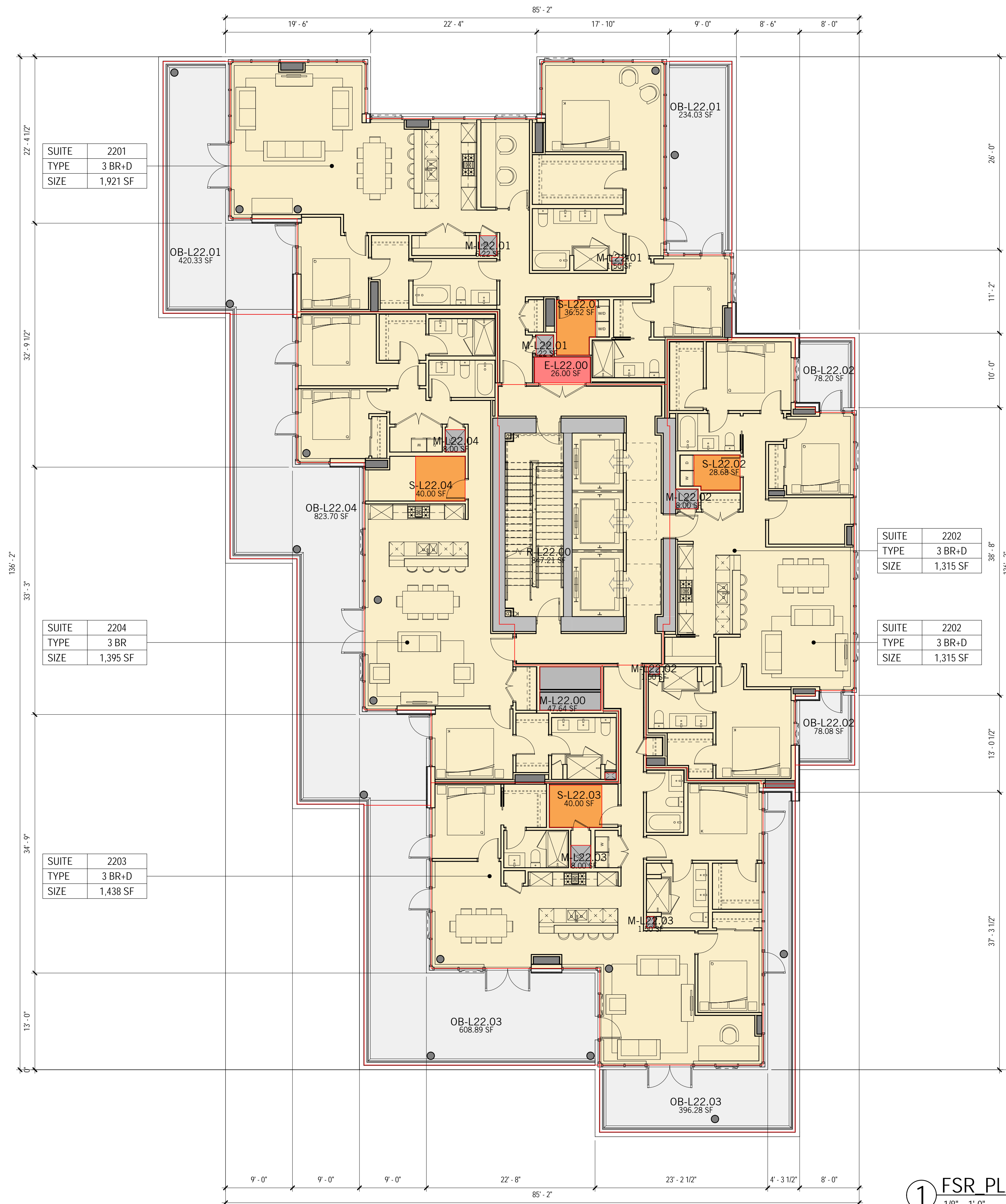
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02

FSR PLAN - TOWER - LEVELS 17-21

FSR-124

1 FSR PLAN TOWER LEVELS 17-20
1/8" = 1'-0"



| | |
|-------|----------|
| SUITE | 2202 |
| TYPE | 3 BR+D |
| SIZE | 1,315 SF |

| | |
|-------|----------|
| SUITE | 2202 |
| TYPE | 3 BR+D |
| SIZE | 1,315 SF |

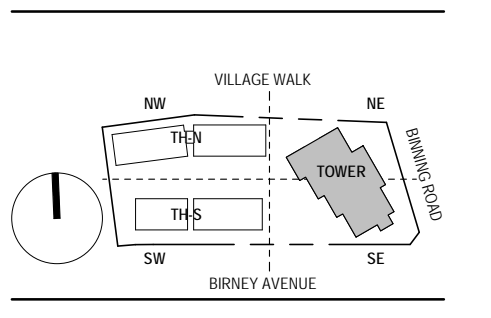
| | |
|-------|----------|
| SUITE | 2201 |
| TYPE | 3 BR+D |
| SIZE | 1,921 SF |

| | |
|-------|----------|
| SUITE | 2204 |
| TYPE | 3 BR |
| SIZE | 1,395 SF |

| | |
|-------|----------|
| SUITE | 2203 |
| TYPE | 3 BR+D |
| SIZE | 1,438 SF |

1 FSR PLAN TOWER LEVEL 22
1/8" = 1'-0"

| RESIDENTIAL AREA SUMMARY - LEVEL 22 | | |
|-------------------------------------|-----------|------------|
| RESIDENTIAL | | 6915.81 SF |
| FSR R AREA | | 6915.81 SF |
| ELECTRICAL | | 26.00 SF |
| MECHANICAL | | 90.08 SF |
| STORAGE | | 145.20 SF |
| FSR R EXCLUSION | | 261.28 SF |
| TOTAL GROSS FLOOR AREA | | 7177.08 SF |
| RESIDENTIAL FSR AREA - LEVEL 22 | | |
| RESIDENTIAL | R-L22.00 | 847.21 SF |
| RESIDENTIAL | R-L22.01 | 1920.73 SF |
| RESIDENTIAL | R-L22.01 | 1315.34 SF |
| RESIDENTIAL | R-L22.01 | 1437.59 SF |
| RESIDENTIAL | R-L22.01 | 1394.95 SF |
| TOTAL RESIDENTIAL FSR AREA | | 6915.81 SF |
| ELECTRICAL R EXCLUSION - LEVEL 22 | | |
| ELECTRICAL | E-L22.00 | 26.00 SF |
| TOTAL WALL EXCLUSION | | 26.00 SF |
| MECHANICAL R EXCLUSION - LEVEL 22 | | |
| MECHANICAL | M-L22.00 | 47.64 SF |
| MECHANICAL | M-L22.01 | 6.22 SF |
| MECHANICAL | M-L22.01 | 6.22 SF |
| MECHANICAL | M-L22.01 | 1.50 SF |
| MECHANICAL | M-L22.02 | 8.00 SF |
| MECHANICAL | M-L22.02 | 1.50 SF |
| MECHANICAL | M-L22.03 | 8.00 SF |
| MECHANICAL | M-L22.03 | 1.50 SF |
| MECHANICAL | M-L22.04 | 8.00 SF |
| MECHANICAL | M-L22.04 | 1.50 SF |
| TOTAL MECHANICAL EXCLUSION | | 90.08 SF |
| STORAGE R EXCLUSION - LEVEL 22 | | |
| STORAGE | S-L22.01 | 36.52 SF |
| STORAGE | S-L22.02 | 28.68 SF |
| STORAGE | S-L22.03 | 40.00 SF |
| STORAGE | S-L22.04 | 40.00 SF |
| TOTAL STORAGE EXCLUSION | | 145.20 SF |
| OPEN BALCONY R NON GFA - LEVEL 22 | | |
| OPEN BALCONY | OB-L22.01 | 234.03 SF |
| OPEN BALCONY | OB-L22.01 | 420.33 SF |
| OPEN BALCONY | OB-L22.02 | 78.08 SF |
| OPEN BALCONY | OB-L22.02 | 78.20 SF |
| OPEN BALCONY | OB-L22.03 | 396.28 SF |
| OPEN BALCONY | OB-L22.03 | 608.89 SF |
| OPEN BALCONY | OB-L22.04 | 823.70 SF |
| TOTAL ENCLOSED BALCONY EXCLUSION | | 2639.52 SF |



- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02