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PERKINS+WILL

IVY ON THE PARK

LOT 8

DP AMENDMENT SUBMISSION

2018-05-24



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PROJECT STATISTICS

SITE AREA	63,150sf (0.58668ha)	
ZONING	SC3B - WESBROOK PLACE NEIGHBOURHOOD PLAN	
PERMITTED USES	ALLOWED	PROPOSED
TOWN HOUSING	YES	YES
MID-RISE APARTMENTS	YES	YES
APARTMENT HOUSING	YES	YES
HOME BUSINESS	YES	NO
DEVELOPMENT REGULATIONS	ALLOWED	PROPOSED
FRONT YARD SETBACK	2.5m MIN	2.5m
SIDE YARD SETBACK	2.5m MIN	2.5m
REAR YARD SETBACK	2.5m MIN	2.5m*
TOWER SEPARATION	30m MIN	31.89m
BUILDING HEIGHT TOWER	22 LEVELS (65m)	22 (64.95m)
BUILDING HEIGHT MID-RISE	4.5	4.5
BUILDING HEIGHT TOWNHOUSES	4.5	2.5
FSR	3.5 (221,025sf)	3.5 (221,017sf)
AMENITY AREA EXCLUSION	10% OF GFA (23,428sf)	4,786sf
SITE COVERAGE	50% (31,575sf)	39.0% (24,660sf)
OTHER REGULATIONS	REQUIRED	PROPOSED
BUILDING AND SITE DESIGN COMPLIANCE WITH SECTION 3.5 WESBROOK PLACE NEIGHBOURHOOD PLAN	YES	YES
COMPLIANCE WITH SECTION 7.0 OF THE DEVELOPMENT HANDBOOK	YES	YES

* REFER TO SHEET DP-006 - DP-008 FOR REQUESTED VARIANCES AND RATIONALE

PROJECT OVERVIEW

LOT 8 (IVY ON THE PARK) consists of a 22 storey residential tower on the east edge of the site, a 4.5 storey mid-rise apartment block along Village Walk, and 2 storey townhouses along Birney Avenue. The tower contains 159 homes, the majority of which are two bedroom suites. There are 19 three-bedroom units on levels 3-16. There are four penthouse suites on level 22.

The mid-rise apartment block contains 38 suites. Level 1 contains eight through-unit two-bedroom suites, while ten shallow-wide one and two-bedroom suites are above on levels 2-4. All suites have access to a roof amenity and terraces, while the at-grade units have patios fronting Village Walk and the shared courtyard to the South. The two-storey townhouse block along Birney has 7 units, each with a private roof deck and at-grade patios along the north and south.

There are three levels of underground parking to provide resident and visitor parking, as well as storage and bicycle parking.

DESIGN POLICY COMPLIANCE

IVY ON THE PARK is designed to conform with the Wesbrook Place Neighbourhood Plan, respect the neighbouring residential developments and create a dialogue with the natural setting of the forest adjacent. The sites along Birney are important in that they have the responsibility of bridging the urban forms of the street grid with the adjacent natural setting of the Pacific Spirit Park forest. We try to negotiate this dialogue with both the architecture and the landscape design.

INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	2017-12-06 PRE-OP SUBMISSION	2018-01-23 DP SUBMISSION	2018-03-02 DP RE-SUBMISSION	2018-05-24 DP AMENDMENT SUBMISSION
DP-000	COVER SHEET	•	•	•	•
DP-001	INDEX OF DRAWINGS / PROJECT STATISTICS / TEAM	•	•	•	•
DP-002	PROJECT RATIONALE - DESIGN	•	•	•	•
DP-003	PROJECT RATIONALE - CPTED / SUSTAINABILITY	•	•	•	•
DP-004	PROJECT RATIONALE - BUILDING MATERIALS & PRECEDENTS	•	•	•	•
DP-005	PROJECT RATIONALE - SCHEMATIC DETAILS & MATERIALS	•	•	•	•
DP-006	VARIANCE - LANDSCAPING OVER RAMP AT SETBACK	•	•	•	•
DP-007	VARIANCE - CANOPIES AND BALCONIES OVER SETBACK	•	•	•	•
DP-008	VARIANCE - ENTRANCE CANOPY	•	•	•	•
DP-011	CODE COMPLIANCE DATA - PARKING / BICYCLE STORAGE STALL DIMENSIONS	•	•	•	•
DP-041	SITE CONTEXT - VIEW	•	•	•	•
DP-042	SITE CONTEXT - PHOTOS	•	•	•	•
DP-043	SITE CONTEXT - STREET ELEVATIONS	•	•	•	•
DP-044	SITE CONTEXT - PLAN	•	•	•	•
DP-051	SITE PLAN	•	•	•	•
DP-052	SITE SURVEY	•	•	•	•
DP-053	BASE SURFACE CALCULATION PLAN	•	•	•	•
DP-054	SHADOW STUDY	•	•	•	•
DP-061	UTILITY PLAN - SANITARY	•	•	•	•
DP-062	UTILITY PLAN - STORM	•	•	•	•
DP-063	UTILITY PLAN - WATER	•	•	•	•
DP-064	UTILITY PLAN - GAS	•	•	•	•
DP-065	UTILITY PLAN - ELECTRICAL	•	•	•	•
DP-066	UTILITY PLAN - STREET LIGHTS	•	•	•	•
DP-101	FLOOR PLAN - PARKING - LEVEL P1	•	•	•	•
DP-102	FLOOR PLAN - PARKING - LEVEL P2	•	•	•	•
DP-103	FLOOR PLAN - PARKING - LEVEL P3	•	•	•	•
DP-111	FLOOR PLAN - MID-RISE & TOWNHOUSE - LEVEL 01	•	•	•	•
DP-112	FLOOR PLAN - MID-RISE & TOWNHOUSE - LEVEL 02	•	•	•	•
DP-113	FLOOR PLAN - MID-RISE & TOWNHOUSE - LEVEL 03	•	•	•	•
DP-114	FLOOR PLAN - MID-RISE - LEVEL 04	•	•	•	•
DP-115	FLOOR PLAN - MID-RISE - LEVEL 05	•	•	•	•
DP-121	FLOOR PLAN - TOWER - LEVEL 01	•	•	•	•
DP-122	FLOOR PLAN - TOWER - LEVEL 02	•	•	•	•
DP-123	FLOOR PLAN - TOWER - LEVELS 03-16	•	•	•	•
DP-124	FLOOR PLAN - TOWER - LEVELS 17-21	•	•	•	•
DP-125	FLOOR PLAN - TOWER - LEVEL 22	•	•	•	•
DP-126	FLOOR PLAN - TOWER - LEVEL ROOF	•	•	•	•
DP-127	FLOOR PLAN - TOWER - LEVEL ELEV MACHINE ROOM	•	•	•	•
DP-301	NORTH ELEVATION	•	•	•	•
DP-302	SOUTH ELEVATION	•	•	•	•
DP-303	WEST ELEVATION	•	•	•	•
DP-304	EAST ELEVATION	•	•	•	•
DP-305	MID-RISE & TOWNHOUSE ELEVATIONS	•	•	•	•
DP-306	TOWER NORTH & SOUTH ELEVATIONS	•	•	•	•
DP-307	TOWER WEST & EAST ELEVATIONS	•	•	•	•
DP-350	BUILDING SECTIONS	•	•	•	•
DP-351	BUILDING SECTIONS	•	•	•	•
DP-352	BUILDING SECTIONS	•	•	•	•
DP-401	PERSPECTIVE VIEW	•	•	•	•
DP-402	PERSPECTIVE VIEW	•	•	•	•
DP-403	PERSPECTIVE VIEW	•	•	•	•
DP-404	PERSPECTIVE VIEW	•	•	•	•
DP-405	PERSPECTIVE VIEW	•	•	•	•
DP-406	PERSPECTIVE VIEW	•	•	•	•
DP-407	PERSPECTIVE VIEW	•	•	•	•
FSR-001	FSR SUMMARY SHEET	•	•	•	•
FSR-111	FSR PLAN - MIDRISE & TOWNHOUSES - LEVEL 01	•	•	•	•
FSR-112	FSR PLAN - MIDRISE & TOWNHOUSES - LEVEL 02	•	•	•	•
FSR-113	FSR PLAN - MIDRISE & TOWNHOUSES - LEVEL 03	•	•	•	•
FSR-114	FSR PLAN - MIDRISE - LEVEL 04	•	•	•	•
FSR-115	FSR PLAN - MIDRISE - LEVEL 05	•	•	•	•
FSR-121	FSR PLAN - TOWER - LEVEL 01	•	•	•	•
FSR-122	FSR PLAN - TOWER - LEVEL 02	•	•	•	•
FSR-123	FSR PLAN - TOWER - LEVELS 03-16	•	•	•	•
FSR-124	FSR PLAN - TOWER - LEVELS 17-21	•	•	•	•
FSR-125	FSR PLAN - TOWER - LEVEL 22	•	•	•	•

PROJECT TEAM

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PARKING SUMMARY

PER UBC DEVELOPMENT HANDBOOK SECTION 7.5 PARKING REQ. FOR VEHICLES	ALLOWED	PROPOSED
7 TOWN HOUSING UNITS	2/UNIT (14)	14
197 APARTMENT HOUSING UNITS	LESSER OF 1.8 /UNIT (354) OR 1.0/70sm FSR (208,704sf) (277)	277
TOTAL RESIDENTIAL STALLS		291
VEHICULAR PARKING COUNT	REQUIRED	PROPOSED
REGULAR STALLS	75% OF TOTAL MIN (219)	237
SMALL CAR STALLS	25% OF TOTAL MAX (72)	054
TOTAL RESIDENTIAL STALLS		291
VISITOR STALLS	10% OF RES. UNITS (21) MIN	021
TOTAL STALLS PROVIDED		312
ADDITIONAL STALLS	N/A	001
CAR WASH STALL	TO SATISFY DIRECTOR	001 (AT P1)
LOADING CLASS A	TO SATISFY DIRECTOR	001 (AT GRADE)
LOADING CLASS B		
ADDITIONAL INFORMATION		
H/C STALLS	10% OF RES. UNITS (21) MIN	021
RESIDENT EV STALLS	20% OF RES. PARKING (59)	059
VISITOR EV STALLS	1.0/100 UNITS (3)	003

PARKING SUMMARY BY LEVEL

VEHICULAR PARKING COUNT GRADE	VEHICULAR PARKING COUNT P1	VEHICULAR PARKING COUNT P2	VEHICULAR PARKING COUNT P3	TOTAL STALL COUNT
RESIDENTIAL STALLS	RESIDENTIAL STALLS	RESIDENTIAL STALLS	RESIDENTIAL STALLS	
TOTAL 000	- REG. STALLS 020 - EV REGULAR STALLS 010 - REG. STALLS (IN 11 PRIV GAR.) 011 - EV REG. STALLS (PRIV GAR.) 011 - H/C STALLS 005 - EV H/C STALLS 008 - SMALL CAR STALLS 002 - EV SMALL CAR STALLS 003 TOTAL 070	- REG. STALLS 95 - EV REGULAR STALLS 027 - SMALL CAR STALLS 030 TOTAL 152	- REG. STALLS 050 - SMALL CAR STALLS 019 TOTAL 069	312
LOADING (NOT INCLUDED IN COUNT)	ADDITIONAL STALLS (NOT INCLUDED IN COUNT)			
CLASS B LOADING 001	CLASS A LOADING 001 CAR WASH 001			
EV STALLS SUMMARY BY LEVEL	LEVEL P1	LEVEL P2	LEVEL P3	
GRADE	- EV REGULAR STALLS 010 - EV REG. STALLS (PRIV GAR.) 011 - EV SMALL CAR STALLS 003 - EV H/C STALLS 008 TOTAL 029	- EV REGULAR STALLS 027		
	VISITOR STALLS - REG. STALLS 002 - H/C STALLS 001 TOTAL 003			
TOTAL	TOTAL STALL COUNT 035	TOTAL 027	TOTAL 000	TOTAL EV STALLS 062

BICYCLE SUMMARY

PER UBC DEVELOPMENT HANDBOOK SECTION 7.6 PARKING REQ. FOR BICYCLES	ALLOWED	PROPOSED
CLASS I	1.5/UNIT (306)	307
CLASS II	16 STALL RACK / 35 UNITS (94)	094

BICYCLE SUMMARY BY LEVEL

BICYCLE PARKING COUNT GRADE	BICYCLE PARKING COUNT P1
CLASS I STALLS	CLASS I STALLS
000	- STALLS IN BICYCLE STORAGE 307 TOTAL 307
CLASS II STALLS	CLASS II STALLS
094	000

RESIDENTIAL STORAGE SUMMARY

	ALLOWED	PROPOSED
RES. BULK STORAGE UNITS	N/A	240
UNITS IN PRIVATE GARAGES	N/A	011
TOTAL STORAGE PROVIDED		251
IN-SUITE STORAGE	N/A	1/UNIT (204)

RESIDENTIAL STORAGE SUMMARY BY LEVEL

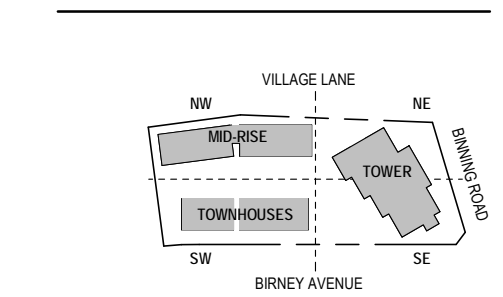
RESIDENTIAL STORAGE COUNT P1	RESIDENTIAL STORAGE COUNT P2	RESIDENTIAL STORAGE COUNT P3
- RES. BULK STORAGE UNITS 000 - UNITS IN PRIV. GARAGES 011 RES. STORAGE UNITS TOTAL 011	- RES. BULK STORAGE UNITS 186 RES. STORAGE UNITS TOTAL 186	- RES. BULK STORAGE UNITS 054 RES. STORAGE UNITS TOTAL 054

SUITE SUMMARY

SUITE TYPE	1 BED (480sf - 534sf)	2 BED (714sf - 1,248sf)	2+ BED (1,141sf)	3 BED (1,295sf)	3 BED + DEN (1,328sf - 1924sf)	TOTALS
TOWER	116	020	020	019	004	159 (77.9%)
MID-RISE	018	020	000	000	000	038 (18.6%)
TOWNHOUSES	000	000	000	000	007	007 (3.5%)
TOTAL	018 (8.8%)	136 (66.7%)	020 (9.8%)	019 (9.3%)	011 (5.4%)	204 (100%)

FSR SUMMARY

BUILDING AREAS	GROSS AREA (GFA)	AMENITY AREA	EXCLUSIONS	BUILDING AREA (FSR)
TOWER	193,417	4,401	8,470	180,546
MID-RISE	29,759	385	1,198	28,176
TOWNHOUSES	12,593	-	298	12,295
TOTAL	235,769	4,786	9,966	221,017



1 PRE-OP APPLICATION SUBMISSION	2017-12-06
2 DEVELOPMENT PERMIT SUBMISSION	2018-01-23
3 DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
4 PRICING SET	2018-03-29
5 DP AMENDMENT SUBMISSION	2018-05-24

DESIGN RATIONALE

TOWER SITING

The tower is designed to fit in as part of the Birney street wall, and at the same time creates a counterpoint to the organic forest across the street. The 22 storey tower is rotated off of the street geometry to allow neighbouring towers to maintain their north and south views, to afford greater views past our tower towards the forest for all developments west of our site, and to create a more relaxed and organic foil to Pacific Spirit Park.

SITE ACCESS

With the rotation of the tower and the geometry of the mid-rise and townhome blocks, the resulting opening in the site became the natural location for vehicular access and the tower front door. The parking ramp is located on Birney for both pragmatic planning reasons, and to allow the Birney entrance to be a welcoming, generous landscaped foreground to both built components of the development.

TOWER MASSING

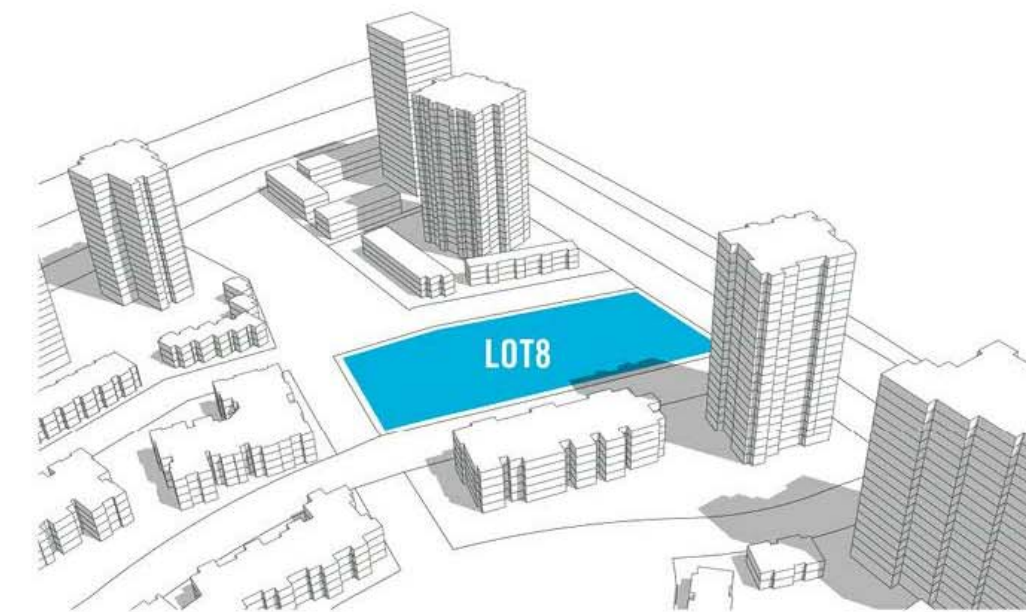
The south-west facade of the tower has multiple steps creating four vertical planes, breaking down the massing and creating a vertical expression. The stepping allows the tower to naturally taper to its southern extent reducing any appearance of bulk and creating an even stronger vertical reading from the south. The generous balconies are tied to the building enclosure by a continuous horizontal ribbon of metal panel, resulting in a more calm and elegant architectural expression.

MID-RISE & TOWNHOUSES

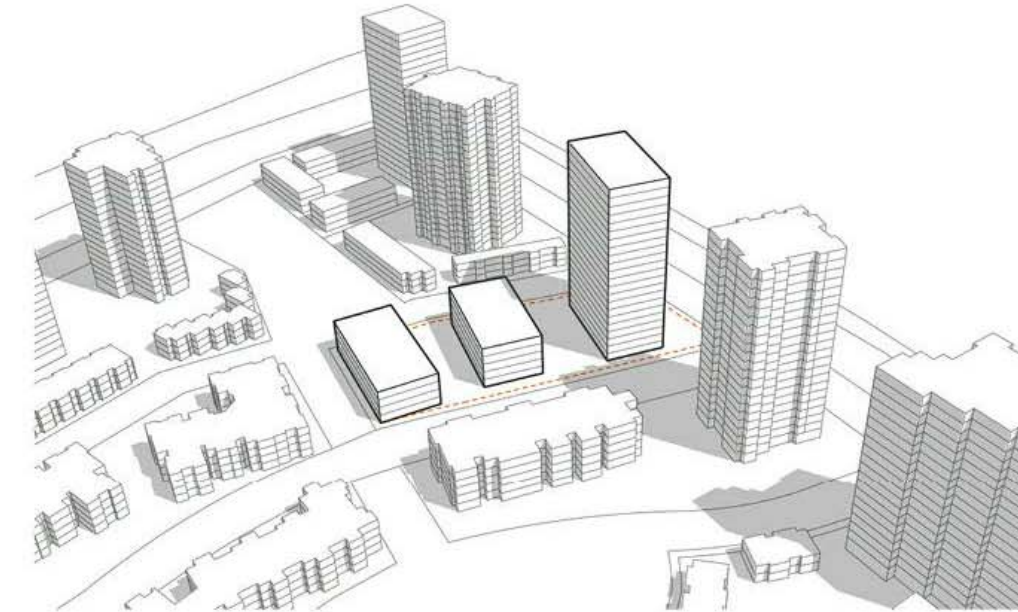
The mid-rise and townhouses are oriented east-west across the larger western portion of the site and have front doors facing both Birney Avenue and Village Lane. The ground floor units backdoors open onto an enclosed semi-private landscaped courtyard for the shared enjoyment of the mid-rise and townhome residents. The Birney townhomes are split midway along their length to provide access to the mid-rise units from Birney Avenue, this separation is telegraphed onto the mid-rise building at which point the mid-rise folds to reflect the tapering of the site. This is also the entry point for the upper floors of the mid-rise building.

The massing of the Birney townhomes ensures maximum solar penetration to the internal courtyard but with generous floor to floor heights and a roof deck trellis structure. The 2½ storey massing of this block complements the midrise forms adjacent and across from our site, and the mid-rise building along Village Lane has an appropriate stature to complement the existing 4.5 storey midrise development to the west of our site and to provide enclosure to the southern edge at Khorana Park.

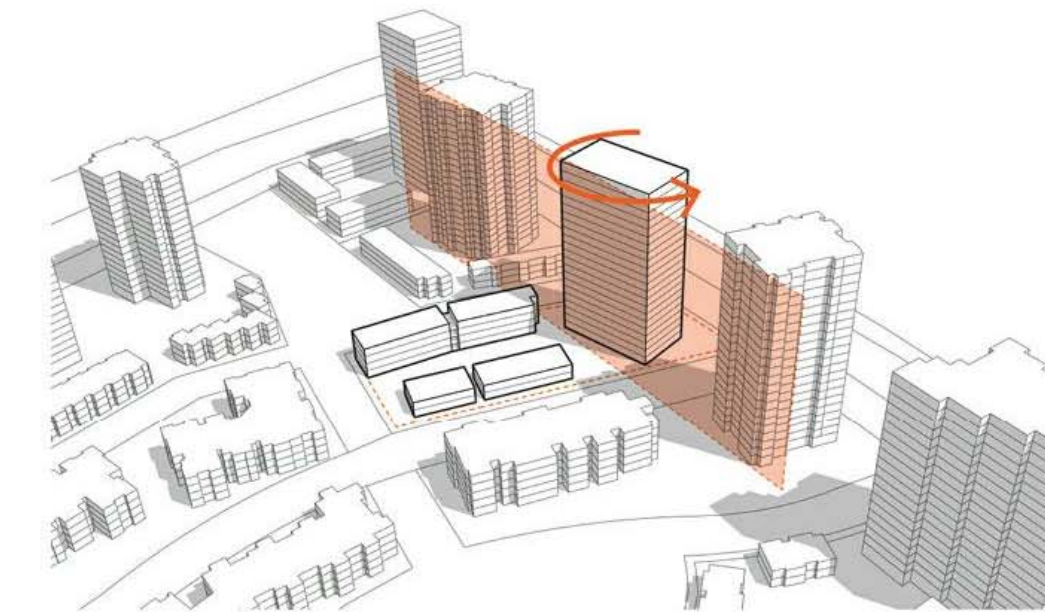
1 SITE



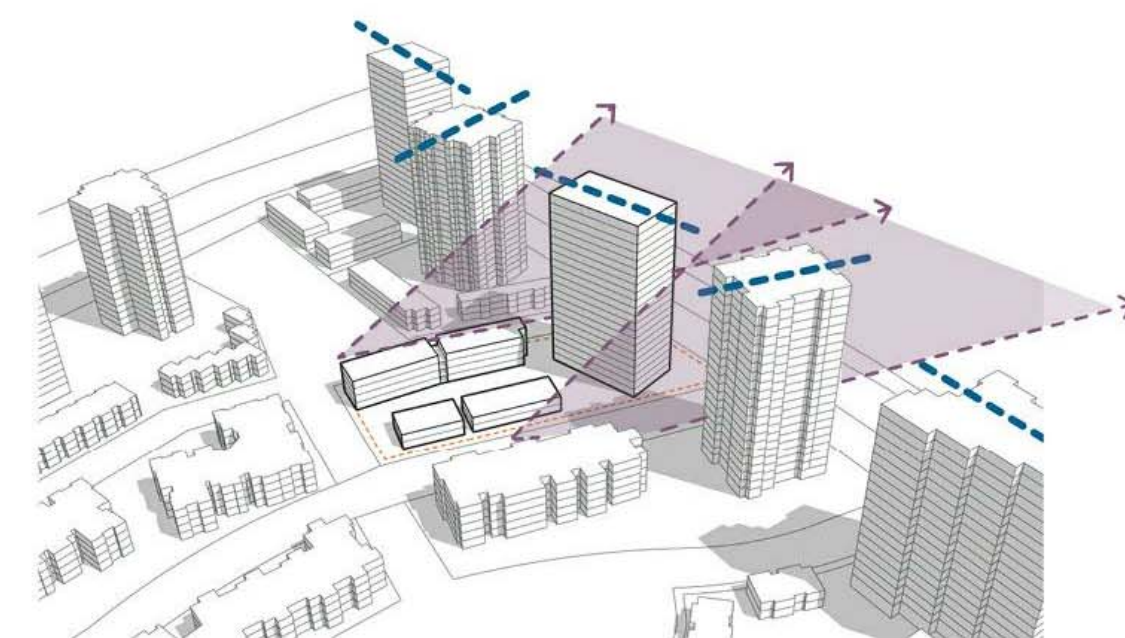
2 GENERIC MASSING



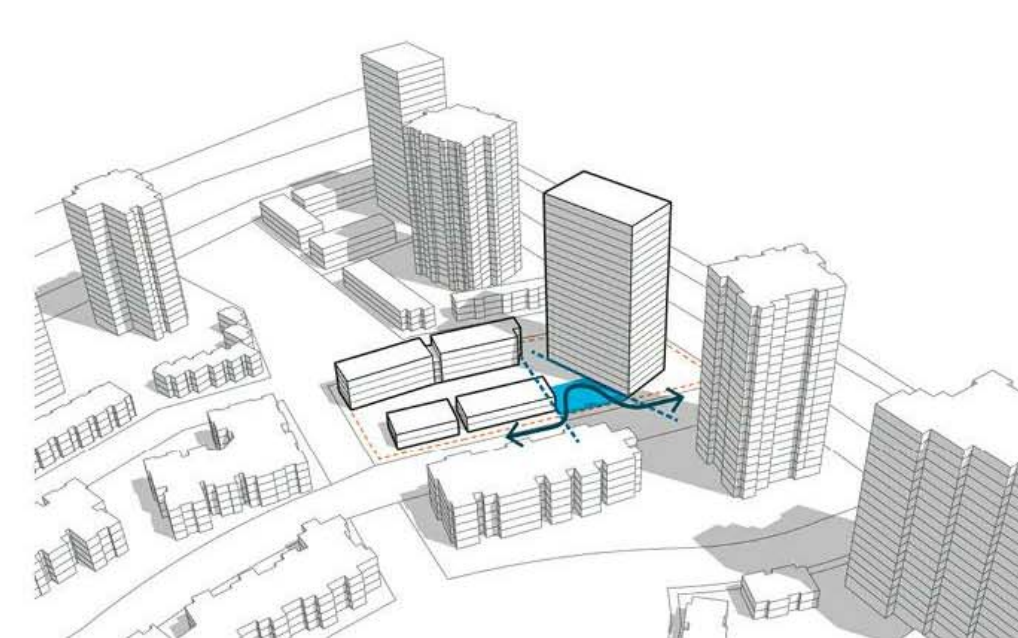
3 ROTATE TOWER TO ALIGN WITH CONTEXT



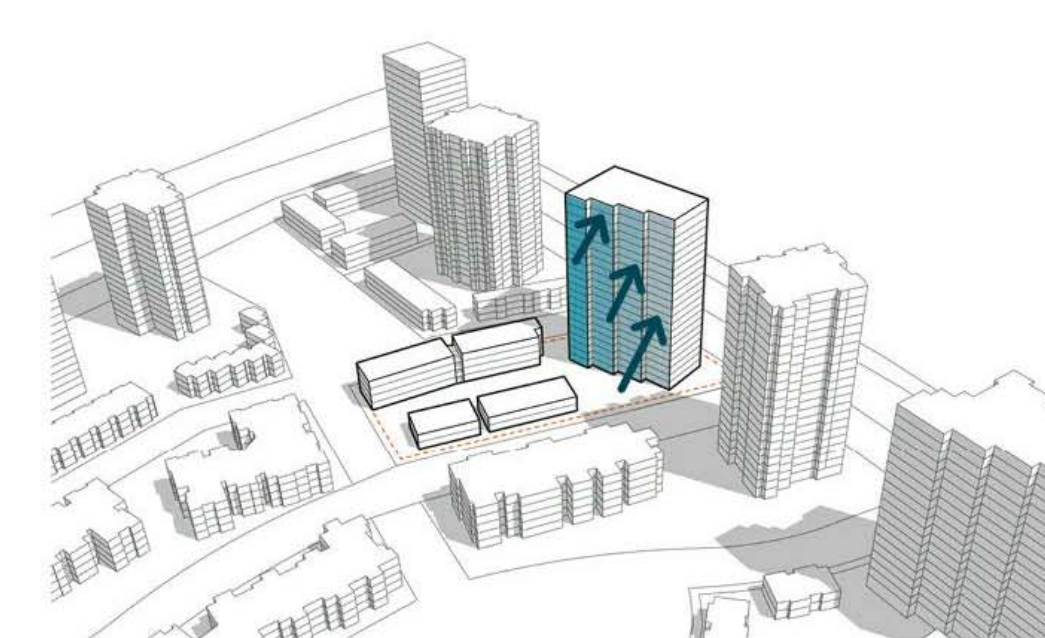
4 CREATE COMPOSITION ALONG EASTERN EDGE + ALLOW VIEWS BETWEEN



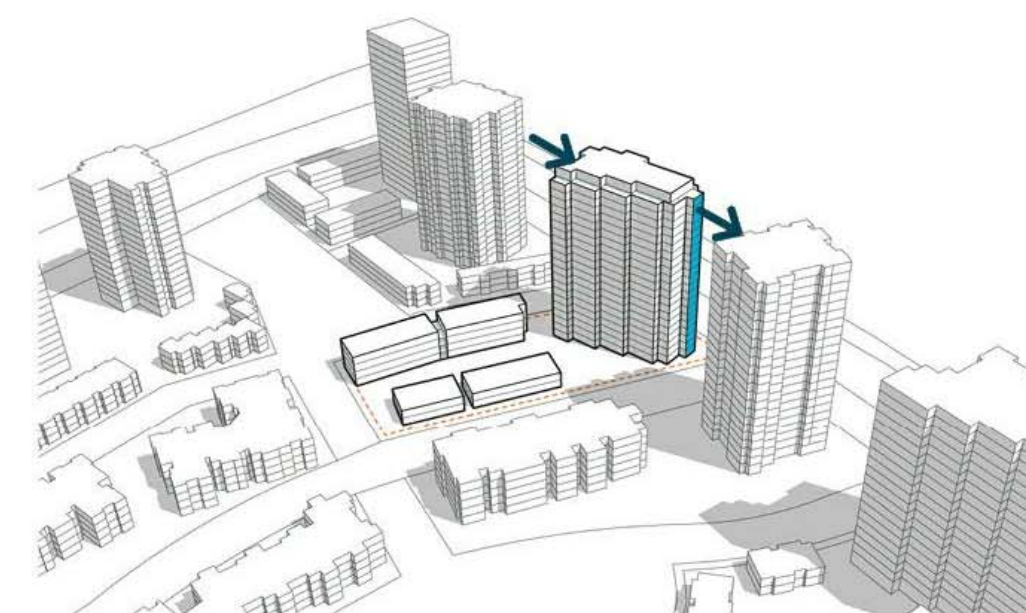
5 CREATE GENEROUS ENTRY COURT AND FRONT DOOR



6 STEP MASSING TO MAINTAIN VIEWS, CREATE A VERTICAL READING, ERODE TOWER MASS + CREATE PRIVACY



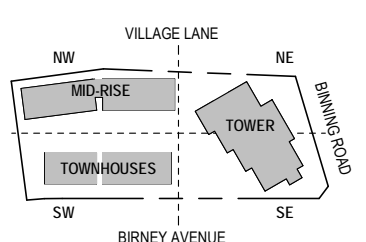
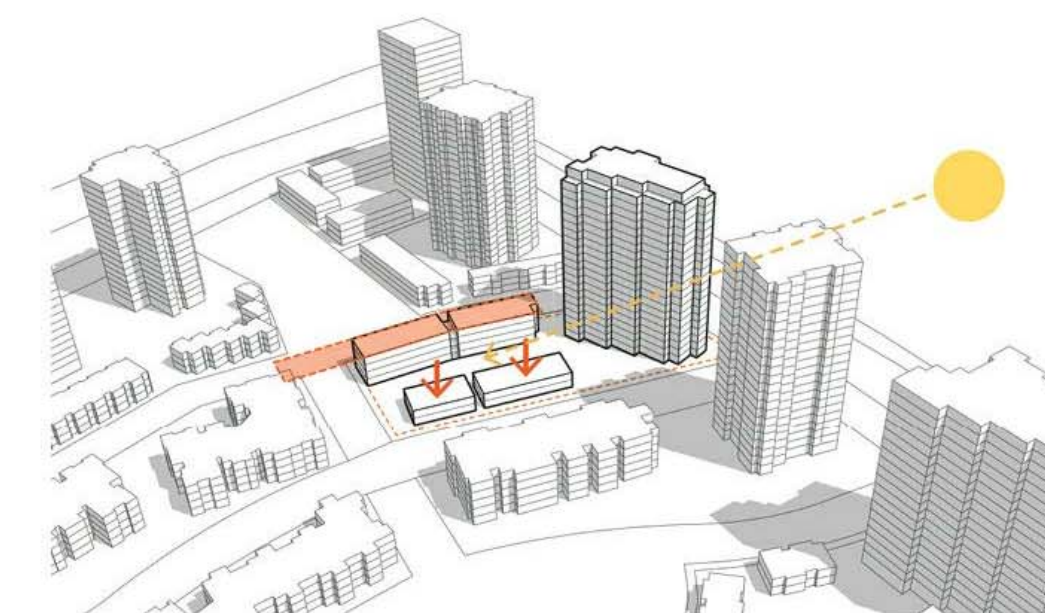
7 PUSH/PULL FACADE TO ARTICULATE MASSING



8 ORIENT TOWNHOMES TO DEFINE STREET EDGE + CREATE COURTYARD



9 SCALE TOWNHOMES TO FIT WITH ADJACENT DEVELOPMENT + ALLOW FOR SOLAR ACCESS



IVY ON THE PARK LOT 8

1 DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2 DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3 PRICING SET	2018-03-29
4 DP AMENDMENT SUBMISSION	2018-05-24

PROJECT RATIONALE - DESIGN

DP-002

CPTED

DESIGN + STRATEGIES

The massing, design and orientation of both the tower, mid-rise, townhomes and landscape are designed with the intention to implicitly enhance personal safety, and provide clear delineations between public and private spaces. Some of the CPTED principles embedded in the design for LOT 8 are outlined below:

- Building entrances are designed to be legible from the street through lighting, canopies and material choice.
 - Public realm elements such as pathways, gates, lighting and landscaping are used to guide public to and from entrances and exits.
- All buildings have balconies and/or terraces and windows which provide casual overlook onto public and semi-private spaces on site, including surrounding sidewalks and pathways, and shared outdoor spaces.
- Design cues such as low fencing, planters, landscape elements and paving materials indicate ownership and intended use, making a distinction between public and private spaces.
 - Outdoor spaces will be appropriately lit to provide adequate lighting at night and enhance safety, while minimizing glare and light pollution into adjacent homes.
- Townhouse and mid-rise facades along Birney and Village Walk incorporate entrances and windows to create a dialogue with the public realm.
- Patios along streets or public walkways are either elevated slightly or screened with landscaping to provide some privacy while still allowing for casual, eyes-on-the-street surveillance.



SUSTAINABILITY

REAP

IVY ON THE PARK is targeting REAP Gold and has committed to following the guidelines laid out in the REAP checklist in order to achieve an energy efficient and sustainable design.

SUSTAINABLE SITES

Along with providing the required bicycle storage, developing a storm water management plan and other sustainable site design requirements, the project also provides electrical vehicle charging spaces for visitors and for at least 10% of residents. The project also has a separated ramp for cyclists and pedestrians into the parkade, making it easier and more comfortable for non-vehicular users to enter and exit the building.

WATER EFFICIENCY

Along with meeting the mandatory water efficiency requirements, the project will also reduce potable water for irrigation needs by 50% and include some water efficient/low flow fixtures and appliances. The project also will tie into a larger storm water management plan, and features a large water detention tank on site to minimize stormwater runoff. Furthermore, the boundary of the underground parkade has been cut back to allow the planting of mature trees at the south edge of the tower, increasing the site's capability to manage infiltration and deal with stormwater runoff.

ENERGY + ATMOSPHERE

The project will target no more than 50% glazing and use double glazing, sufficient insulation and efficient mechanical systems to ensure the project meets the target 140 kWh/m²/yr target EA Gold Plus.

MATERIALS + RESOURCES

Materials with recycled content will be used in the project and transparency of ingredients will be targeted for at least 10 different building products.

INDOOR ENVIRONMENTAL QUALITY

The project will commit to using low VOC paints and coatings, low-emitting composite wood panels and low-emitting insulation.

CONSTRUCTION

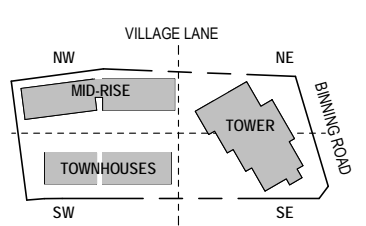
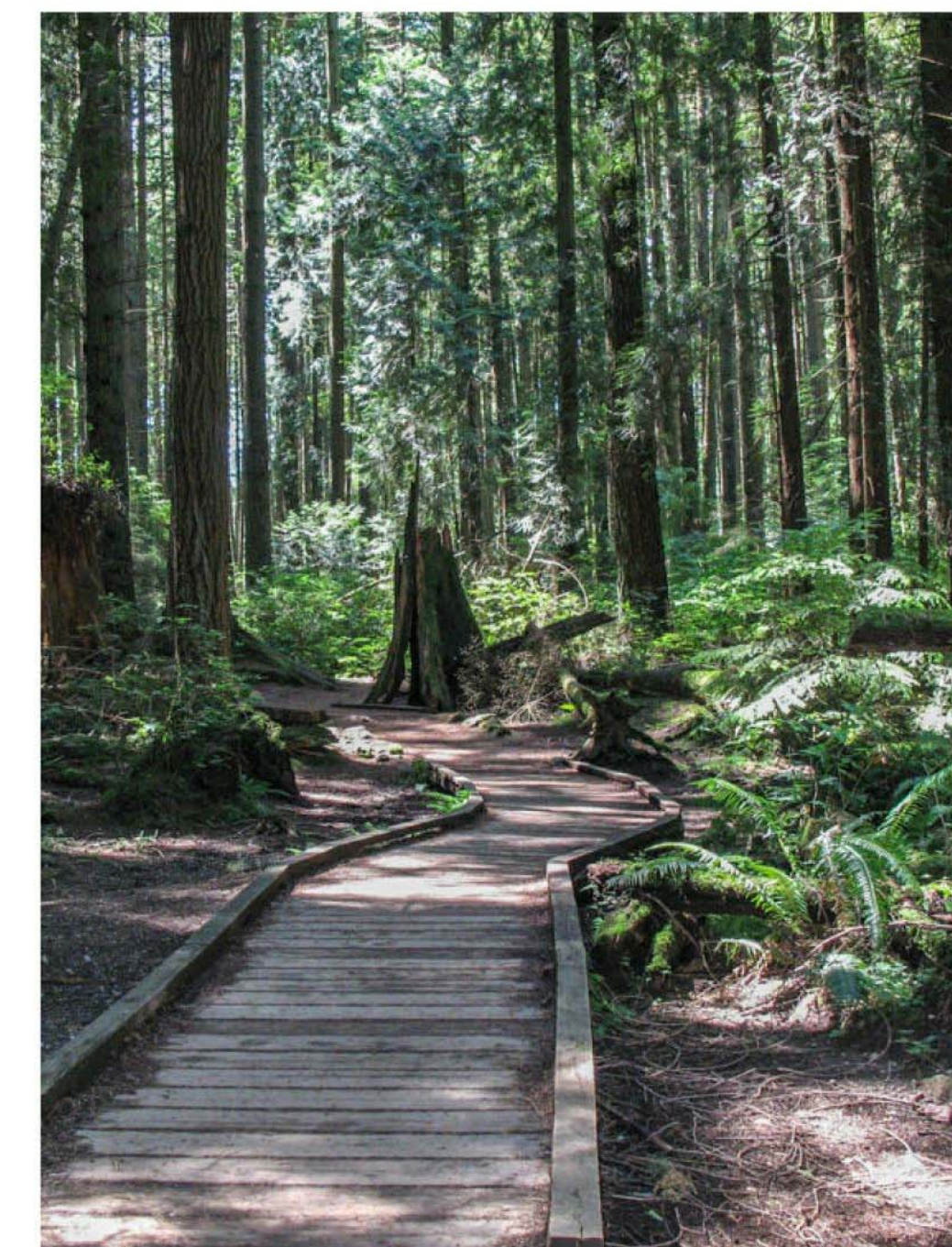
Along with the mandatory requirements, the project will prepare and implement an Indoor Air Quality Management Plan for construction and pre-occupancy.

INNOVATION + DESIGN PROCESS

The project will engage a Green Building Specialist and collaborate with UBC faculty and/or students for future research opportunities.

LANDSCAPE

The landscape vision exists on two levels: one - by creating an ecosystem-inspired sense of place, and, two - by considering programming which enriches the private and communal experience for residents. The landscape is grounded to its location directly adjacent to Pacific Spirit Park primarily through the use of planting. The vegetative strategy suggests a forest edge landscape typology, and aims to integrate passive solutions for runoff mitigation and decreasing irrigation requirements.



IVY ON THE PARK LOT 8

1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

PROJECT RATIONALE - CPTED / SUSTAINABILITY

BUILDING MATERIALS & PRECEDENTS

TOWER

The tower expression is a combination of both vertical and horizontal solid elements which support the generally vertical nature of the building massing. The south-west facade's most defining feature is its four vertical planes with a horizontal upstand ribbon which unifies the enclosed and balcony spaces. The horizontal upstand is clad in white metal panel and always terminates into a vertical section of the same material, which is used to delineate the vertical massing planes.

The cladding colours in both the tower and the townhomes forms are selected for their timeless appeal and for their elegant contrast to the colours of nature in which the structures are set. Between the white metal ribbons, the glass is set in dark bronze mullions, and where glass spandrel is introduced in the "glass field", it is twin sealed with a dark grey paint on the third face of the glazing unit, creating a shadow box to allow all glass to read the same and minimize the number of visual elements in the design. With the solid upstand and glazed spandrel panels, the tower has 50/50 ratio of glazed to solid wall.

The location and percentage of vision glass around the building is in direct response to the nature of the views on each elevation. Where we have the largest expanse of glazing, we also have the most generous balconies which provide protection from summer solar gain and the generous glazed elevations of the penthouse level are screened by a rooftop trellis. The glass guardrails for balconies will be clean and minimal to allow for a clear expression of the horizontal metal ribbons.



Poznan Residential Building - Insomnia Architec



The Garden - Eike Becker Architekten



Rothschild Tower - Richard Meier



Othmarschen Park Residential Development - RKW Architektur+Städtebau

MID-RISE & TOWNHOUSES

The mid-rise and townhouses in the western portion of the site will have a distinct material palette that compliments the towers but gives them their own identity as individual homes. Grey brick will be used to bring texture and scale to the tight, tailored façades of the buildings. Openings in the brick walls will be highlighted by crisp dark aluminum frames providing a striking contrast. At the unit entries, the brick will wrap into the entry alcove with the front door being stained wood and the surrounding wall clad with a matching phenolic composite panel to bring warmth to the material palette and create a connection to the site's West Coast context. Where windows are linked by a metal spandrel panel, the panel will be a ribbed or corrugated metal panel bring texture and depth to the facade. On the two-storey townhouse block along Birney, a metal slat screen element connects the elegant entry canopy up the facade to the roof where it folds back providing the terrace with a trellis, creating shading and privacy for residents on their roof deck.



Core Modern Homes - Batay Csorba Architects



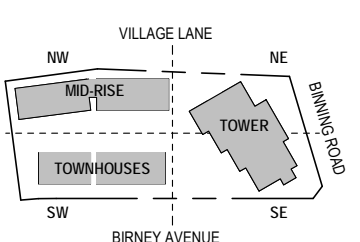
Liverpool 61 Apartments - MMX Architects



Core Modern Homes - Batay Csorba Architects



Balwyn North - Matyas Architects



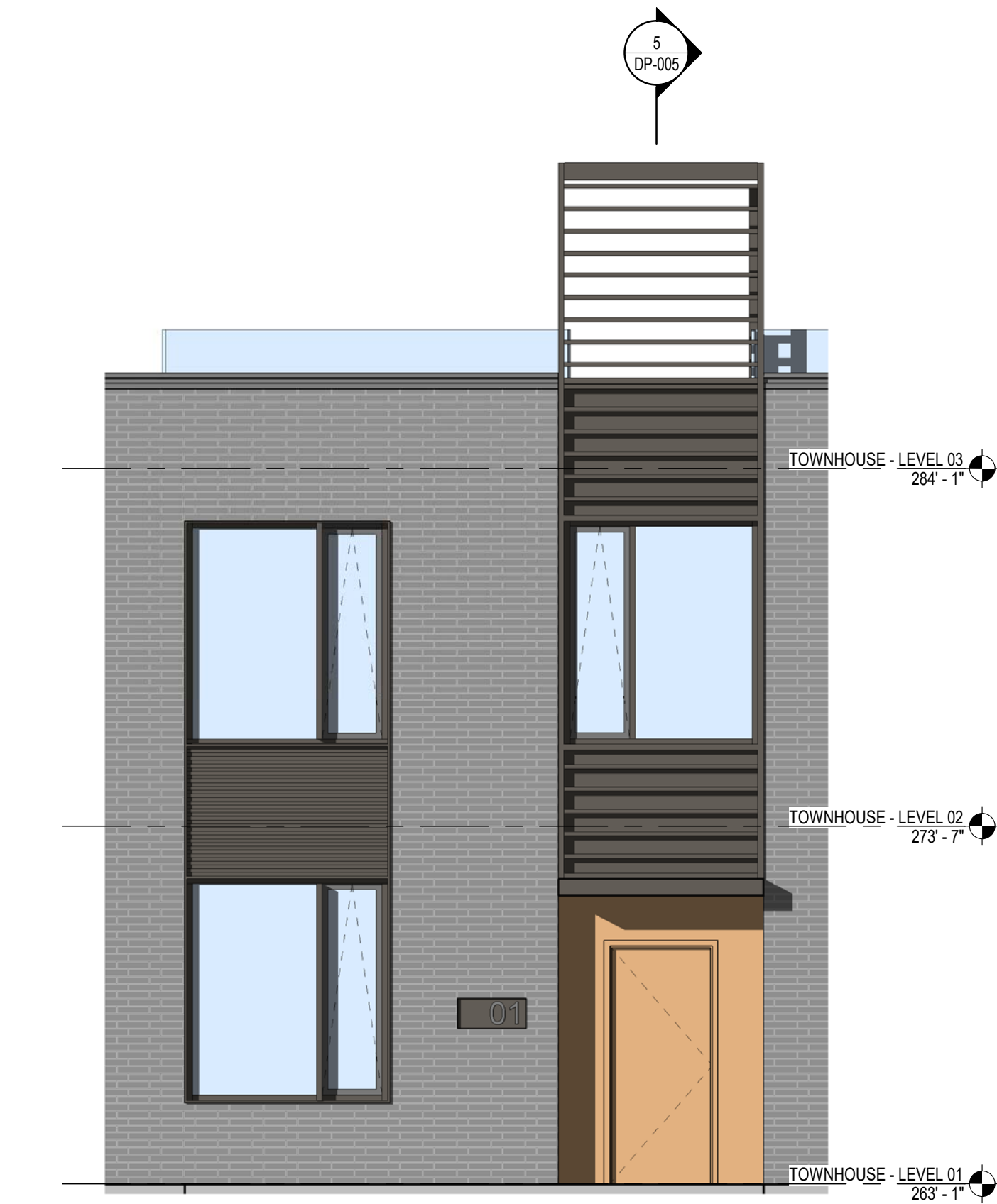
IVY ON THE PARK
LOT 8

1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

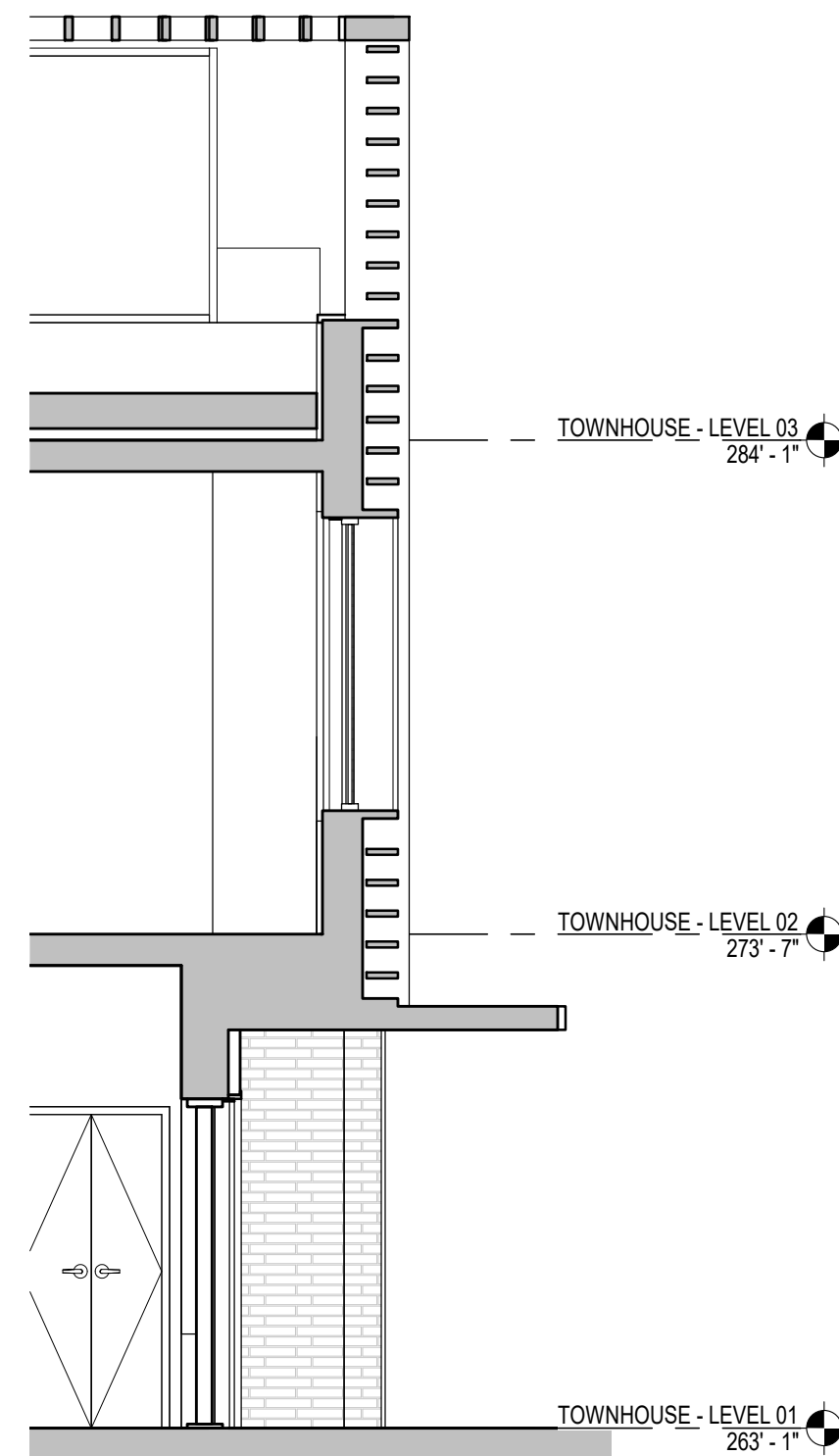
PROJECT RATIONALE -
BUILDING MATERIALS &
PRECEDENTS

DP-004

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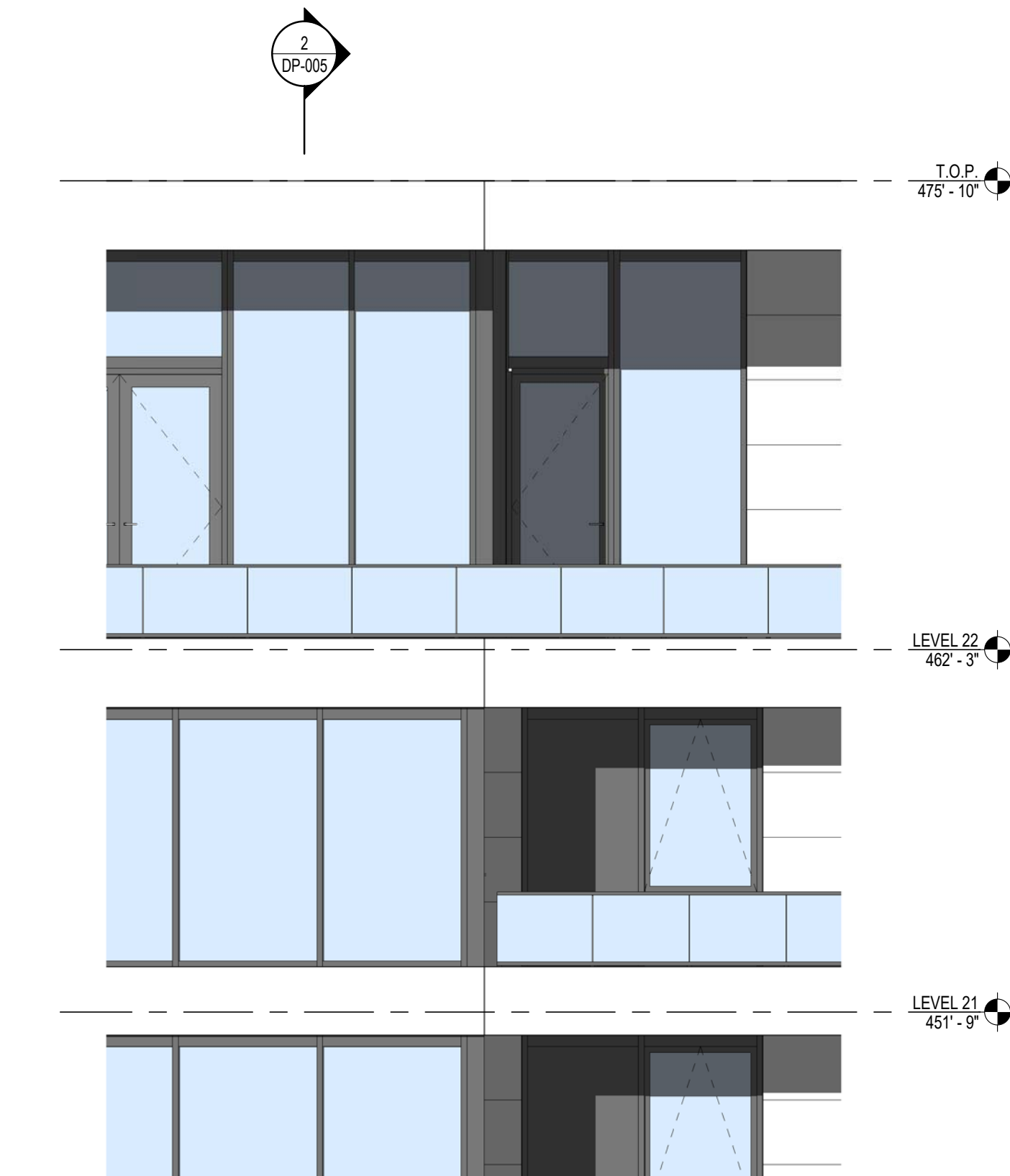
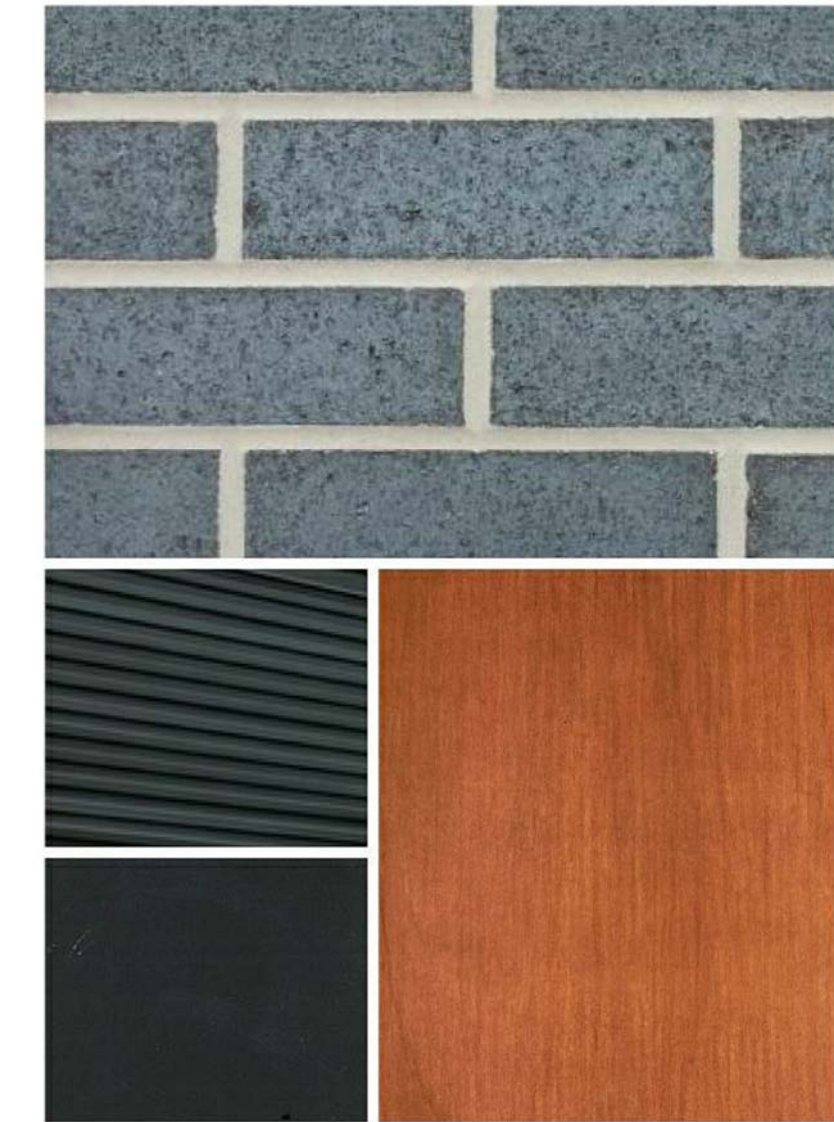
6 TOWNHOUSE TYPICAL ENTRANCE
ELEVATION
1/4" = 1'-0"



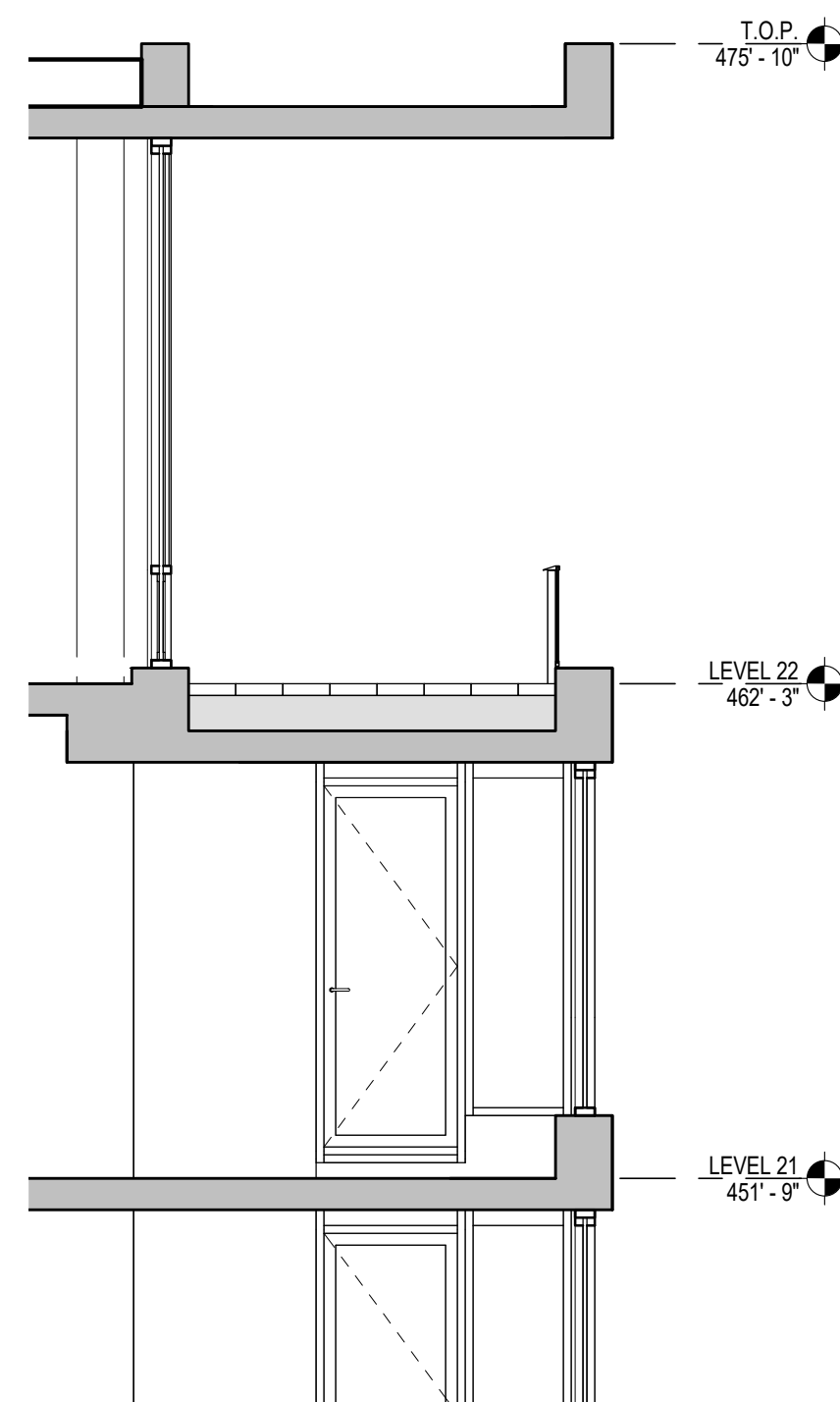
5 TOWNHOUSE TYPICAL ENTRANCE
WALL SECTION
1/4" = 1'-0"



4 TOWNHOUSE TYPICAL ENTRANCE



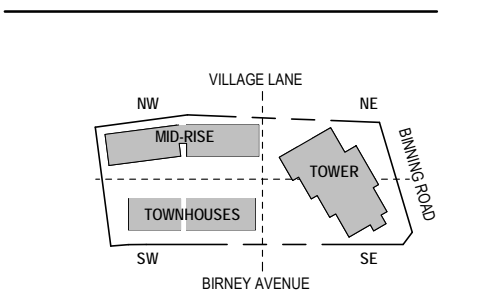
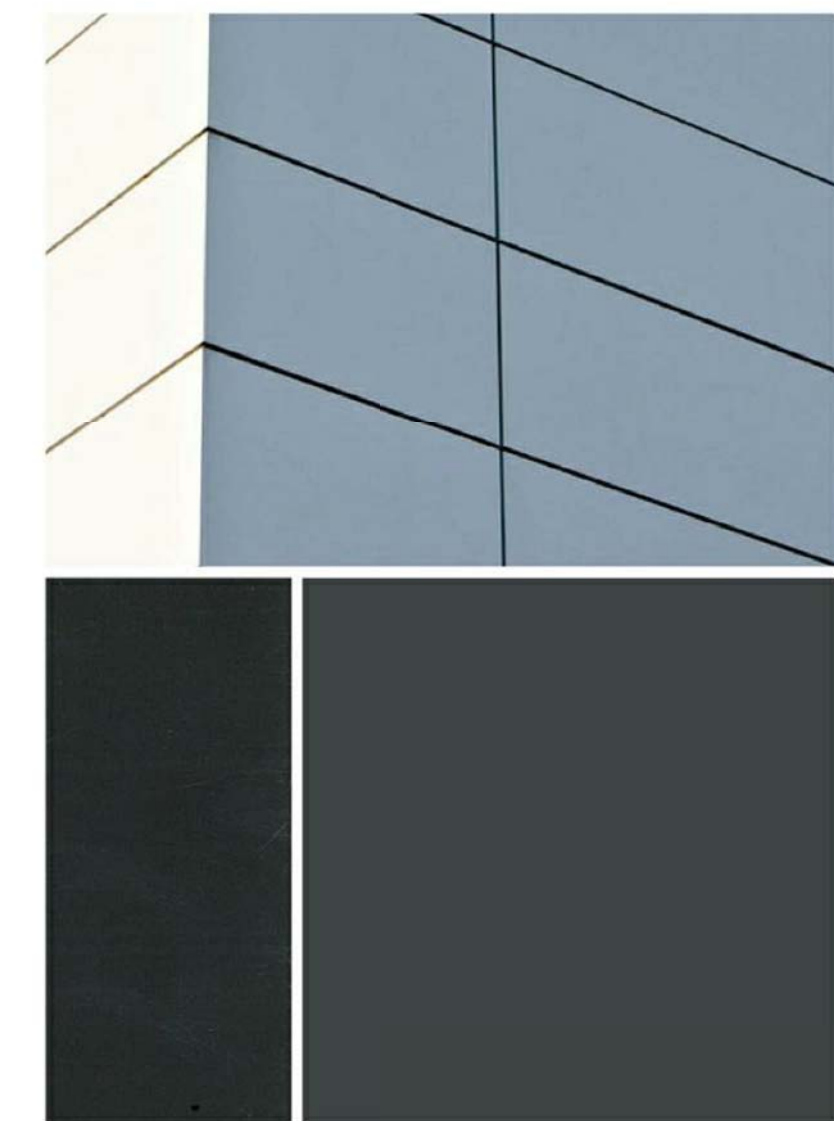
3 TYPICAL TOWER ELEVATION
1/4" = 1'-0"



2 TYPICAL TOWER WALL SECTION
1/4" = 1'-0"



1 TYPICAL TOWER FACADE



1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
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3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

PARKADE RAMP

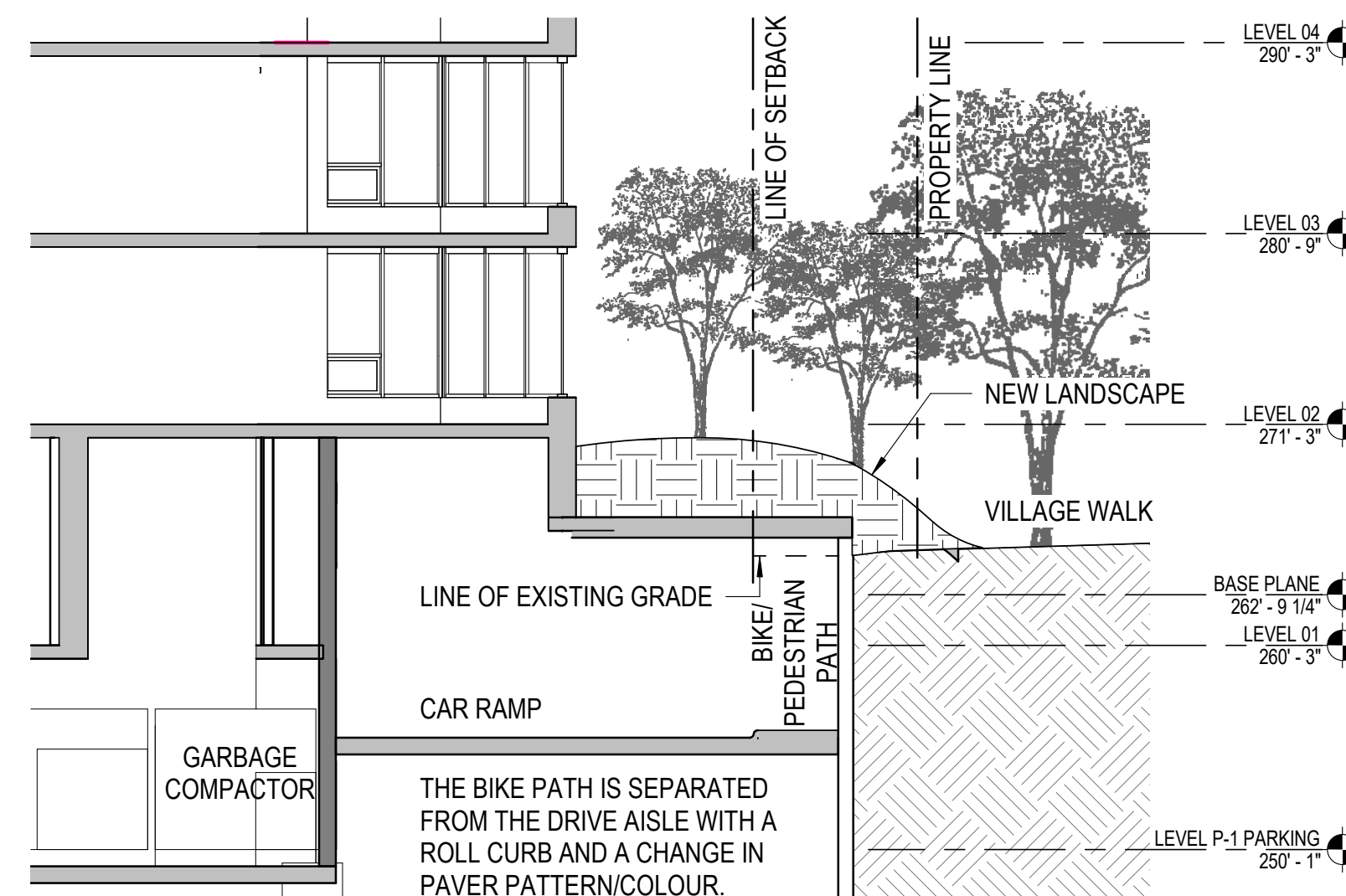
In designing the parkade entrance ramp, two main concerns needed to be addressed. Firstly, providing a separate lane on the ramp for pedestrians and cyclists to enhance safety for non-vehicular users, and secondly, creating a ramp that was visually unobtrusive and did not create any awkward spaces along the edge of the site. As a solution to these issues, the parking ramp has been "buried" and a Forst Garden has been created to berm up and integrate the parking ramp structure into the landscape. The northern wall of the parkade ramp encroaches into the setback by a maximum of 5'11" and 3'8" above grade. Although the ramp pushes into the setback, the integration of the ramp into the landscaping creates a more pleasant edge along Village Lane and reduces the visual impact of the ramp.



6 RAMP VIEW FROM VILLAGE LANE
1/16" = 1'-0"



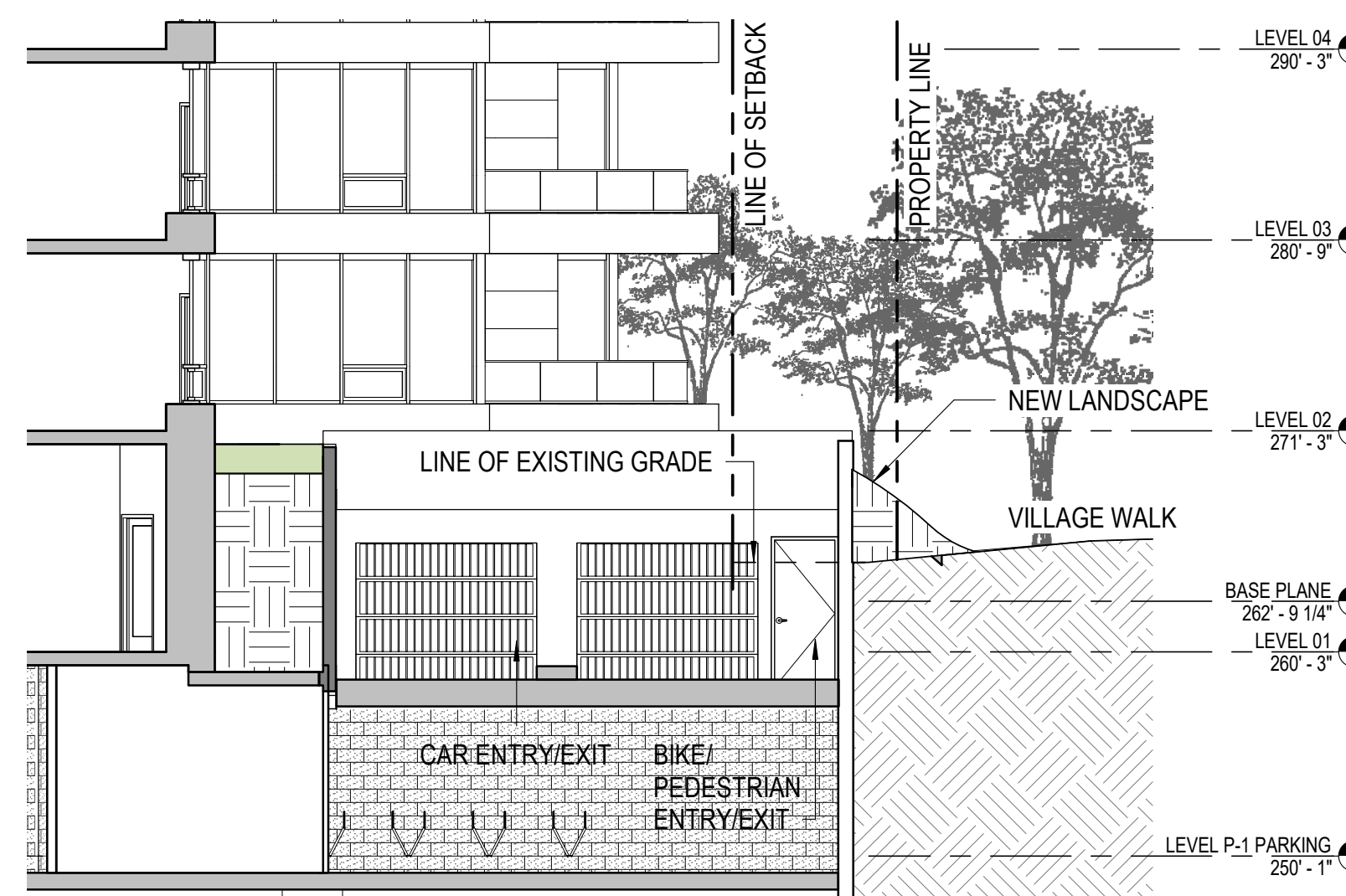
5 RAMP VIEW FROM ABOVE
1/16" = 1'-0"



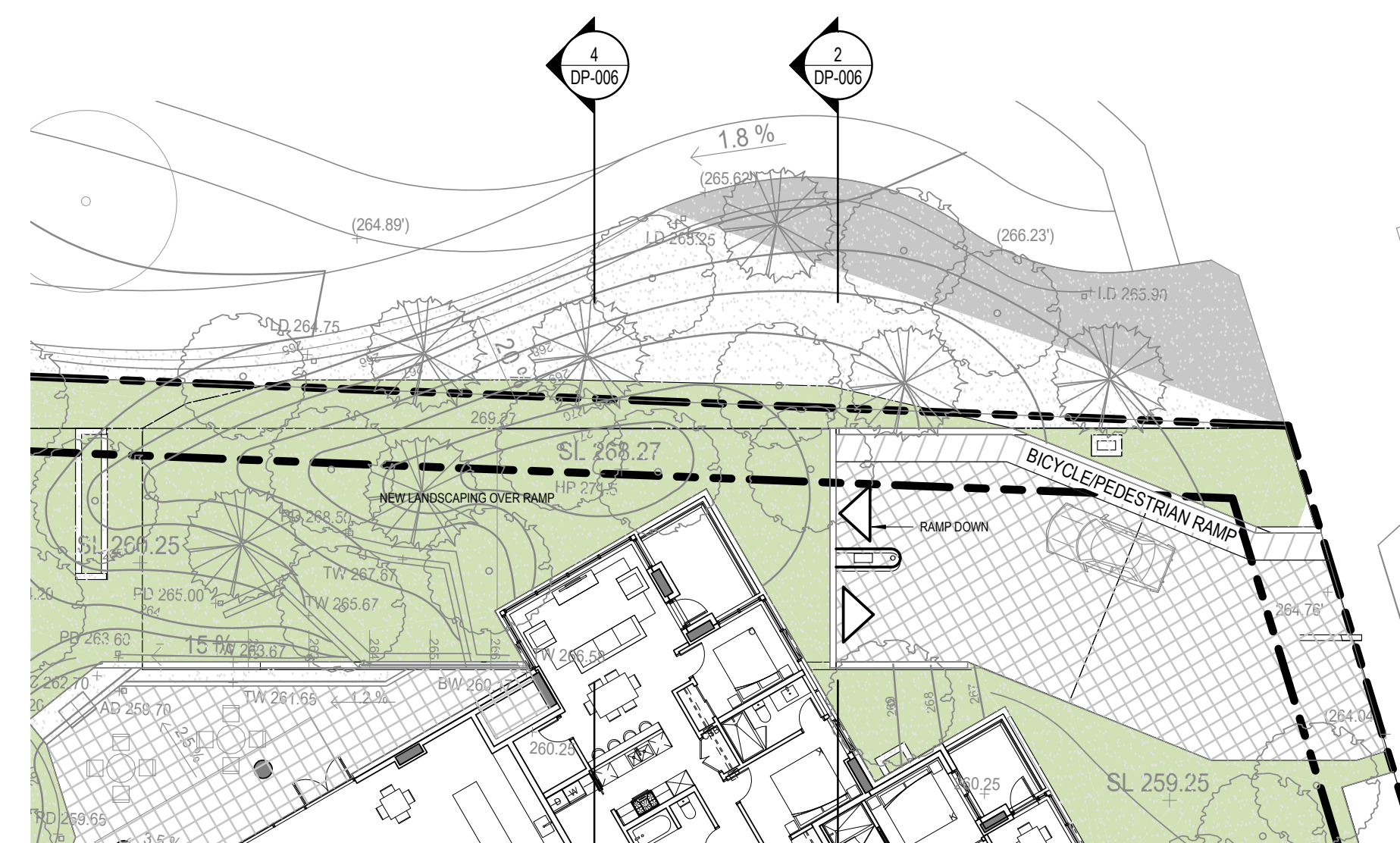
4 RAMP SECTION
1/8" = 1'-0"



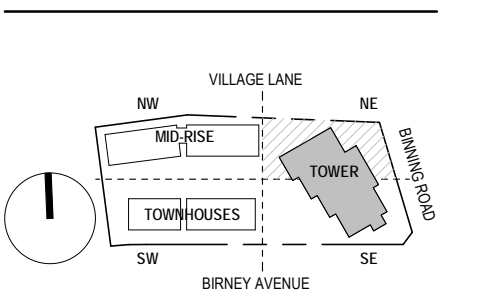
3 RAMP VIEW FROM BINNING ROAD
1/16" = 1'-0"



2 RAMP SECTION AT GATE
1/8" = 1'-0"



1 PLAN AT LEVEL 2 OVER RAMP
1/16" = 1'-0"



IVY ON THE PARK
LOT 8

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VARIANCE -
LANDSCAPING OVER
RAMP AT SETBACK

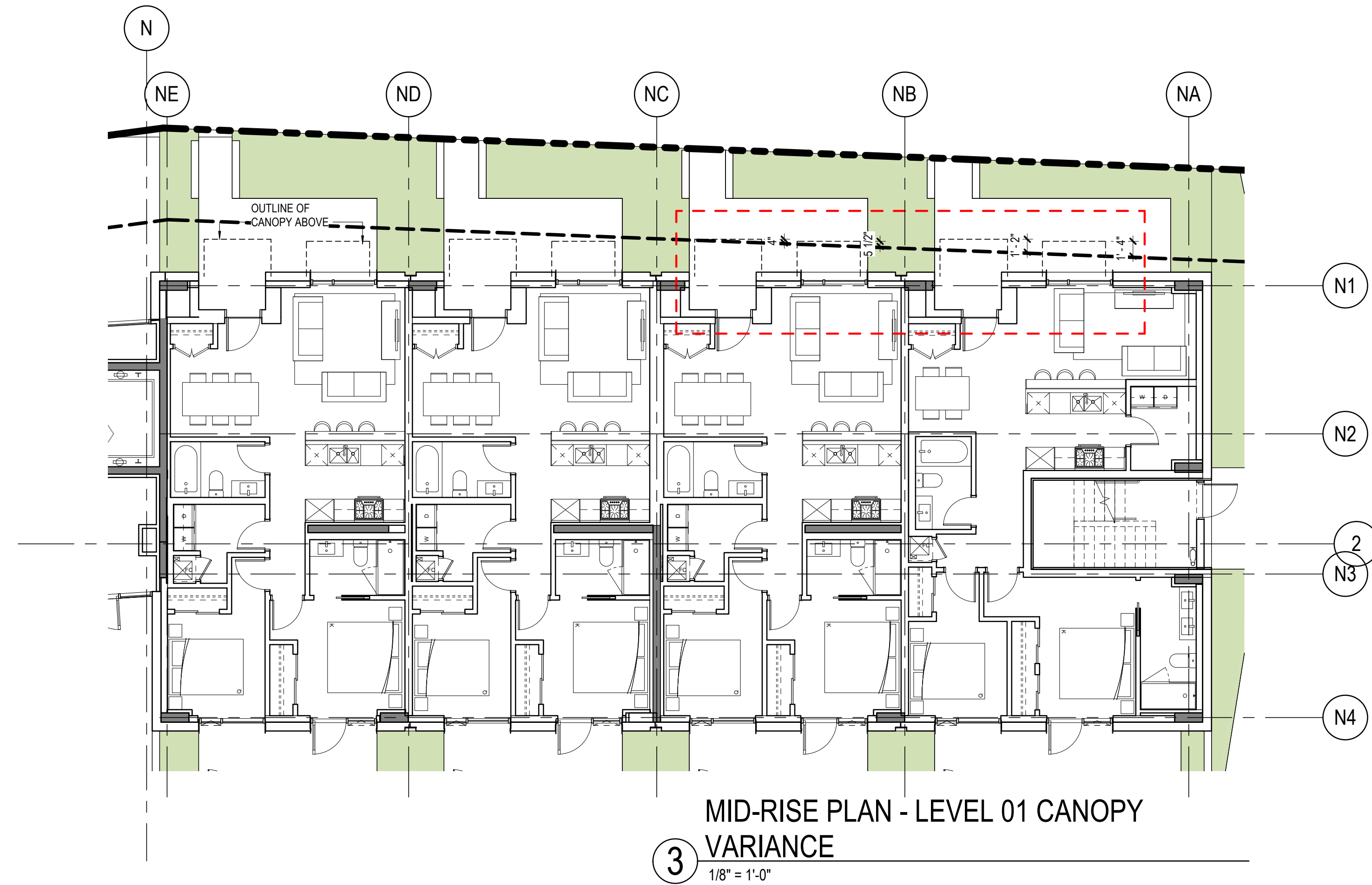
DP-006

CANOPIES

Along the north-east edge of the mid-rise block, four canopies protrude into the setback by a maximum of 1'4". These canopy elements on Level 1 are located above the entry alcove and adjacent glazed opening. These architectural elements provide much needed shelter and enclosure, and should maintain a consistent depth to provide adequate weather protection.



4 VIEW OF CANOPIES

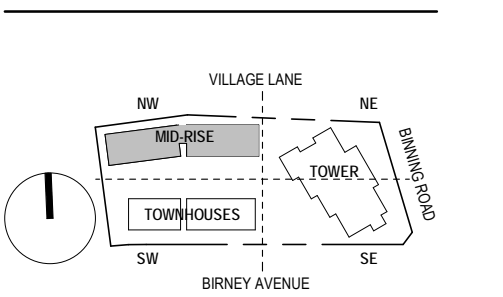
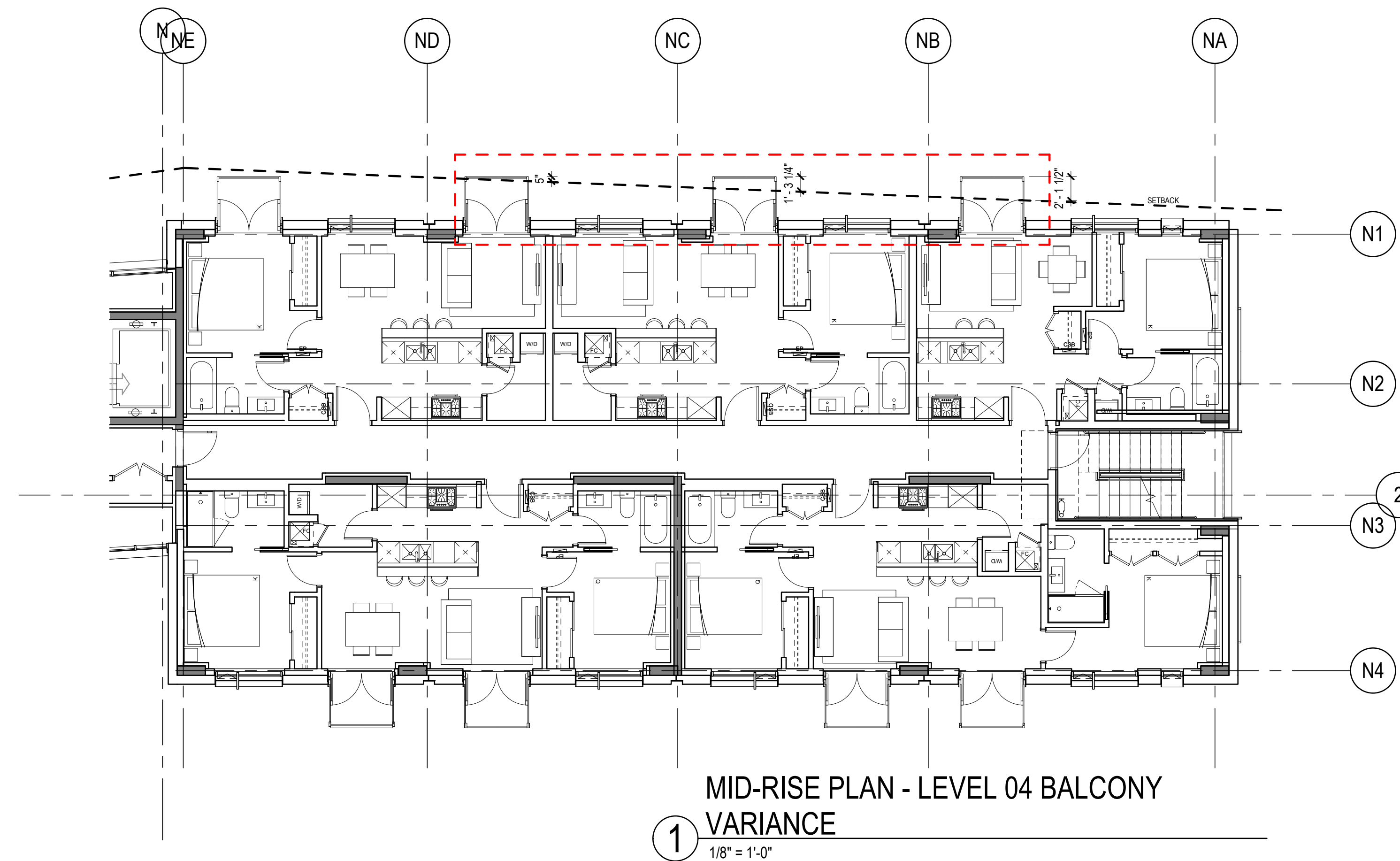


BALCONIES

Similarly, along the north-east edge of the mid-rise block, three balconies protrude into the setback by a maximum of 2'1.5". In order to achieve a consistent architectural expression and ensure all units have an equally sized, usable balcony, all balconies should maintain the same depth. Additionally, the mid-rise has been pushed north as far as possible to maximize the size of the shared communal courtyard to the south, and to ensure that space maintains sufficient solar exposure.



2 VIEW OF BALCONIES



IVY ON THE PARK
LOT 8

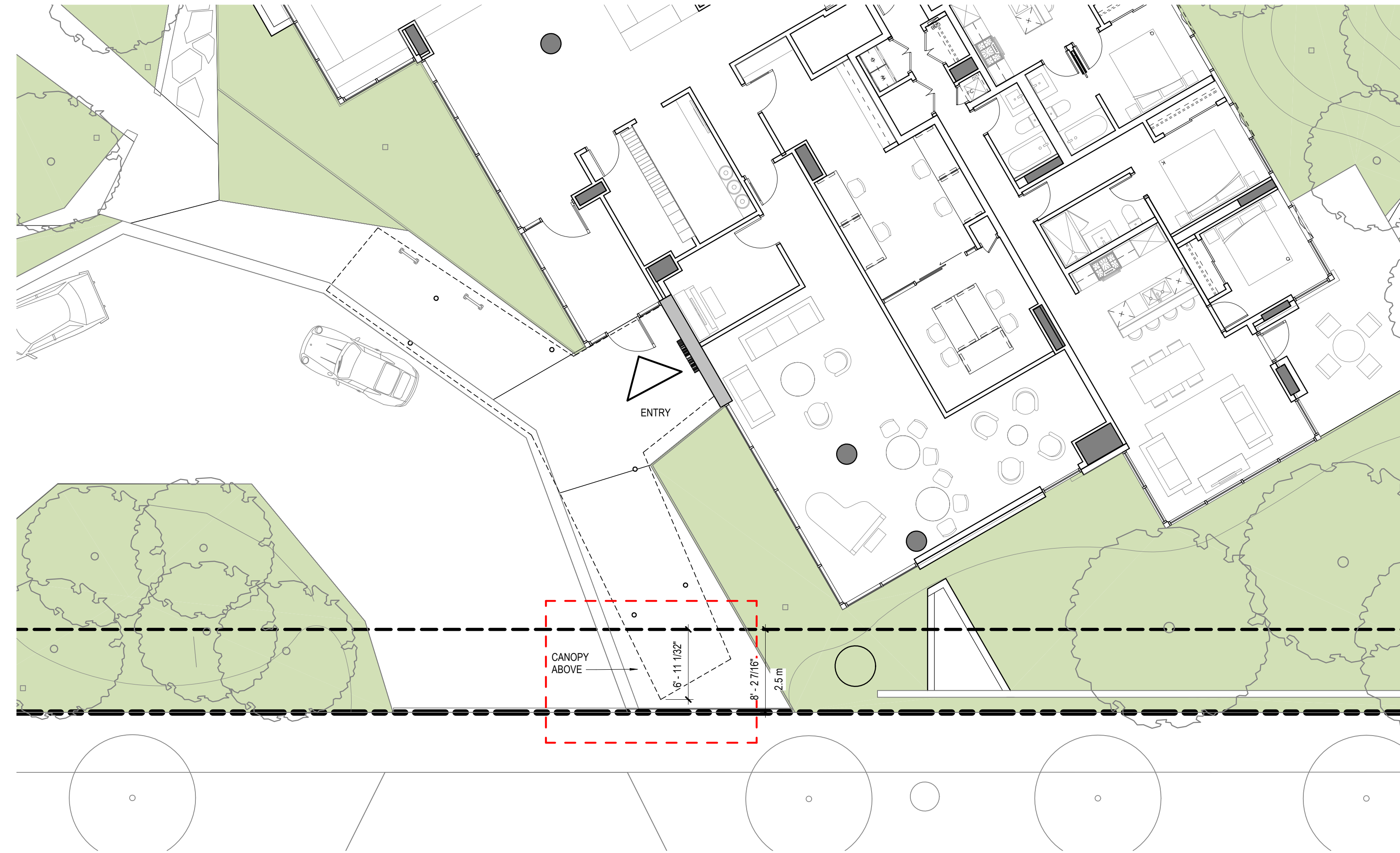
1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

VARIANCE - CANOPIES
AND BALCONIES OVER
SETBACK

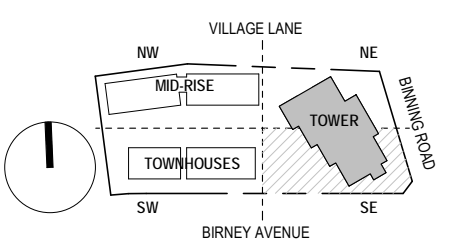
DP-007

ENTRANCE CANOPY

An expansive entrance canopy is designed to announce the front door to the tower, provide weather protection, and wayfinding. The canopy provides weather protection for pedestrians entering the site off Birney, as well as some overhang to provide cover for people exiting vehicles in the drop-off area. Integrated lighting will also aid in wayfinding and provide a welcoming entrance to guests and residents.



1 SITE PLAN CANOPY VARIANCE
1/8" = 1'-0"



IVY ON THE PARK
LOT 8

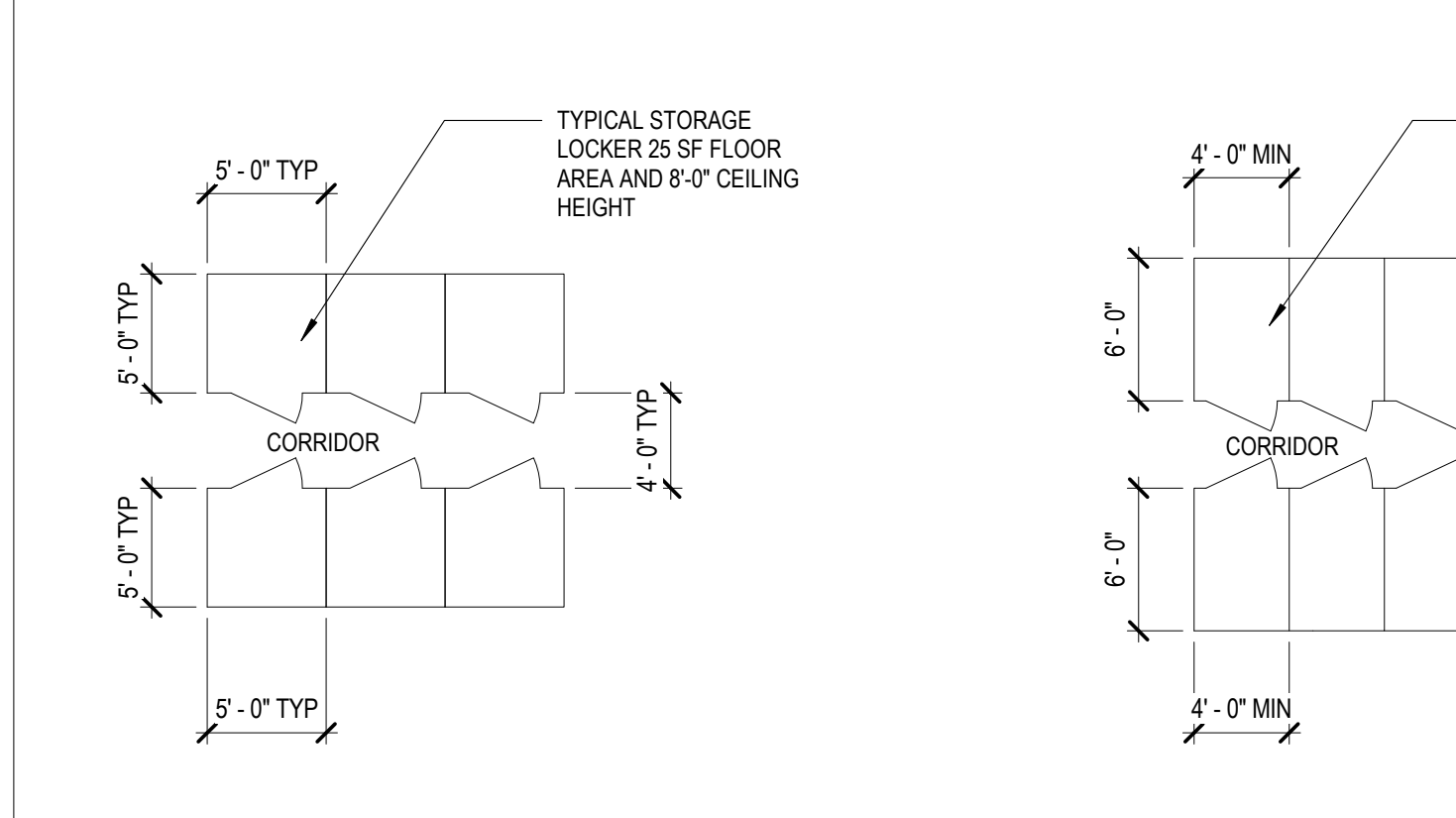
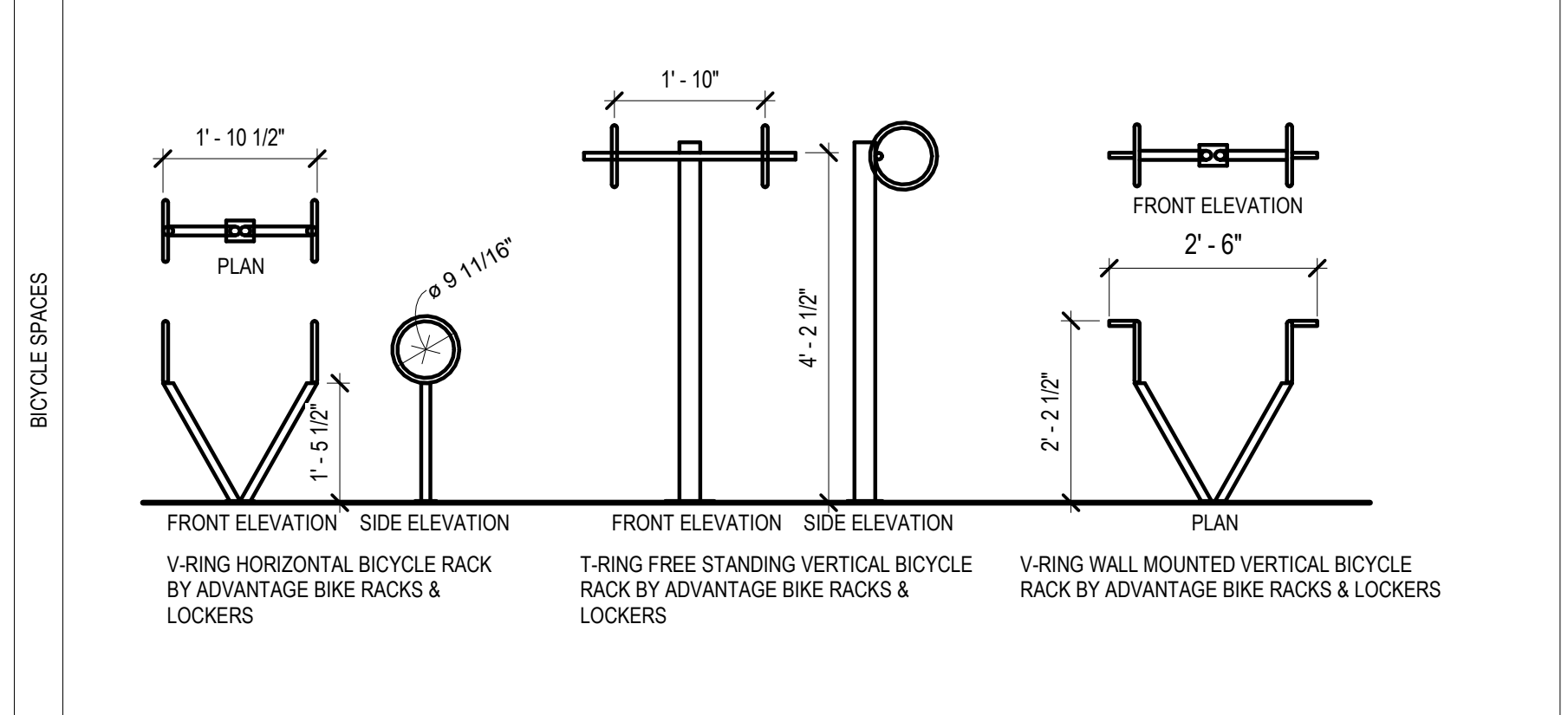
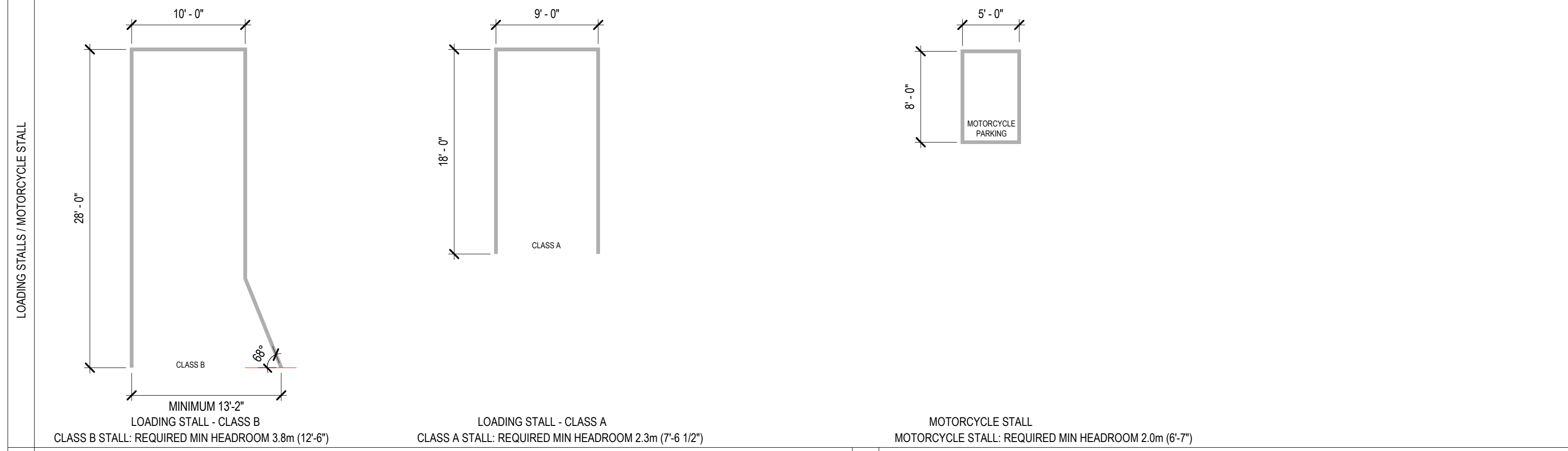
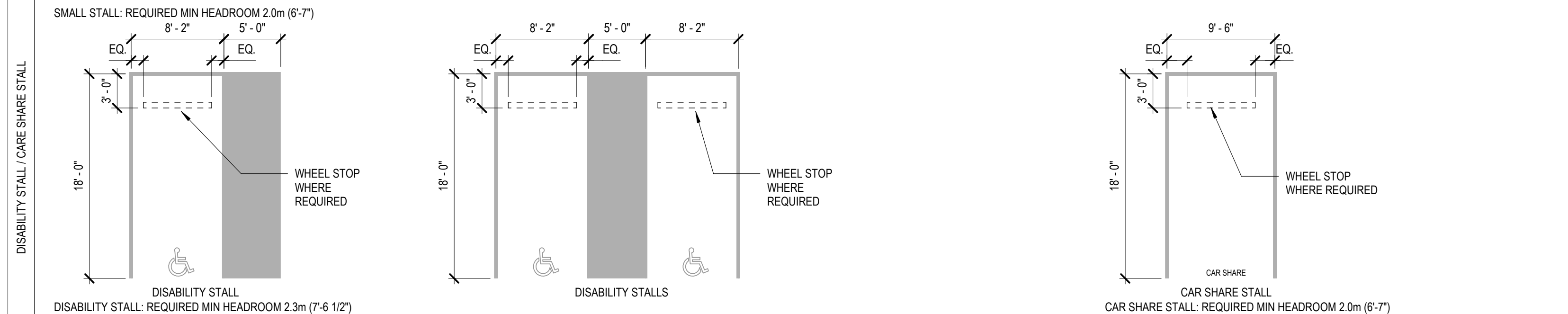
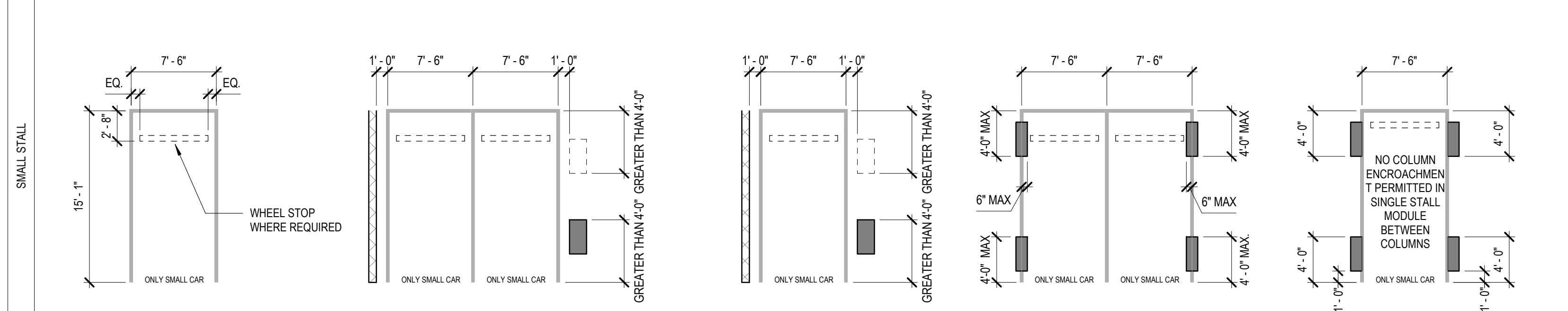
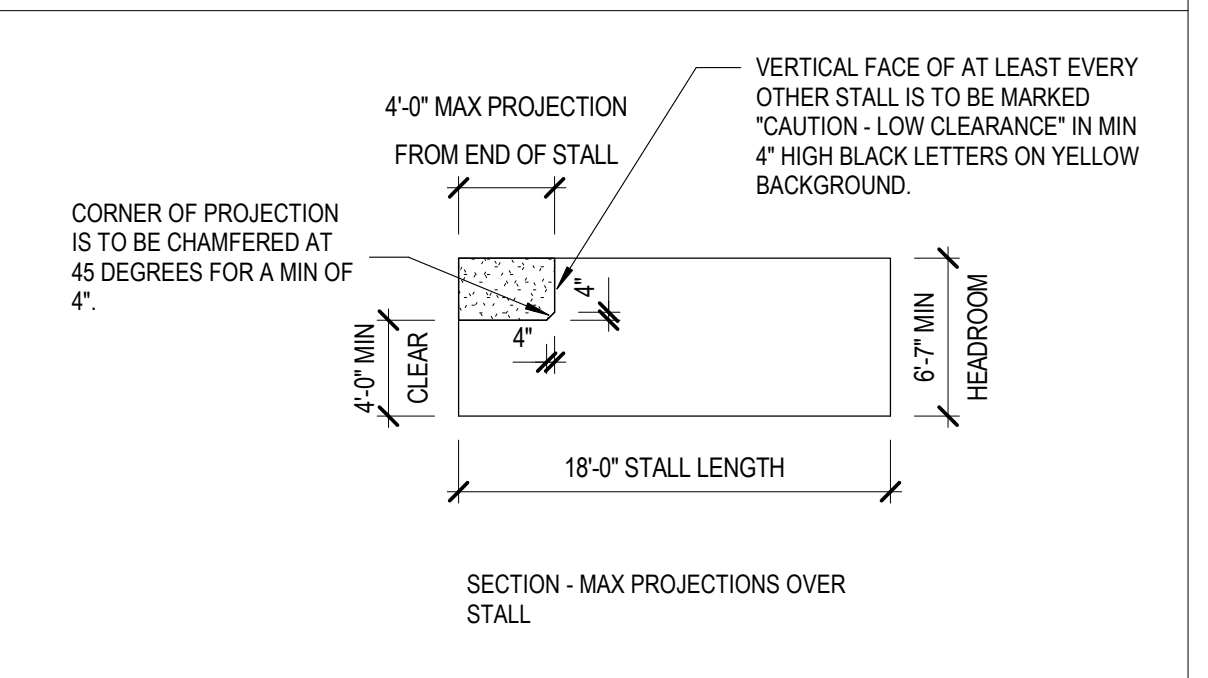
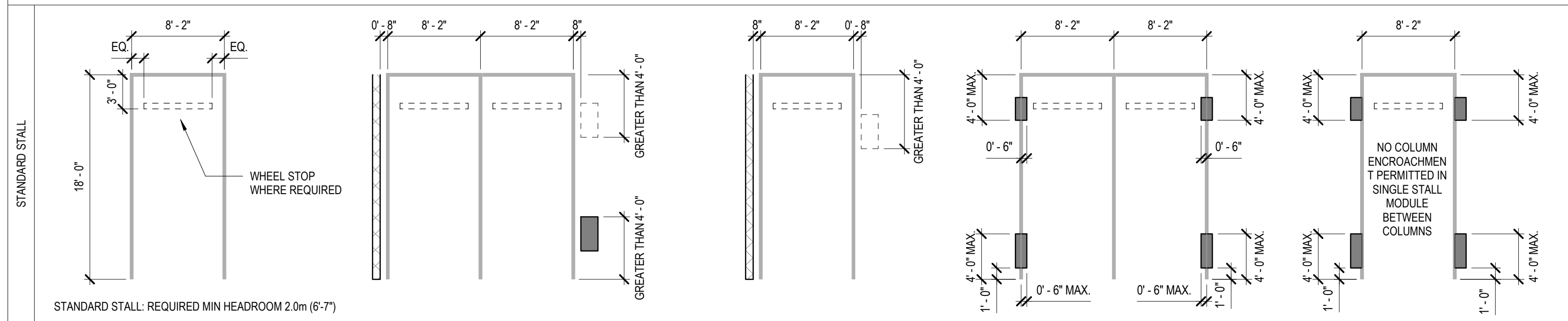
1	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
2	PRICING SET	2018-03-29
3	DP AMENDMENT SUBMISSION	2018-05-24

VARIANCE - ENTRANCE
CANOPY

DP-008

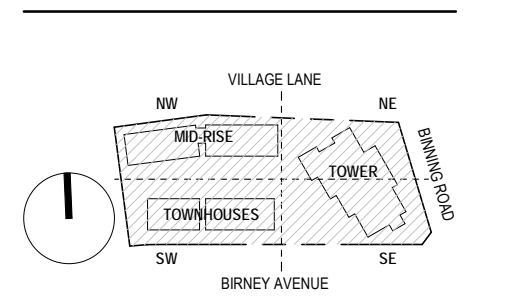
PARKING STALL / BICYCLE PARKING STALL / RESIDENTIAL STORAGE LOCKER DIMENSIONS

REFERENCE:
UBC DEVELOPMENT HANDBOOK
DECEMBER 2016



ALL RESIDENTIAL STORAGE LOCKERS TO MEET THE FOLLOWING REQUIREMENTS:

- MINIMUM SIZE OF 200 CUBIC FEET
- MINIMUM HEIGHT OF 7'-0"
- MINIMUM CLEAR HORIZONTAL DIMENSION IN ALL DIRECTIONS OF 4'-0"



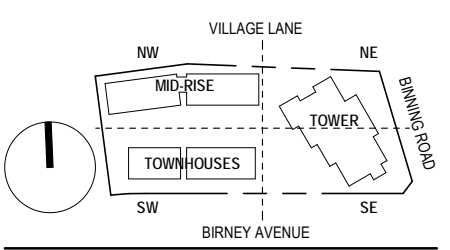
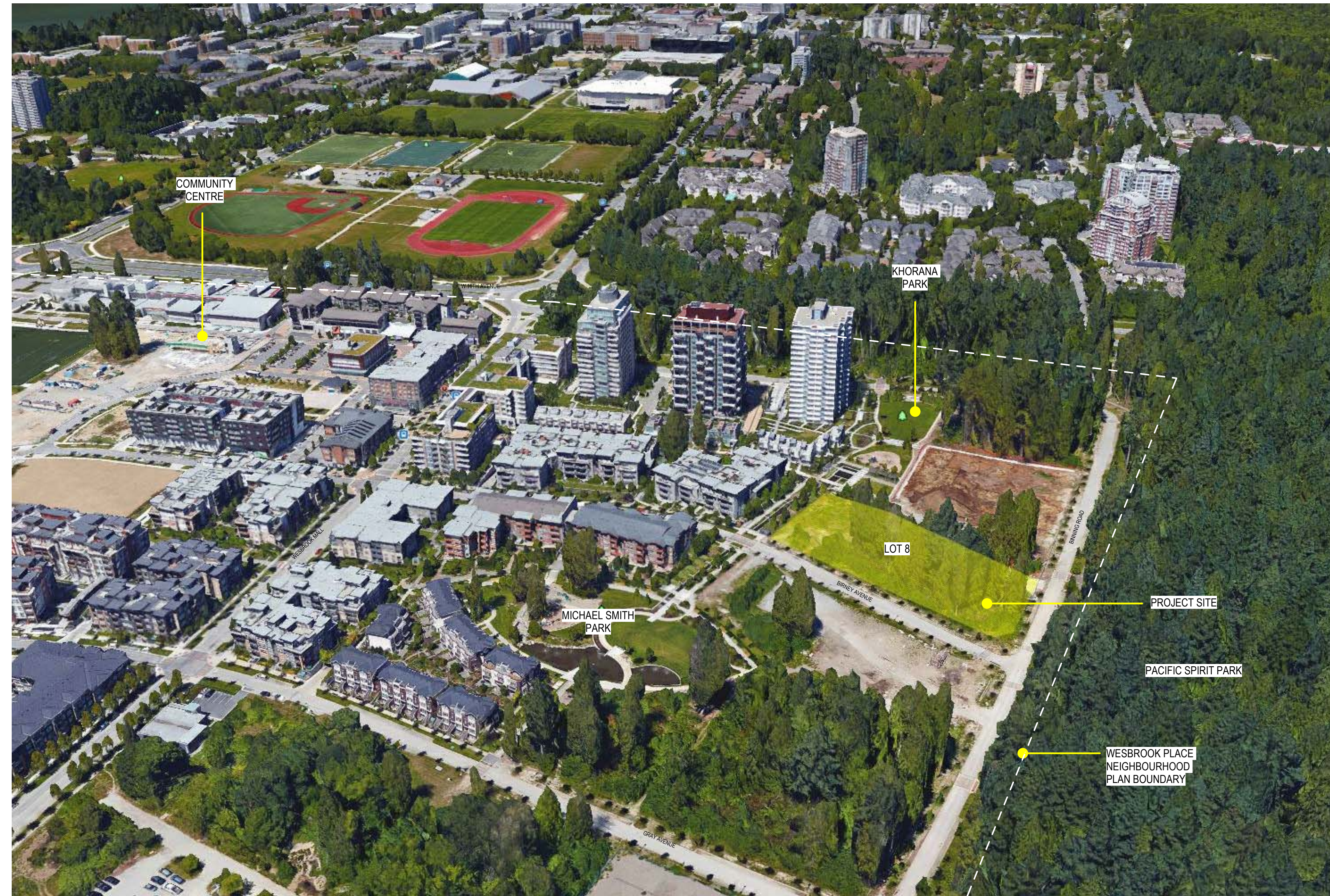
- PRE-OP APPLICATION SUBMISSION 2017-12-06
- DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- PRICING SET 2018-03-29
- DP AMENDMENT SUBMISSION 2018-05-24

SITE CONTEXT - VIEW

Lot 8 at Wesbrook Place is a 63,150 square foot (1.45 acres / 0.9 hectare) site at the corner of Birney Avenue and Binning Road. Located at the eastern edge of Wesbrook Place, the site is bounded to the east by Pacific Spirit Regional Park, on the north by Village Lane and on the west by McCrae Lane. Grades are relatively flat, with the site sloping down by 1m from the north to south ends of the property line.

The site is surrounded by a variety of residential developments, including 2.5 storey townhouses and a 22 storey tower to the north, and a 4.5 storey midrise block and 21 storey tower to the south. Lot 8 is well connected to the amenities within Wesbrook Village, with several commercial businesses, restaurants, a grocery store, and community centre all within a 5 minute walk. There are several nearby transit stops with lines connecting to other areas on campus and within Vancouver. Bike lanes exist along 16th Avenue and Wesbrook Mall.

Additionally, the site is well connected to both campus and regional green space networks, providing parks, trails, greenways, green streets and pathways. Located adjacent to Pacific Spirit Regional Park, IVY ON THE PARK has access to the parks expansive trail network, as well as the multiuse trail that fits within the Green Edge of Wesbrook Place. The project is also located close to Michael Smith Park, Khorana Park, and Mundel Park.



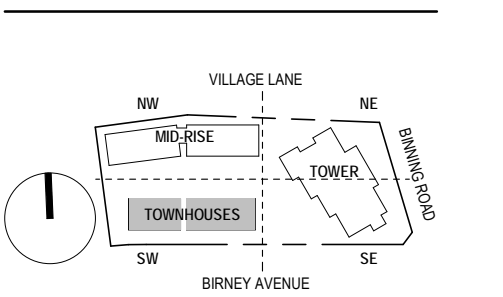
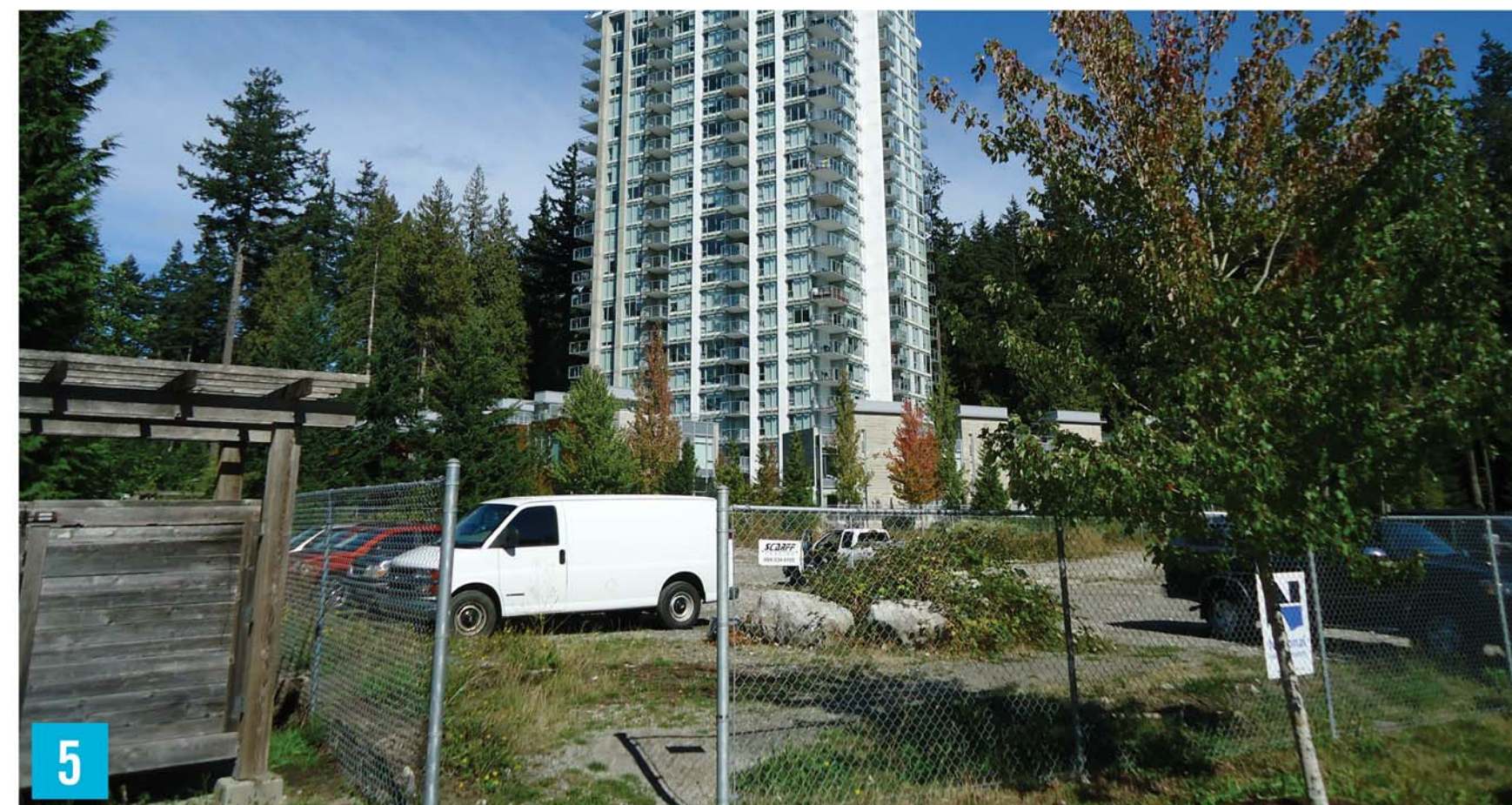
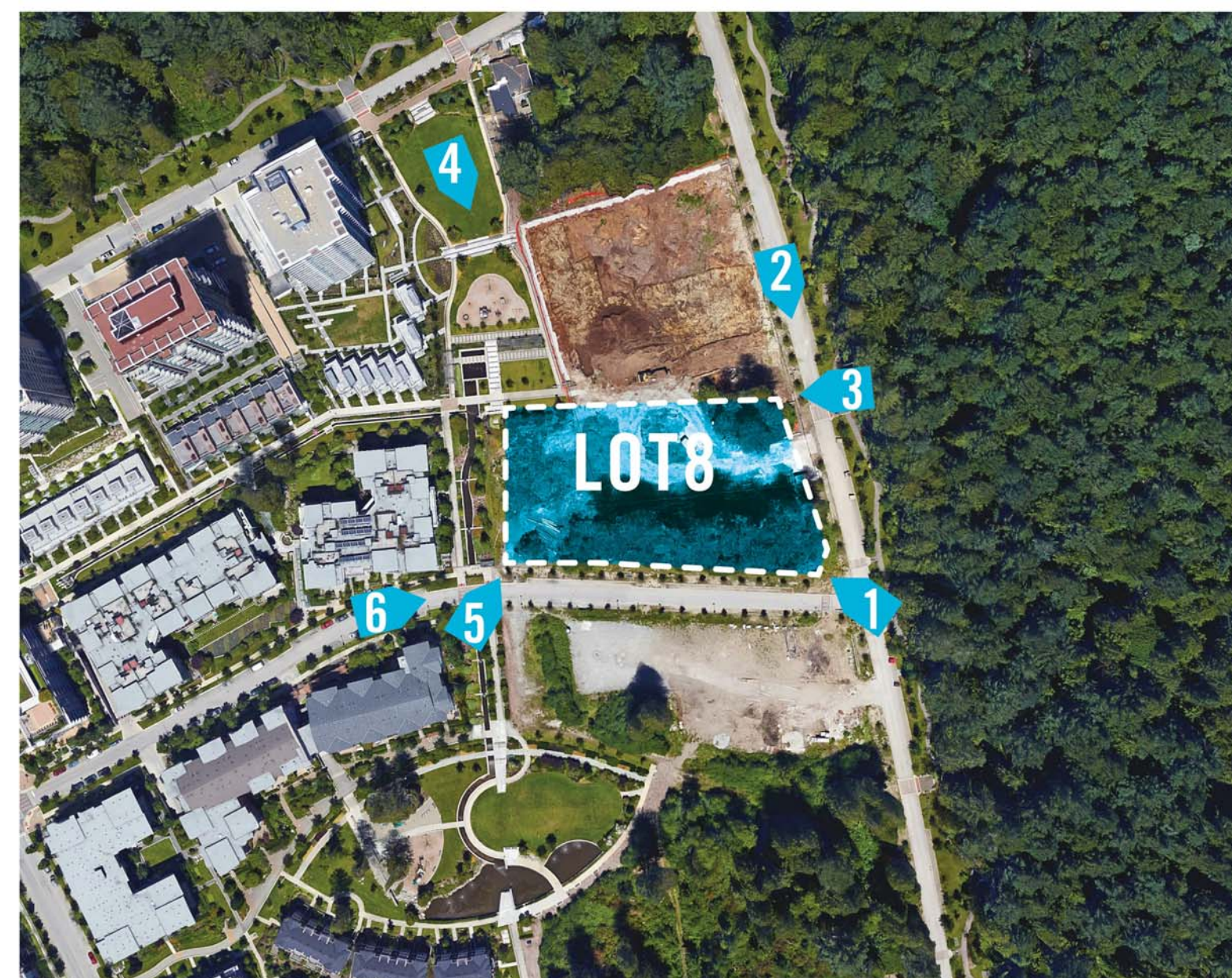
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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SITE CONTEXT - VIEW

DP-041

SITE CONTEXT - PHOTOS



IVY ON THE PARK
LOT 8

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SITE CONTEXT - PHOTOS

SITE CONTEXT - STREET VIEWS



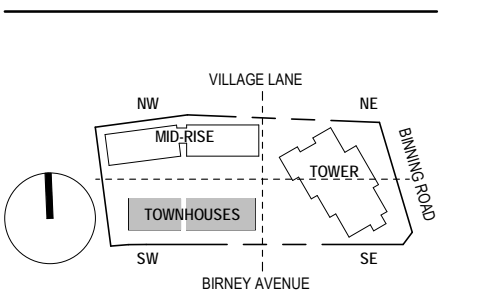
BIRNEY AVENUE



BINNING ROAD



VILLAGE LANE



IVY ON THE PARK
LOT 8

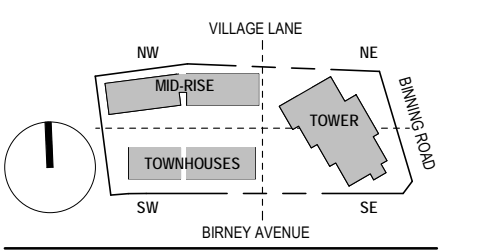
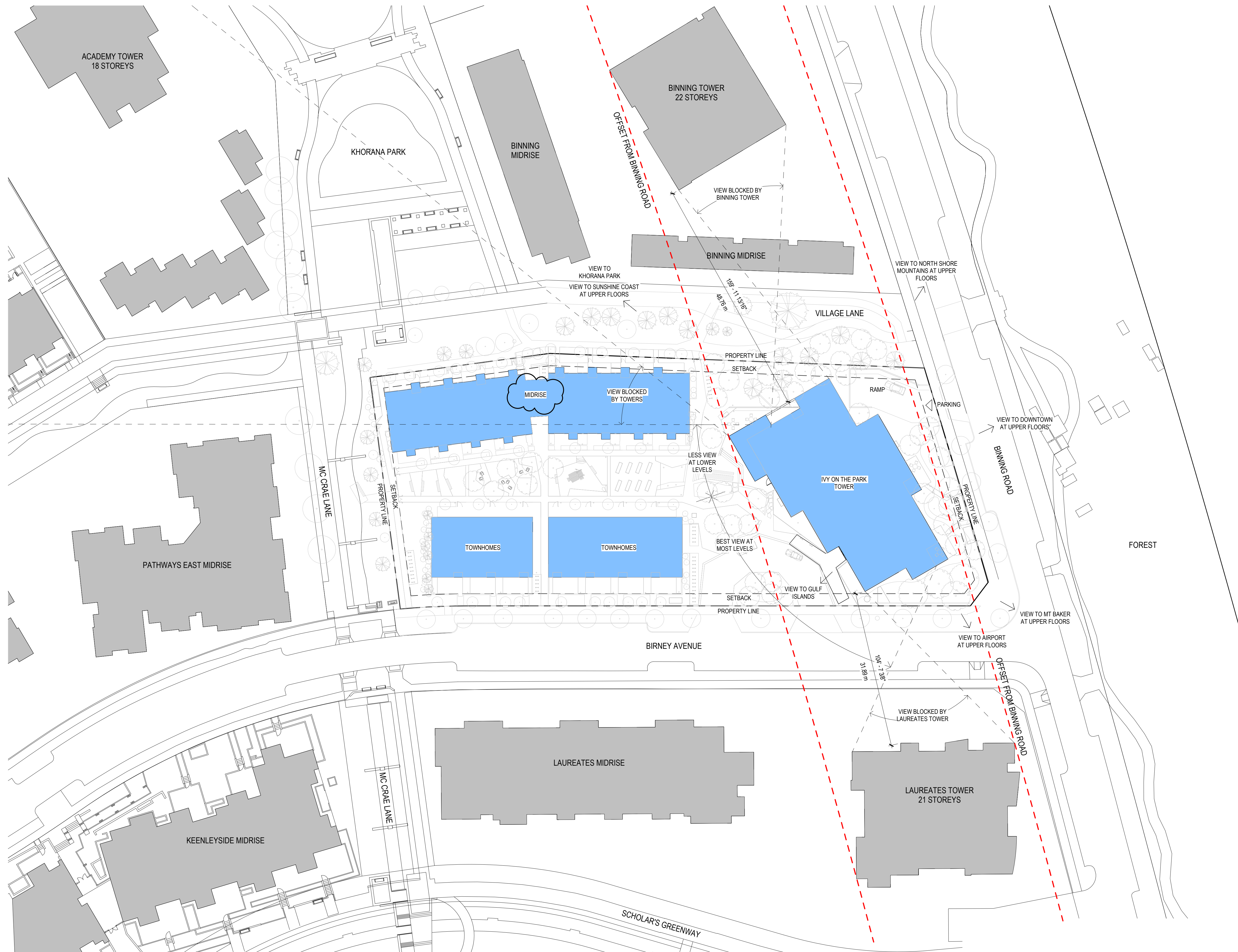
- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
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McCRAE LANE

SITE CONTEXT - STREET
ELEVATIONS

DP-043



IVY ON THE PARK
LOT 8

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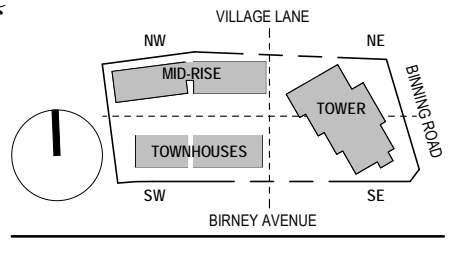
SITE CONTEXT - PLAN

1 CONTEXT PLAN
1/32" = 1'-0"



THE BIKE PATH IS SEPARATED FROM THE DRIVE AISLE WITH A ROLL CURB AND A CHANGE IN PAVEMENT PATTERN/COLOR.

EXISTING TREE TO BE REMOVED. REFER TO LANDSCAPE



IVY ON THE PARK
LOT 8

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SITE PLAN

1 SITE PLAN
1/16" = 1'-0"

DP-051

TOPOGRAPHIC SURVEY OF LOT 8 DISTRICT LOT 6494 GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP26848



The intended plot size of this plan is 864mm in width by 560mm in height (D size) when plotted at a scale of 1:250.

All distances are in metres and decimals thereof.



- LEGEND**
- denotes catchbasin
 - denotes drain
 - denotes drain manhole
 - denotes sewer manhole
 - denotes water valve
 - denotes irrigation control valve
 - denotes hydrant
 - denotes junction box
 - denotes streetlight davit
 - denotes bollard
 - denotes sign
 - denotes fence
 - denotes top of bank
 - denotes bottom of bank
 - denotes edge of pavement
 - denotes edge of gravel
 - denotes gravel sublayer
 - denotes letdown
 - denotes spot elevation
 - denotes tree and diameter
 - denotes property line

Date of Field Survey: 21, September, 2017

Elevations are to geodetic datum, derived from City of Vancouver geodetic control monument 02H2464. Published Elevation = 4.846 m.

Vertical Datum CGVD28 (HTV2.0).

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

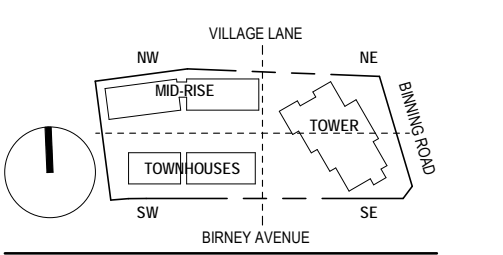
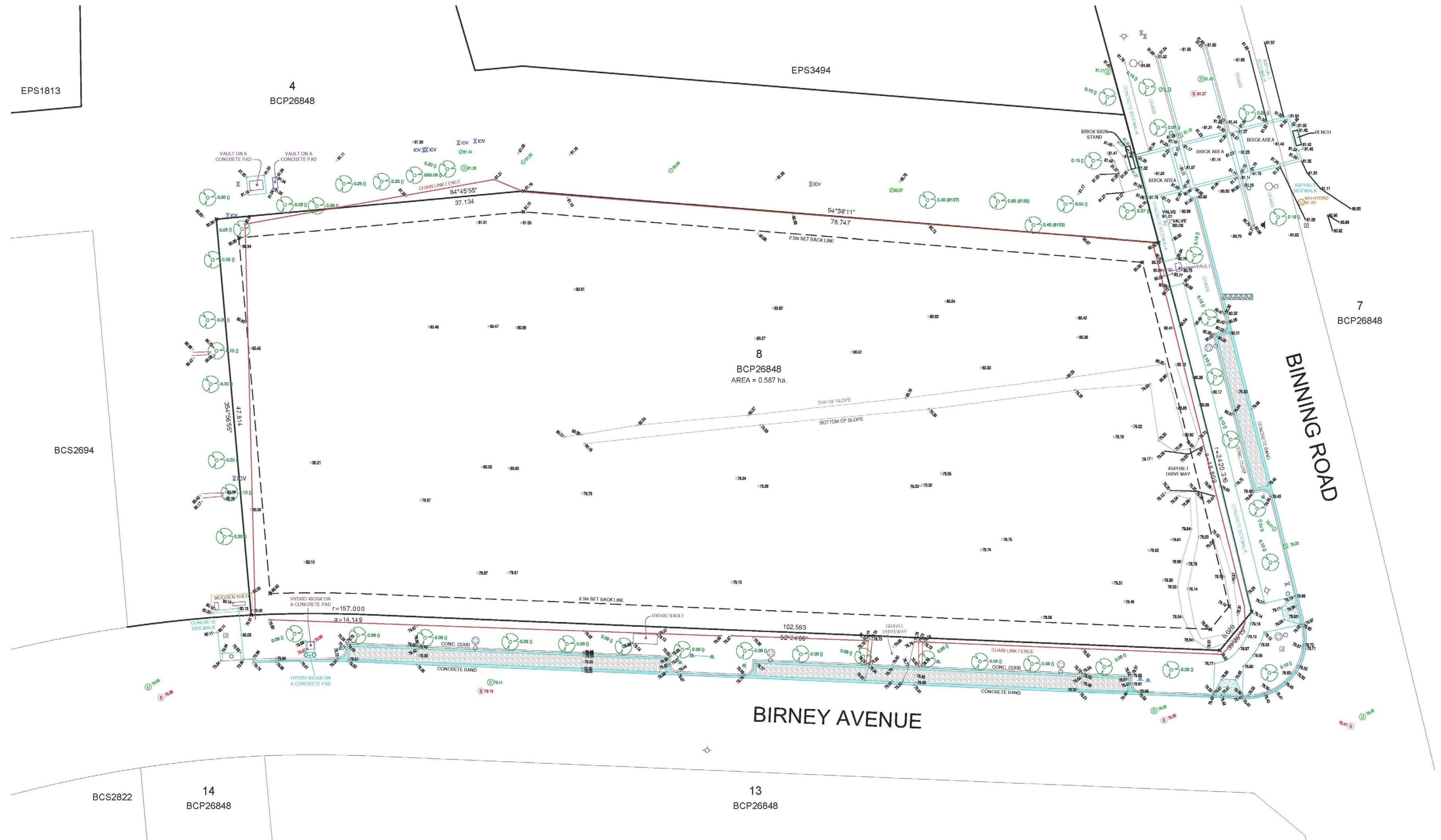
This plan represents the best information available at the time of survey. WSP Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

PARCEL IDENTIFICATION NO:
026-858-177

CIVIC ADDRESS:
5638 BIRNEY AVENUE, VANCOUVER, BC

CLIENT:
WALL FINANCIAL CORPORATION

TITLE SUBJECT TO:
NO EXISTING CHARGES, LIENS AND INTERESTS.



IVY ON THE PARK
LOT 8

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- 5 DP AMENDMENT SUBMISSION 2018-05-24

SITE SURVEY

DP-052

Rev No.	Date	Comment
1	2017-12-13	additional topo information added

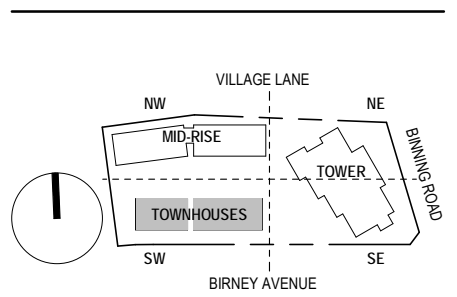
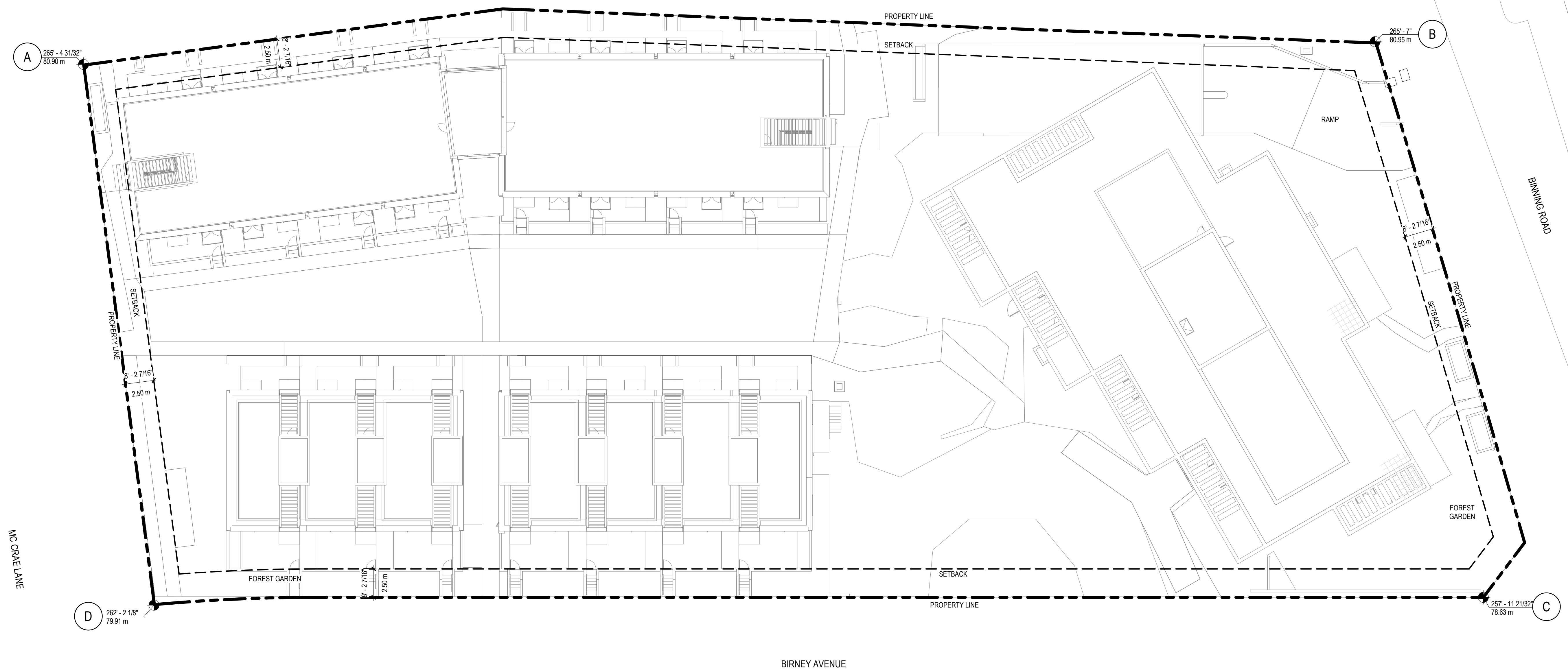
wsp
WSP Surveys (BC) Limited Partnership
390-45 Richmond Street, New Westminster, BC
T: 604-523-4551 www.wspgroup.com

PROJECT
LOT 8, BCP26848

SHEET TITLE
TOPOGRAPHIC SURVEY PLAN

DRAWN	DATE	CHECKED	SCALE
JM	2017-02-24	JT	1:250

SHEET TAG:
17-13109-00-000-00-SSDSI001-R1



IVY ON THE PARK
LOT 8

1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
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4	DP AMENDMENT SUBMISSION	2018-05-24

BASE SURFACE
CALCULATION PLAN

DP-053

1 BASE SURFACE CALCULATION PLAN
1/16" = 1'-0"

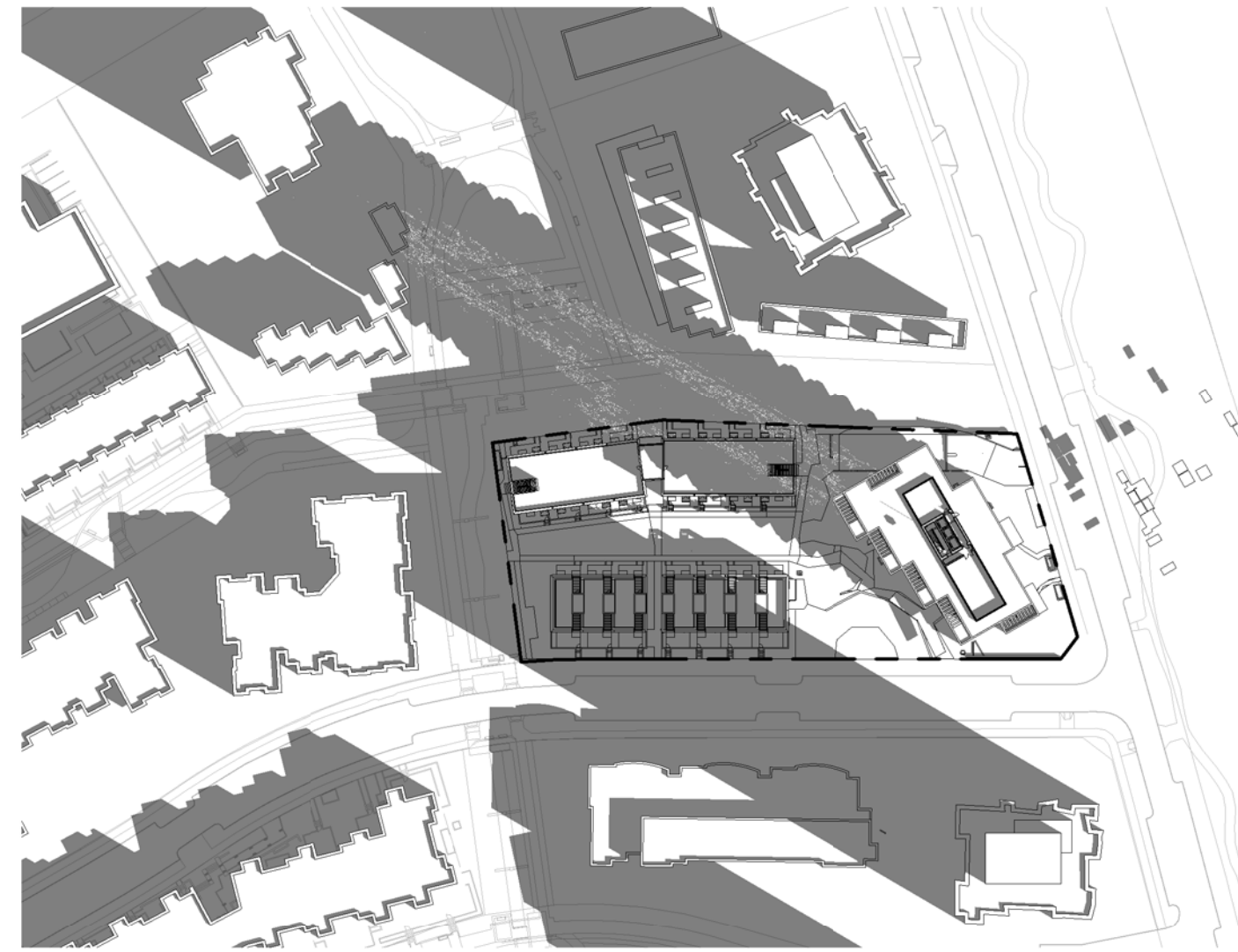
BASE SURFACE CALCULATION OF BUILDING HEIGHT

$$= \frac{A+B+C+D}{4}$$

$$= \frac{(80.90M + 80.95M + 78.63M + 79.91M)}{4}$$

$$= 80.10M = 262' - 9 1/2"$$

← BASE ELEVATION POINT TO MEASURE OVERALL BUILDING HEIGHT



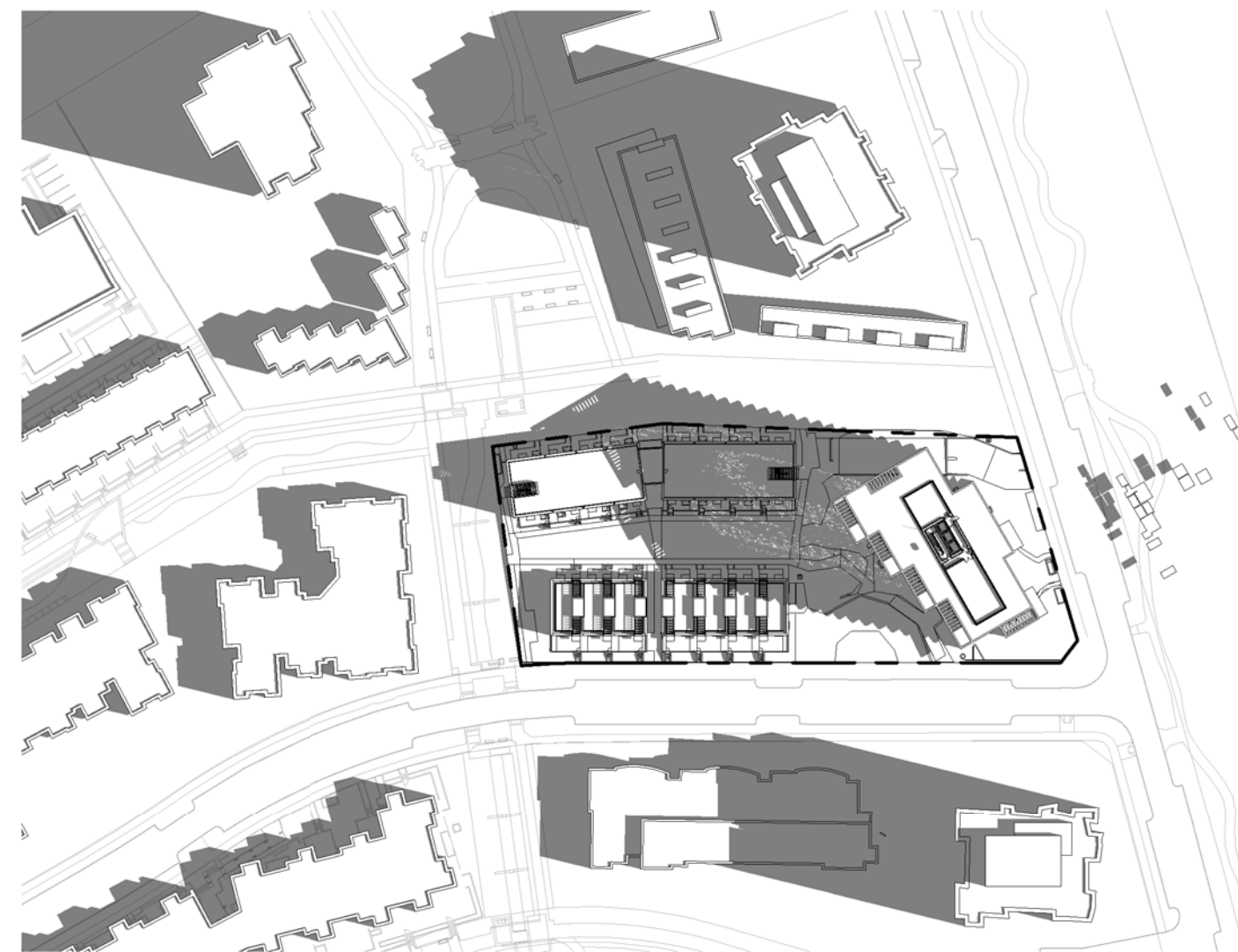
① SHADOWS - SPRING EQUINOX 10AM
1: 1440



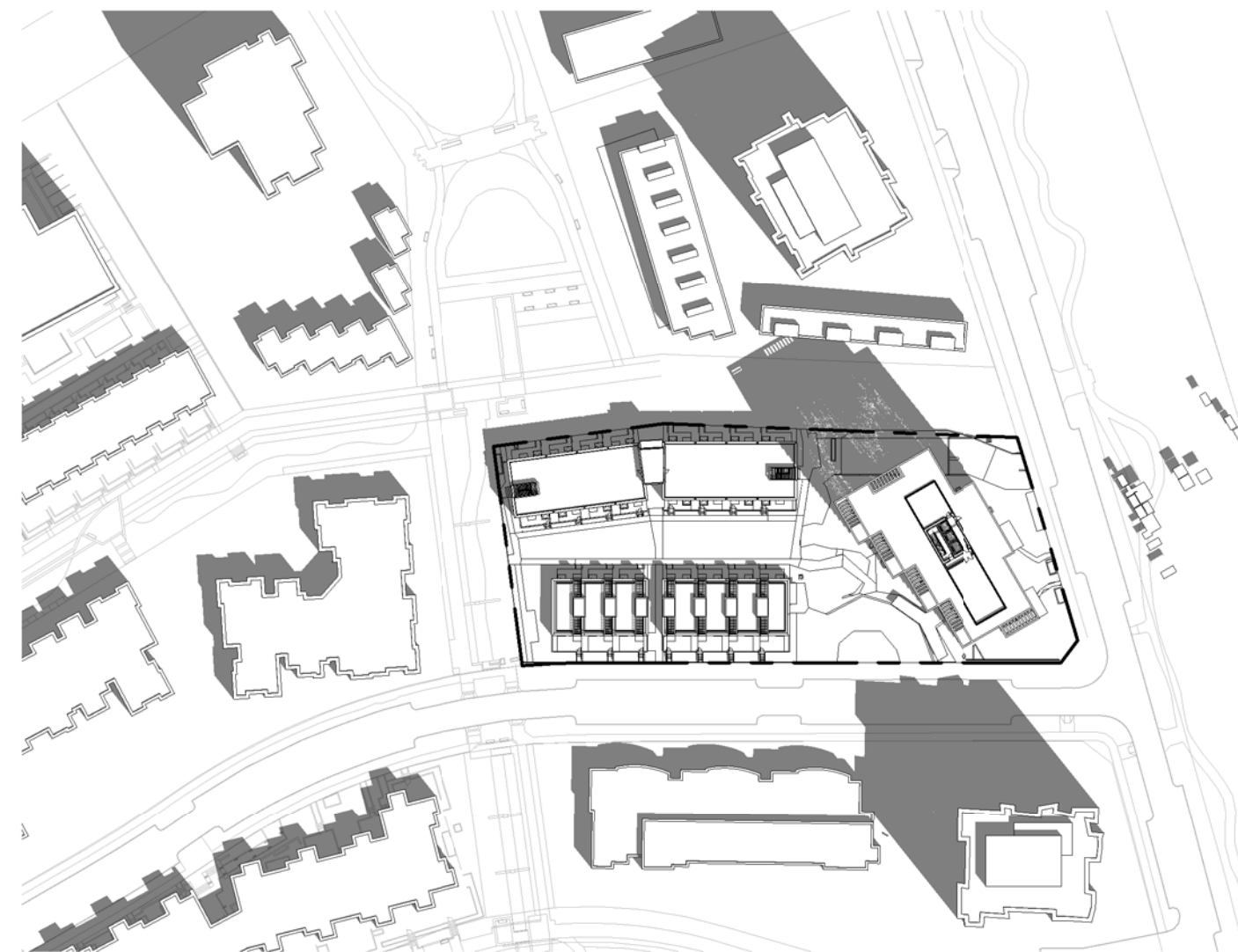
② SHADOWS - SPRING EQUINOX 12PM
1: 1440



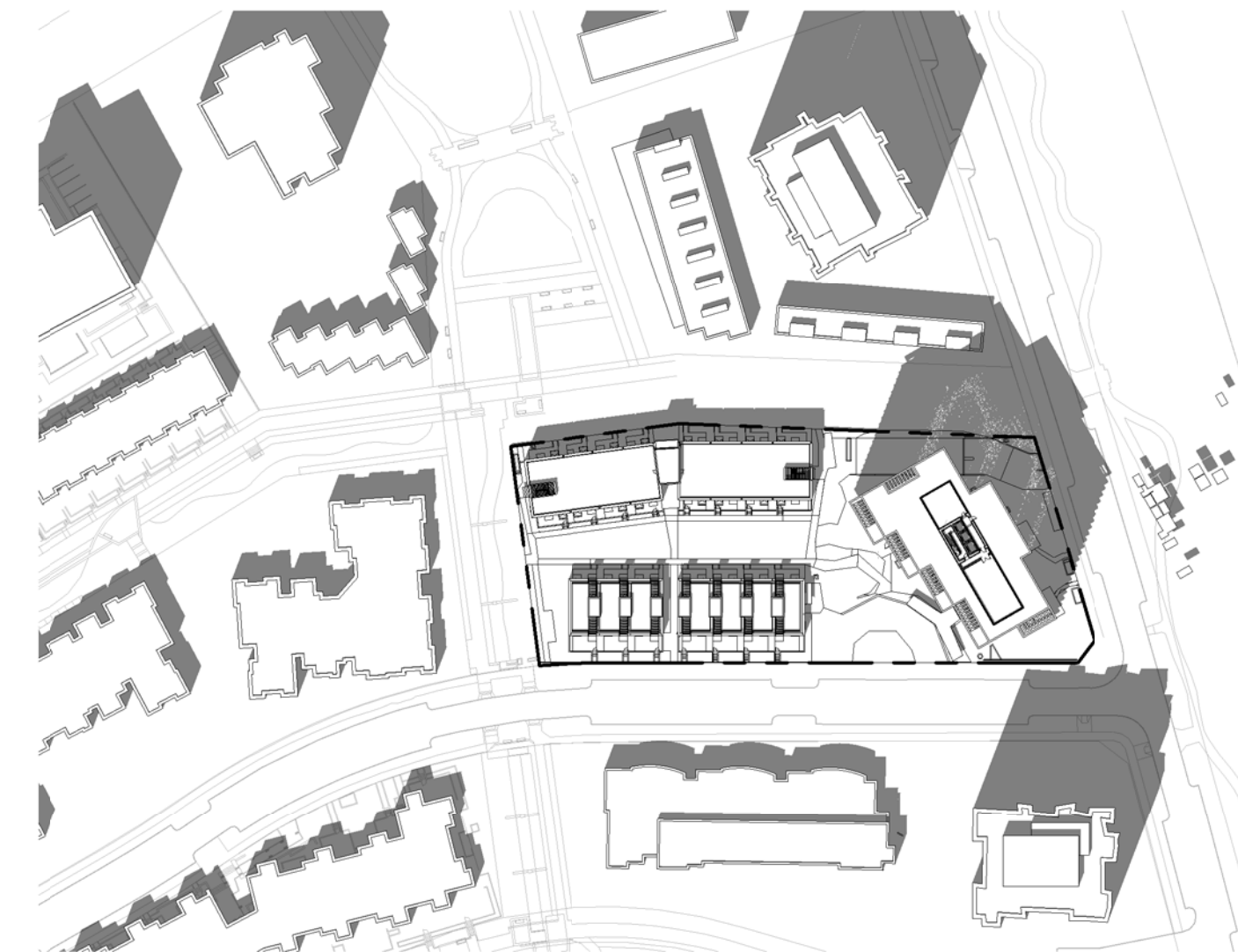
③ SHADOWS - SPRING EQUINOX 2PM
1: 1440



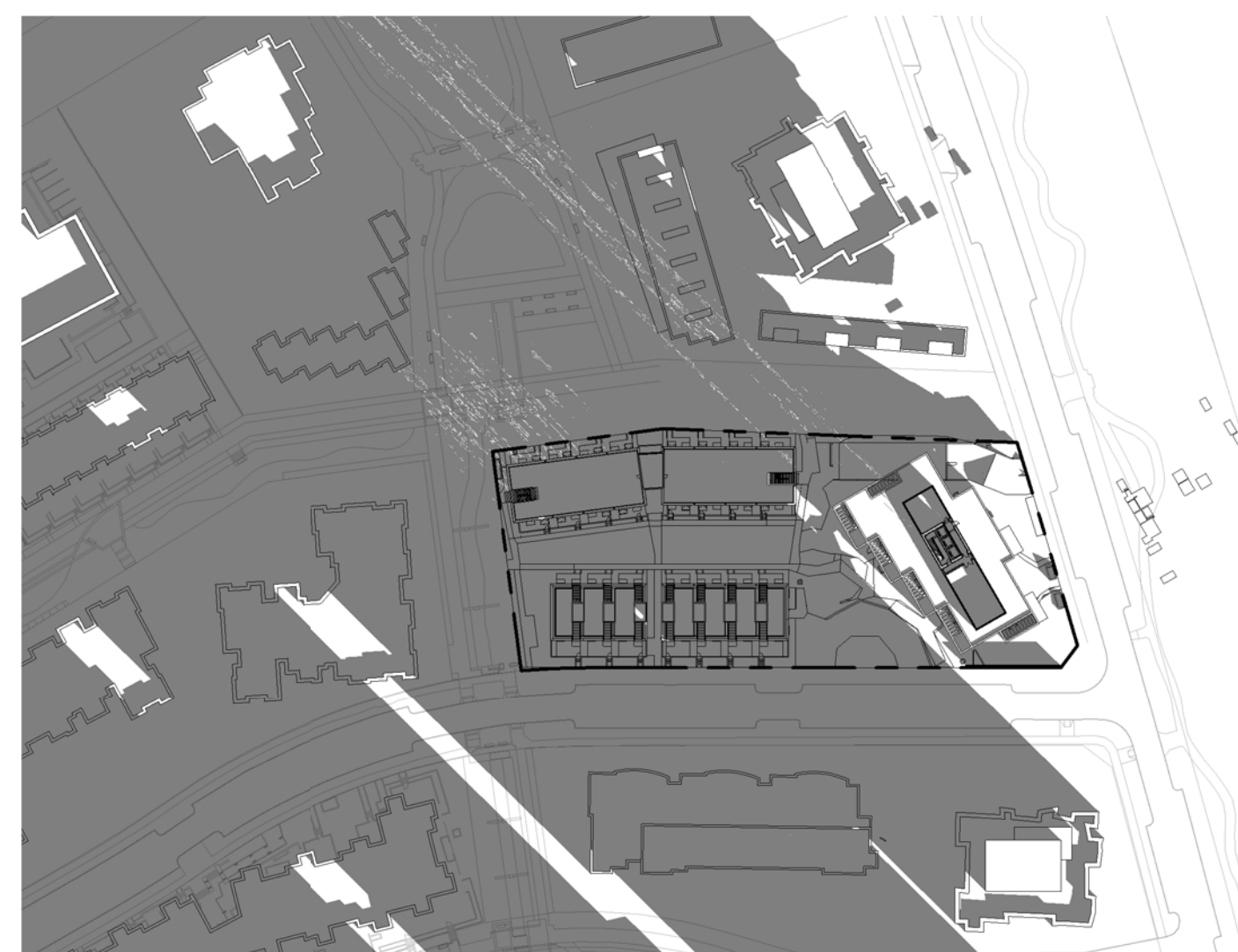
④ SHADOWS - SUMMER SOLSTICE 10AM
1: 1440



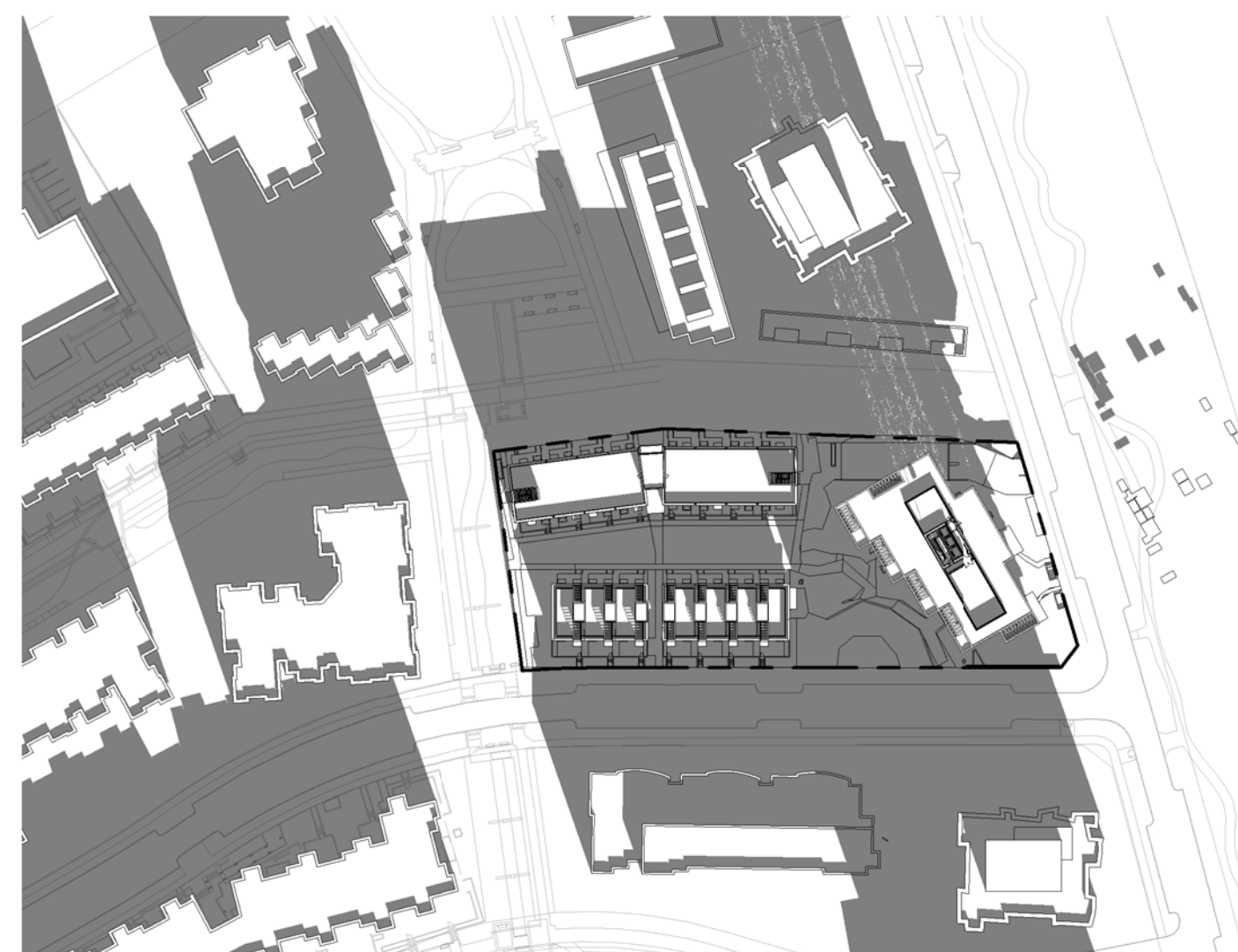
⑤ SHADOWS - SUMMER SOLSTICE 12PM
1: 1440



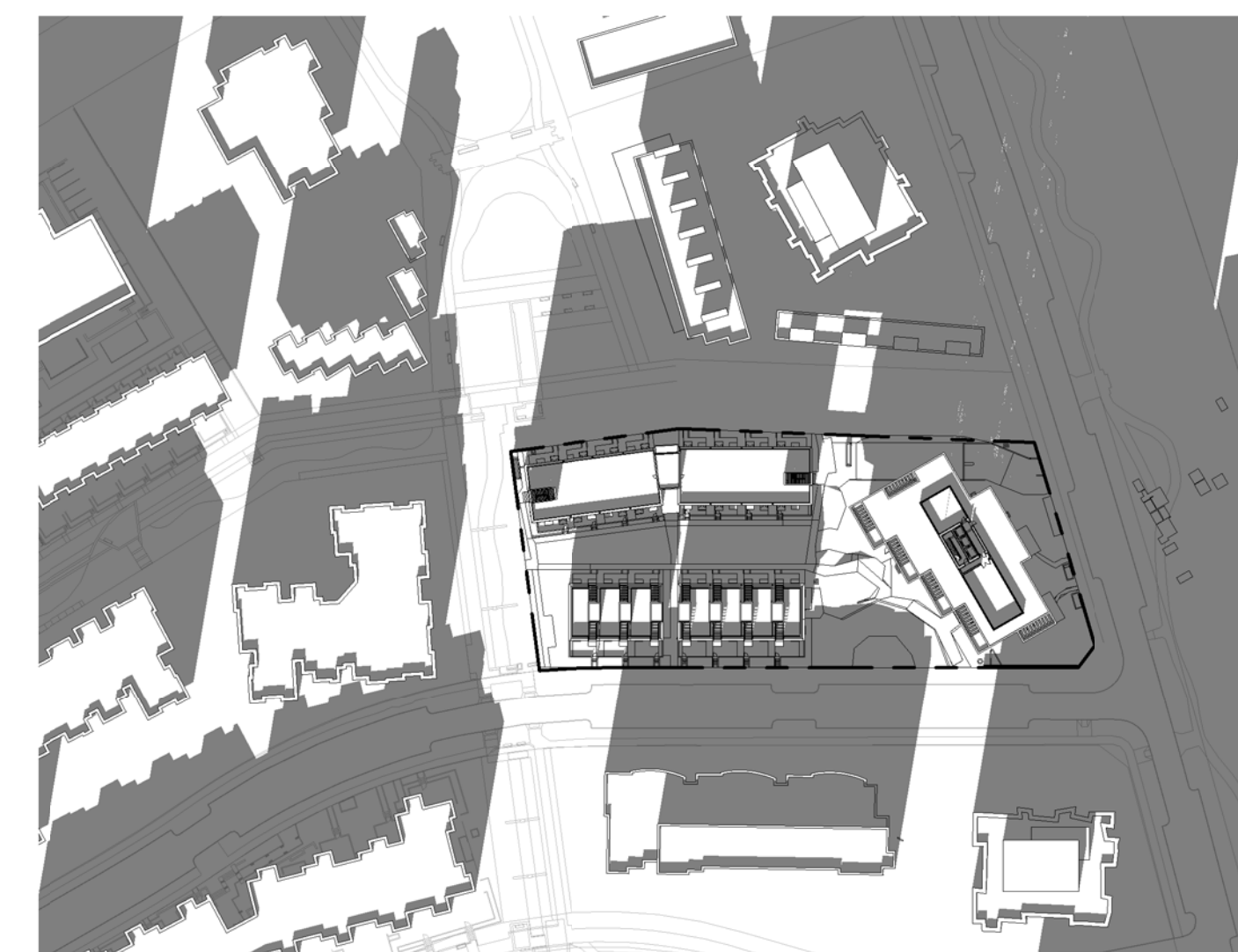
⑥ SHADOWS - SUMMER SOLSTICE 2PM
1: 1440



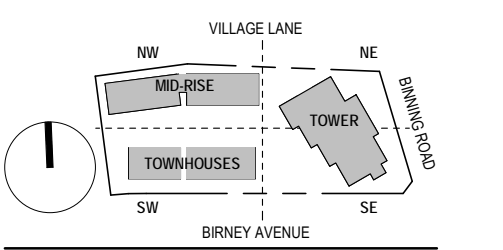
⑦ SHADOWS - WINTER SOLSTICE 10AM
1: 1440



⑧ SHADOWS - WINTER SOLSTICE 12PM
1: 1440



⑨ SHADOWS - WINTER SOLSTICE 2PM
1: 1440

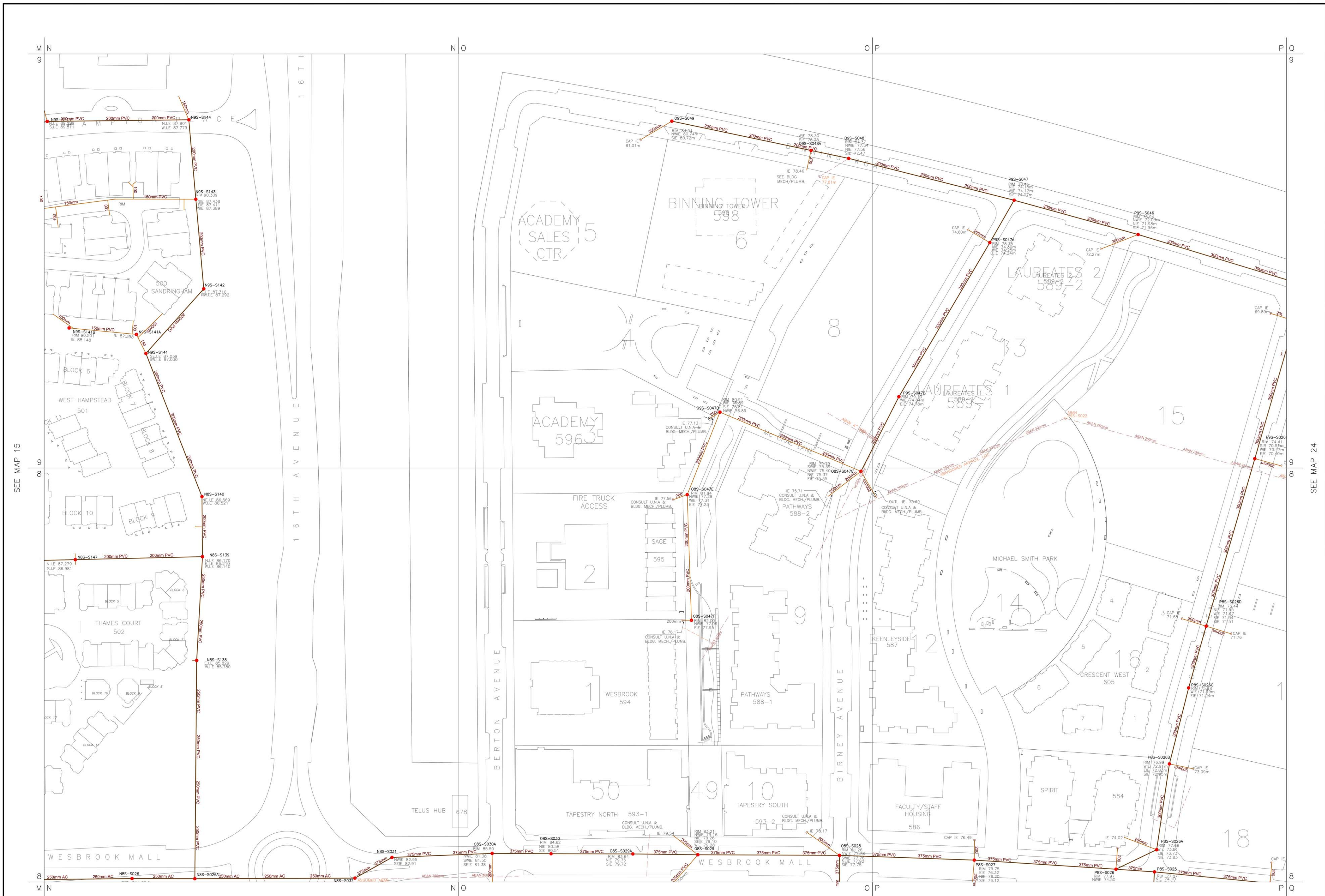


IVY ON THE PARK
LOT 8

1	PRE-OP APPLICATION SUBMISSION	2017-12-06
2	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
3	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
4	PRICING SET	2018-03-29
5	DP AMENDMENT SUBMISSION	2018-05-24

SHADOW STUDY

DP-054



SEE MAP 15 (left), SEE MAP 21 (bottom center), SEE MAP 24 (right)

NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geodetic base. For details refer to UBC Monuments Plan-Standard No.01-01

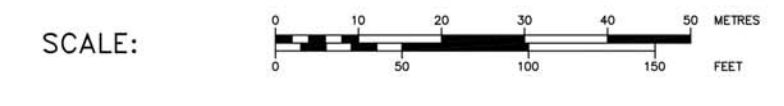
REVISIONS TO LATEST DATE

NO	DESCRIPTION	DATE	BY
6	WESBROOK PLACE PH1 EAST	OCT. 2/07	DCB
7	WESBROOK PLACE PH1 EAST, REVISED WITH ROADWORK	JUNE 3/09	DCB
8	PARKS AT WESBROOK PLACE PH1 EAST	APRIL 13/11	DCB
9	TAPESTRY N & S SERVICE	APRIL 14/11	DCB
10	BINNING TWR, ACADEMY, WESBK, PATHK, KEENL, SPIRIT, CRESCET	OCT 4/16	DCB

SECTOR INDEX

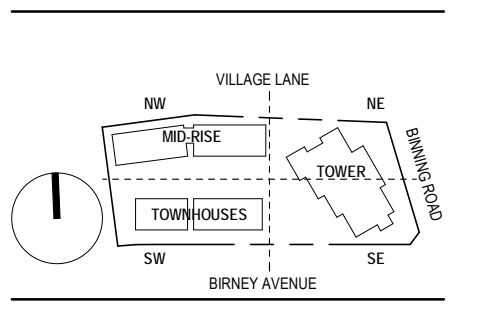
	4	5	12	15	22	24	30
NORTH	3	6	11	16	21	25	29
EAST	2	7	10	17	20	26	28
SOUTH	1	8	9	18	19	27	

The University of British Columbia
Energy and Water Services



SANITARY

SECTOR
22

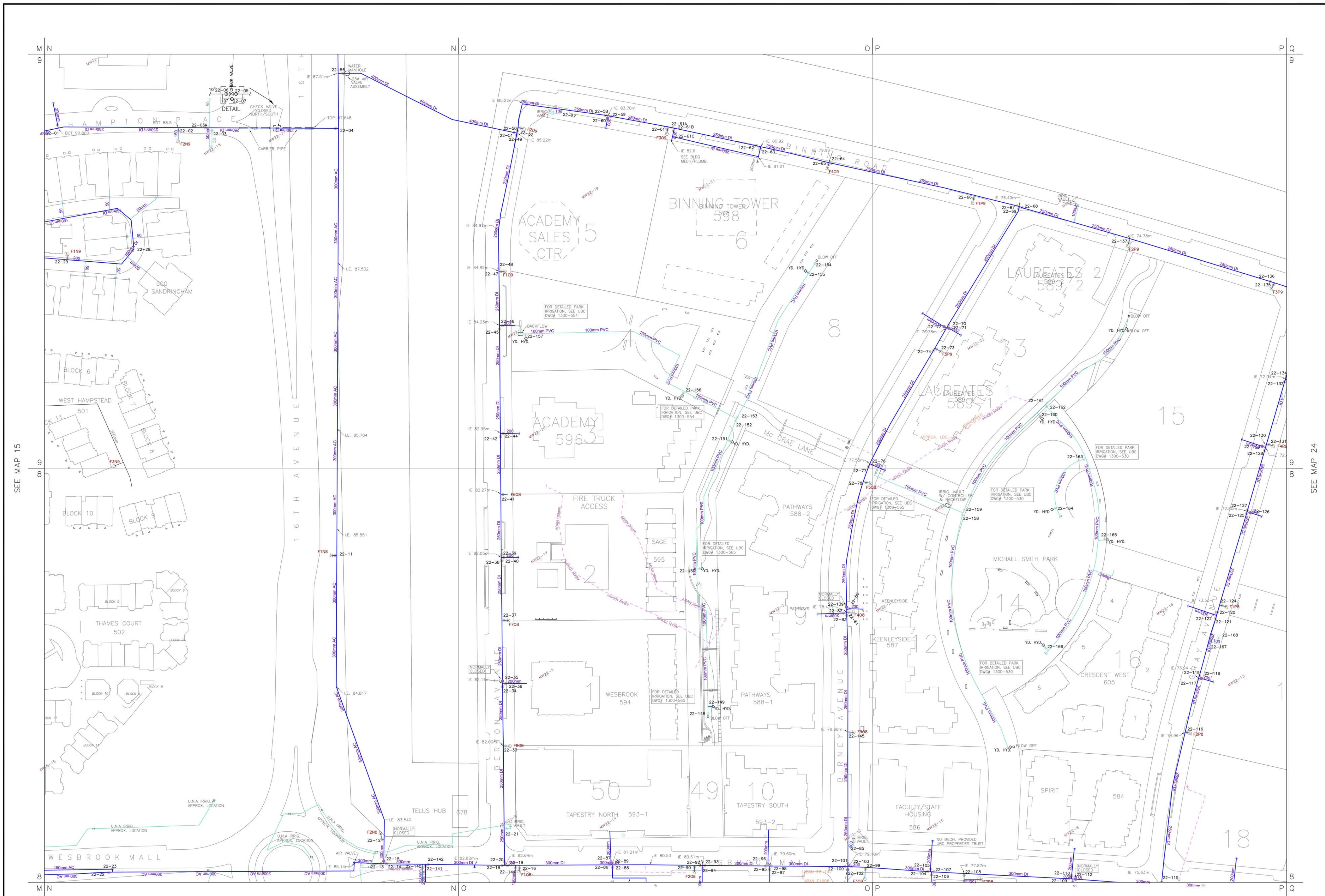


IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN -
SANITARY

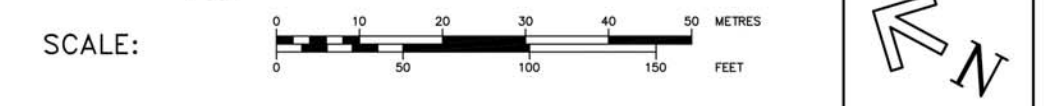
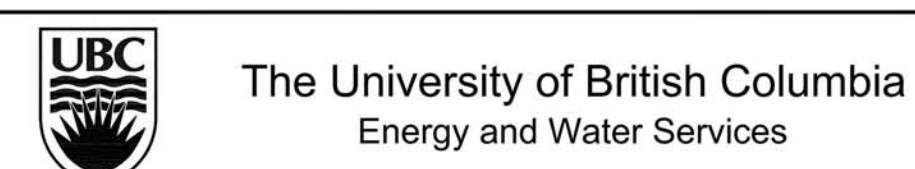
DP-061



THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

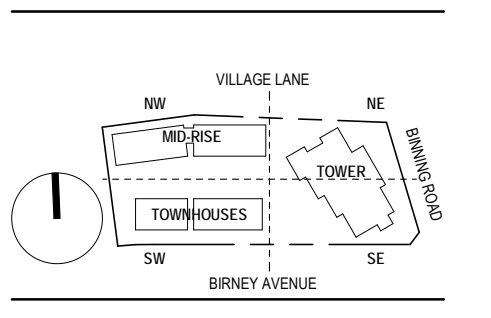
NO	DESCRIPTION	DATE	BY
6	WESBROOK PLACE PH1 EAST - REVISED WITH ROADWORK	JULY 28/09	DCB
7	KHORANA & SMITH PARKS AT WESBROOK PL PH1 EAST	MAR 7/11	DCB
8	WESBROOK PLACE KHORANA & SMITH PARKS IRRIGATION	SEPT 7/12	DCB
9	BINNING, ACADEMY, WESBK, PATHWAY, KEENLEYSIDE, SPIRIT, CRES.	OCT. 3/16	DCB
5	WESBROOK PLACE PH1	SEPT 28/07	DCB

SECTOR INDEX			
NORTH	4	5	12
NORTH	3	6	11
NORTH	2	7	10
NORTH	1	8	9
WEST	13	14	23
WEST	12	15	24
WEST	11	16	25
WEST	10	17	26
WEST	9	18	19
WEST	8	19	27
WEST	7	20	28
WEST	6	21	29
WEST	5	22	30



WATER

22



IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN - WATER

DP-063

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THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

REVISED TO LATEST DATE

NO	DESCRIPTION	DATE	BY
16	TAPESTRY N & S SERVICE, GAS YELLOW	MAR 17/16	DCB
17	BINNING, ACADEMY, WESBK, KEENLY, SPIRIT, CRESENT	OCT 5/16	DCB
13	WESBROOK PLACE PH1-EAST TERASEN GAS LINES & TRIUMF LINE	JAN 15/09	DCB
14	UPDATED TERASEN LINES @ WESBK PL PH1-EAST & TRIUMF LINE	AUG 21/09	DCB
15	TERASEN REGULATOR PIT 16TH AVE	JAN 28/10	DCB

SECTOR INDEX	
NORTH	4 5 12 13 14 23 24 30
EAST	3 6 11 16 21 25 29 31
SOUTH	2 7 10 17 20 26 28
WEST	1 8 9 18 19 27

UBC The University of British Columbia Energy and Water Services

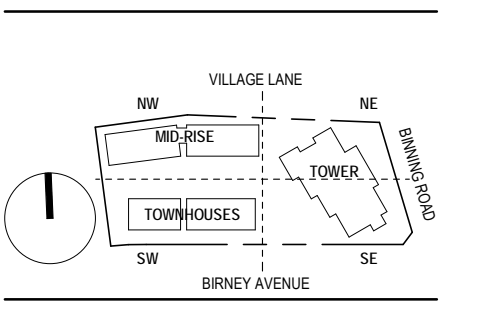
SCALE: 1" = 100' (METRES)

LEGEND:

- A anode
- B test station
- FTS fire test station
- FTS flush test station
- GTS gas test station

NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geodetic base. For details refer to UBC Monuments Plan - Standard No.01-01

SEE MAP 15 SEE MAP 21 SEE MAP 24



IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN - GAS

GAS

SECTOR
22

DP-064

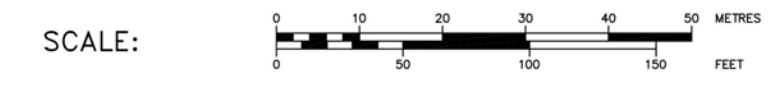
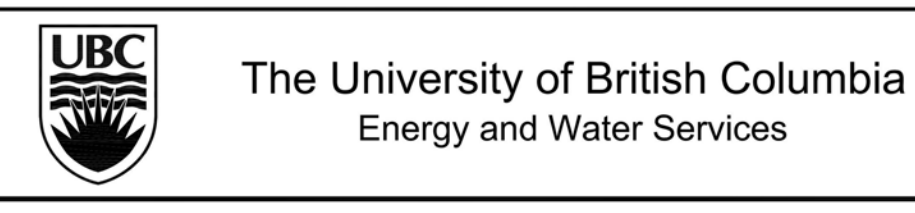


NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geodetic base. For details refer to UBC Monument - Plan Standard No.01-01

THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

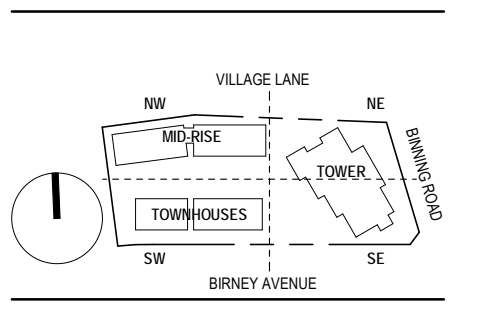
NO	DESCRIPTION	DATE	BY
16	BCH SERVICE TO BINNING, ACADEMY, WESBROK, SPIRIT, CRESENT	OCT 6/16	DCB
12	WESBROOK PLACE PH1 EAST BOYHYDRO (INFO ONLY) AND TELCOM	AUG 27/09	DCB
13	TELUS HUB @ WESBROOK/ BERTON, VARIOUS HYDRO PRELIM.	JAN 19/10	DCB
14	BC HYDRO AS-BUILT DWGS FOR WESBROOK PH1 EAST	APR 7/10	DCB
15	SERVICE TO SAGE	JULY 8/15	DCB

SECTOR INDEX	
NORTH	4 5 12 15 22 24 30
SOUTH	3 6 11 16 21 25 29 31
WEST	1 8 9 18 19 27
EAST	2 7 10 17 20 26 28



ELECTRICAL
(EXCLUDING STREET LIGHTS)

SECTOR
22

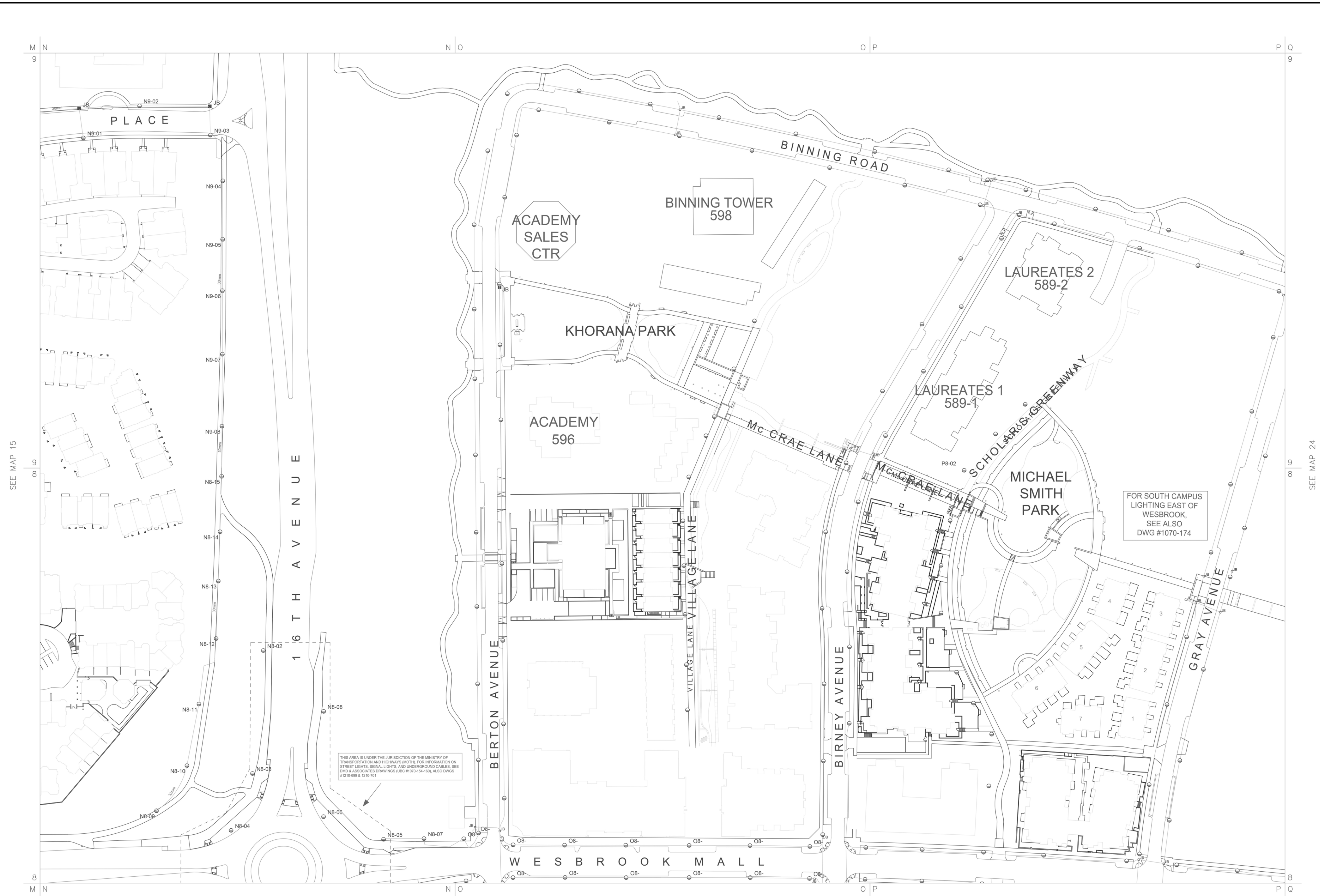


IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

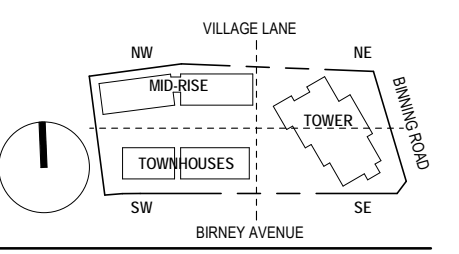
UTILITY PLAN -
ELECTRICAL

DP-065



FOR SOUTH CAMPUS
LIGHTING EAST OF
WESBROOK,
SEE ALSO
DWG #1070-174

THIS AREA IS UNDER THE JURISDICTION OF THE MINISTRY OF
TRANSPORTATION AND HIGHWAYS (MTH) FOR INFORMATION ON
STREET LIGHTS, SIGNAL LIGHTS, AND UNDERGROUND CABLES, SEE
MTH & ASSOCIATES DRAWINGS (SRC #1070-164-165, ALSO DWGS
#1210-689 & 1210-701)



IVY ON THE PARK
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN - STREET LIGHTS

DP-066

THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO
RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

NO	DESCRIPTION	DATE	BY
6	WESBROOK PLACE PARKS LIGHTING	APR 6/11	HGH
7	KHORANA & MICHAEL SMITH PARKS LIGHTING	APR 21/11	HGH
8	STREETLIGHT UPDATE DWG. 1070-190	08 AUG 16	EL
4	WESBROOK PLACE PHASE 1 EAST	OCT 14/09	HOW
5	ROUNDBOUT INFORMATION DWG. 1070-162	JAN 20/10	DCB

The University of British Columbia
Infrastructure Development

FOR REFERENCE ONLY



STREET LIGHTS

22

NOTE: When converting metric to imperial elevation include 91.62 feet to the imperial geodetic base.
For details refer to UBC Monument Plan Standard No.01-01

SEE MAP 21

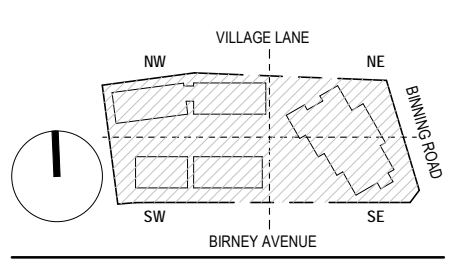
SEE MAP 15

SEE MAP 24

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VEHICULAR PARKING COUNT P1	
RESIDENTIAL STALLS TOTAL	070
- REG. STALLS	020
- EV REGULAR STALLS	010
- REG. STALLS (IN 11 PRIV GAR.)	011
- EV REG. STALLS (PRIV GAR.)	011
- SMALL CAR STALLS	002
- EV SMALL CAR STALLS	003
- H/C STALLS	005
- EV H/C STALLS	008
VISITOR STALLS TOTAL	021
- REG. STALLS	011
- EV REG. STALL	002
- H/C STALLS	007
- EV H/C STALLS	001
TOTAL STALL COUNT P1	091
ADDITIONAL STALLS NOT INCLUDED IN COUNT	
CLASS A LOADING	001
CAR WASH	001
BICYCLE PARKING COUNT P1	
CLASS 1 STALLS TOTAL	307
- STALLS IN BICYCLE STORAGE	307
RESIDENTIAL STORAGE COUNT P1	
RES. STORAGE UNITS TOTAL	011
- RES. BULK STORAGE UNITS	000
- UNITS IN PRIV. TH GARAGES	011



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

FLOOR PLAN - PARKING
- LEVEL P1

1 PARKING PLAN - LEVEL P1
1/16" = 1'-0"

VEHICULAR PARKING COUNT P2

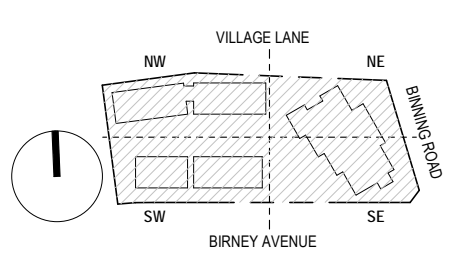
RESIDENTIAL STALLS TOTAL	152
- REGULAR STALLS	095
- EV REGULAR STALLS	027
- SMALL CAR STALLS	030

TOTAL STALL COUNT P2 152

RESIDENTIAL STORAGE COUNT P2

RES. STORAGE UNITS TOTAL 186

DP AMENDMENT
SUBMISSION
2018-05-24



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
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FLOOR PLAN - PARKING
- LEVEL P2

1 PARKING PLAN - LEVEL P2
1/16" = 1'-0"

DP-102

VEHICULAR PARKING COUNT P3

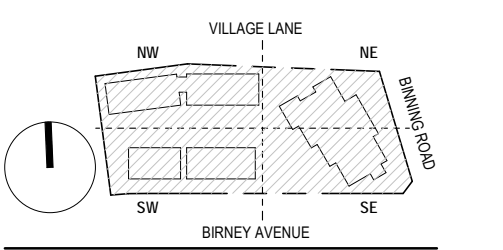
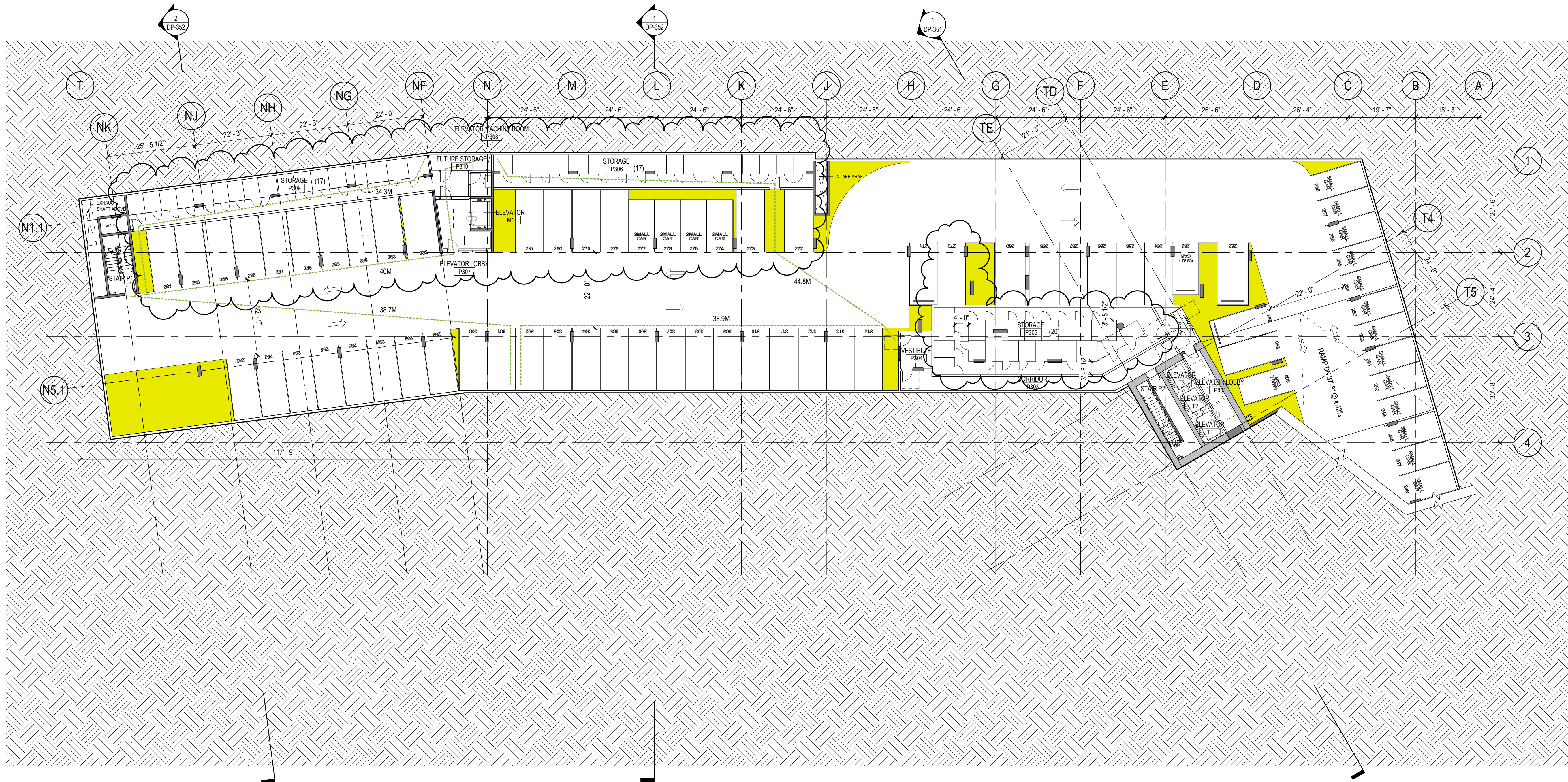
RESIDENTIAL STALLS TOTAL	069
- REG. STALLS	050
- SMALL CAR STALLS	019

TOTAL STALL COUNT P3 069

RESIDENTIAL STORAGE COUNT P3

RES. STORAGE UNITS TOTAL	054
--------------------------	-----

DP AMENDMENT
SUBMISSION
2018-05-24



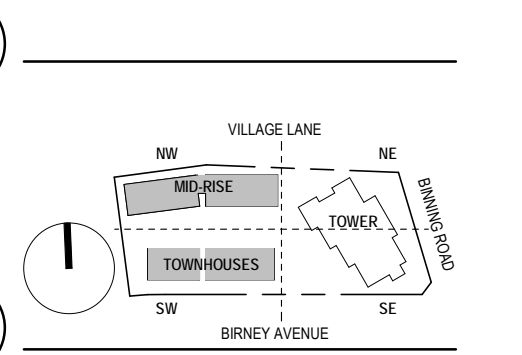
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

FLOOR PLAN - PARKING
- LEVEL P3

1 PARKING PLAN - LEVEL P3
1/16" = 1'-0"

DP-103

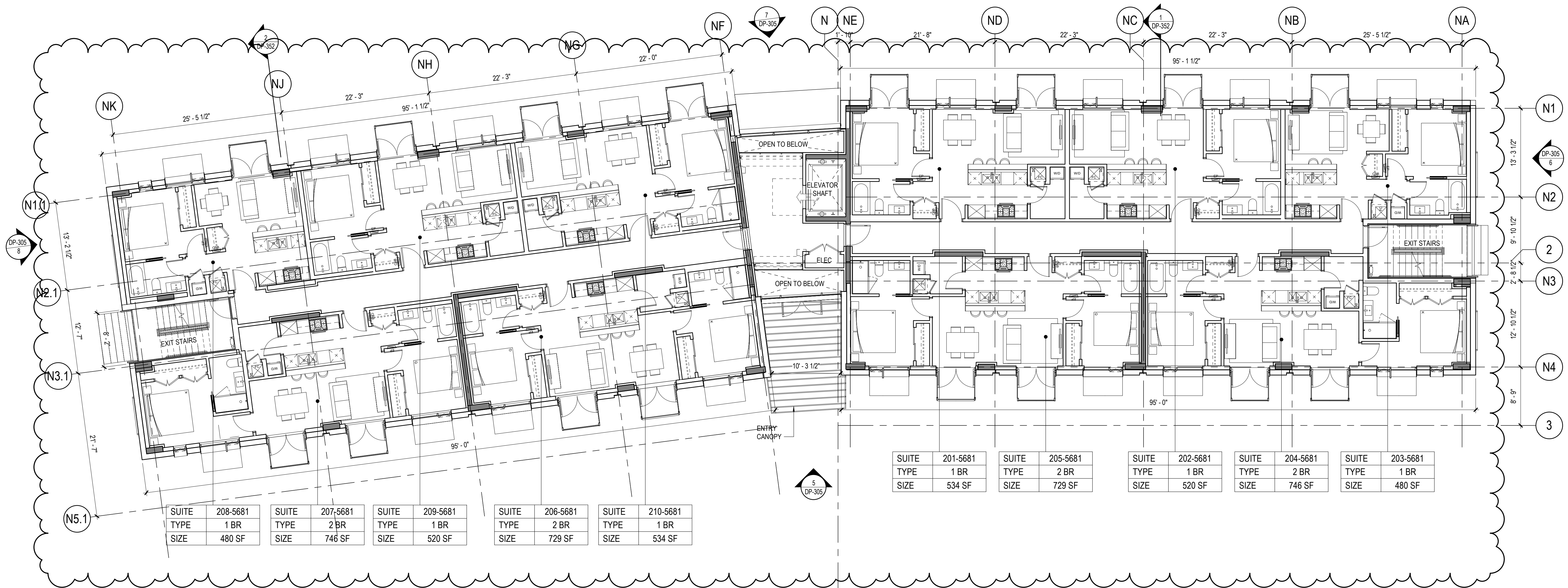


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

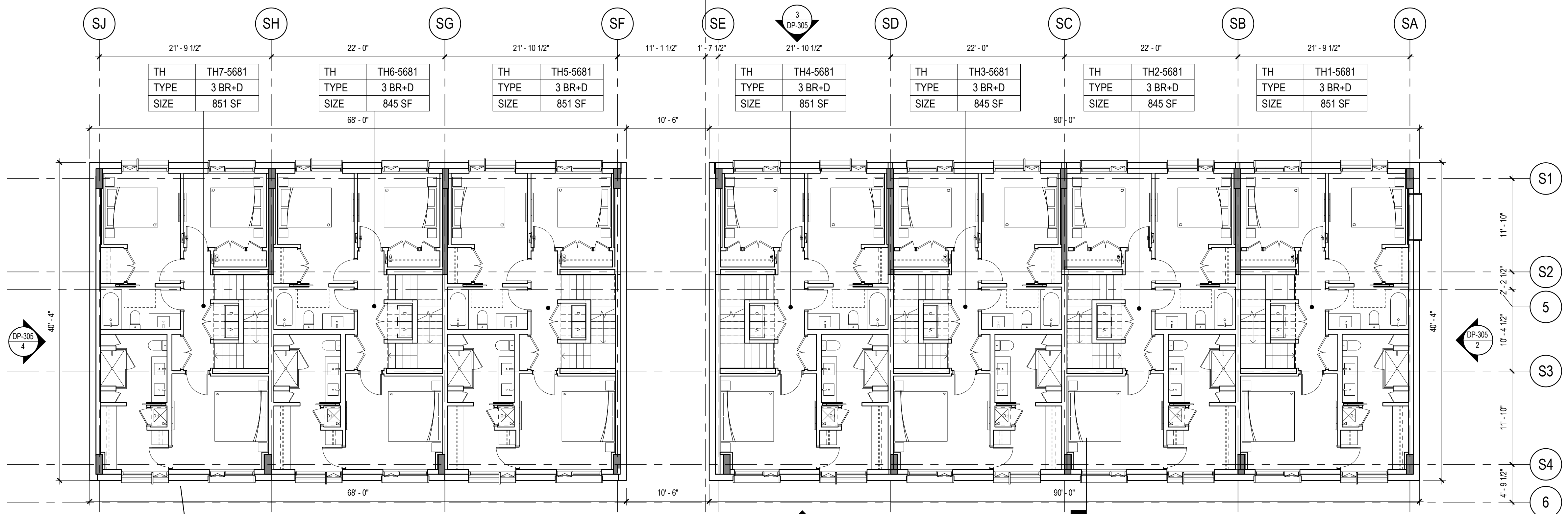
FLOOR PLAN - MID-RISE
& TOWNHOUSE - LEVEL
01

1 MIDRISE & TOWNHOUSE PLAN - LEVEL 01
1/8" = 1'-0"



SUITE	208-5681	SUITE	207-5681	SUITE	209-5681	SUITE	206-5681	SUITE	210-5681
TYPE	1 BR	TYPE	2 BR	TYPE	1 BR	TYPE	2 BR	TYPE	1 BR
SIZE	480 SF	SIZE	746 SF	SIZE	520 SF	SIZE	729 SF	SIZE	534 SF

SUITE	201-5681	SUITE	205-5681	SUITE	202-5681	SUITE	204-5681	SUITE	203-5681
TYPE	1 BR	TYPE	2 BR	TYPE	1 BR	TYPE	2 BR	TYPE	1 BR
SIZE	534 SF	SIZE	729 SF	SIZE	520 SF	SIZE	746 SF	SIZE	480 SF



TH	TH7-5681
TYPE	3 BR+D
SIZE	851 SF

TH	TH6-5681
TYPE	3 BR+D
SIZE	845 SF

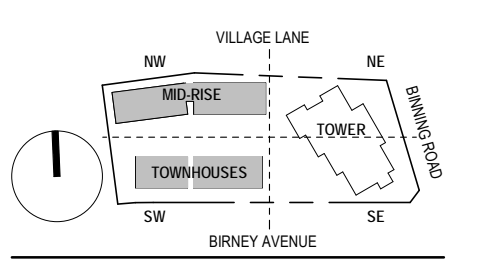
TH	TH5-5681
TYPE	3 BR+D
SIZE	851 SF

TH	TH4-5681
TYPE	3 BR+D
SIZE	851 SF

TH	TH3-5681
TYPE	3 BR+D
SIZE	845 SF

TH	TH2-5681
TYPE	3 BR+D
SIZE	845 SF

TH	TH1-5681
TYPE	3 BR+D
SIZE	851 SF

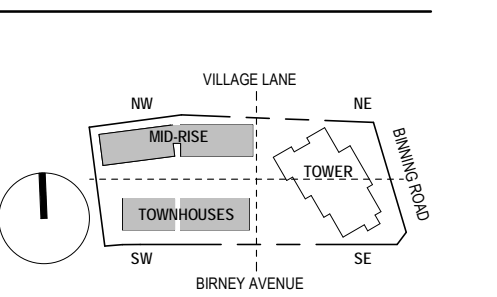
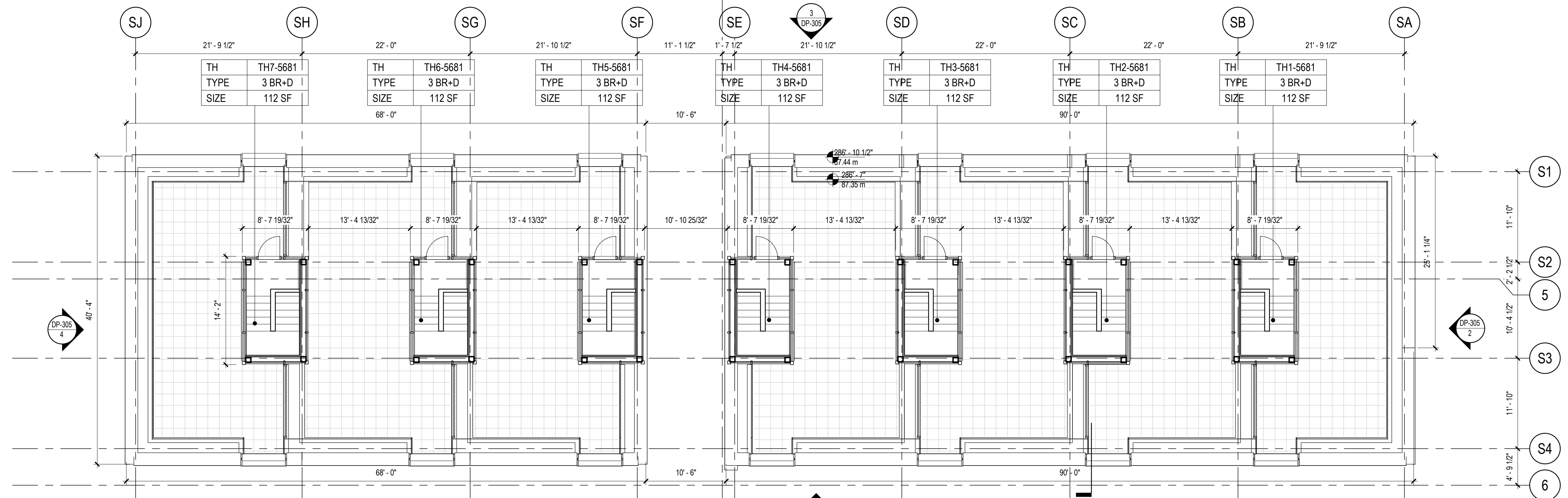
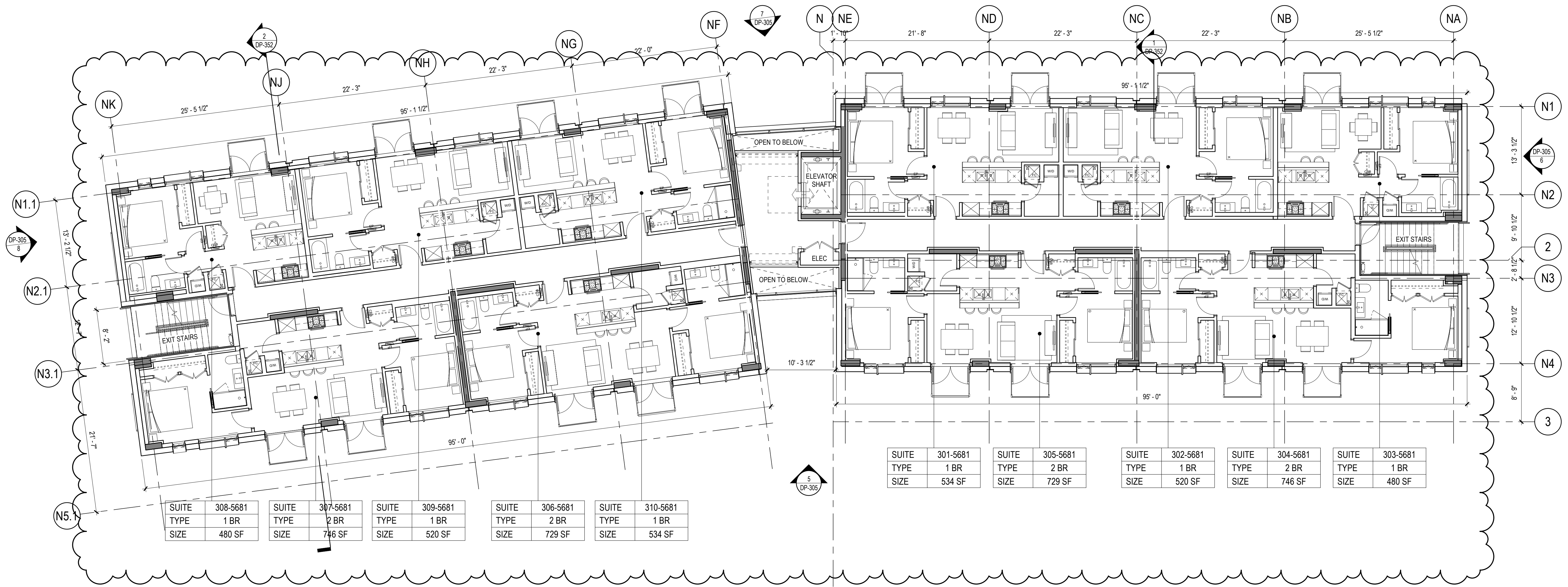


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

FLOOR PLAN - MID-RISE
& TOWNHOUSE - LEVEL
02

1 MIDRISE & TOWNHOUSE PLAN - LEVEL 02
1/8" = 1'-0"

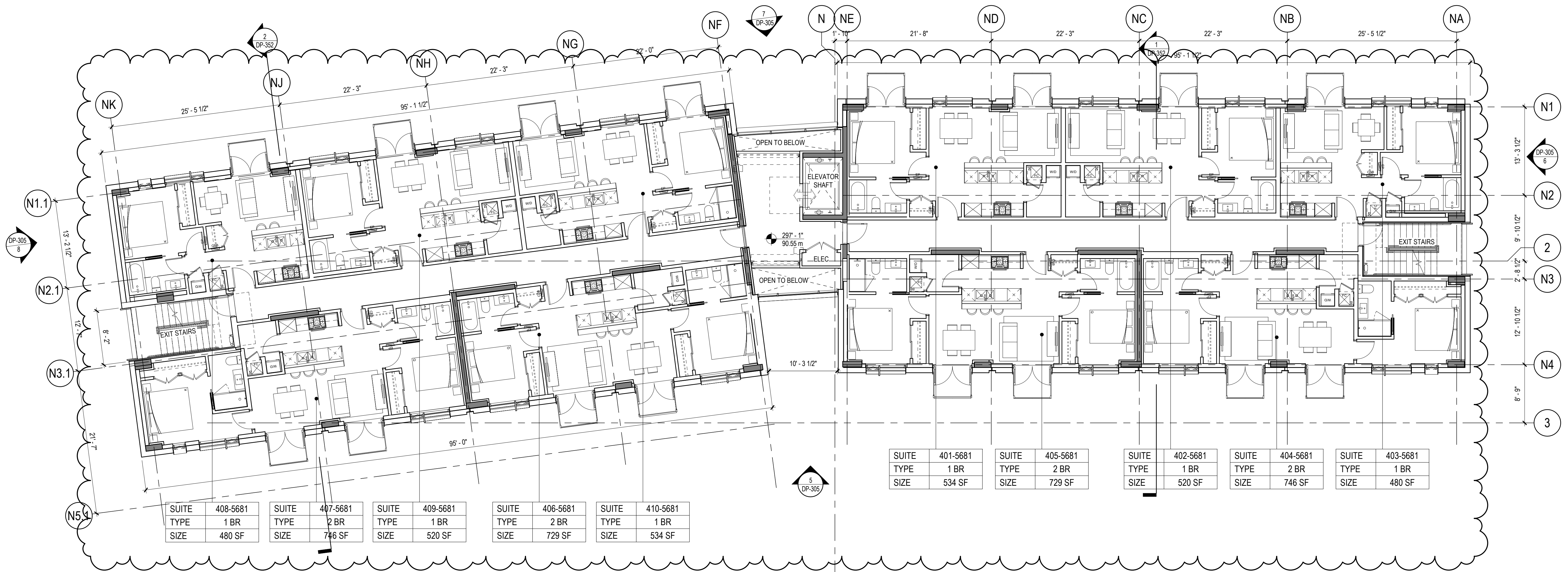


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

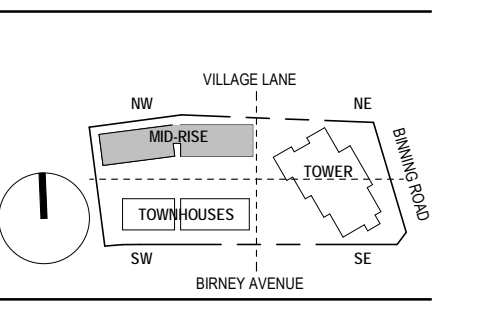
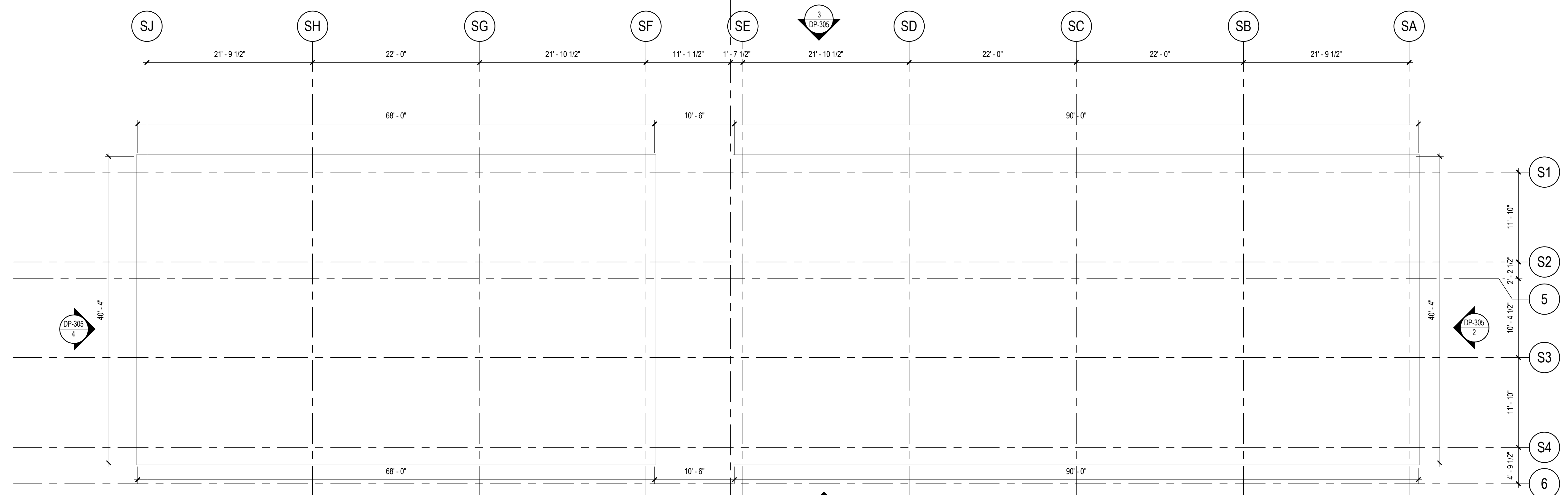
FLOOR PLAN - MID-RISE
& TOWNHOUSE - LEVEL
03

1 MIDRISE & TOWNHOUSE PLAN - LEVEL 03
1/8" = 1'-0"



SUITE	408-5681	SUITE	407-5681	SUITE	409-5681	SUITE	406-5681	SUITE	410-5681
TYPE	1 BR	TYPE	2 BR	TYPE	1 BR	TYPE	2 BR	TYPE	1 BR
SIZE	480 SF	SIZE	746 SF	SIZE	520 SF	SIZE	729 SF	SIZE	534 SF

SUITE	401-5681	SUITE	405-5681	SUITE	402-5681	SUITE	404-5681	SUITE	403-5681
TYPE	1 BR	TYPE	2 BR	TYPE	1 BR	TYPE	2 BR	TYPE	1 BR
SIZE	534 SF	SIZE	729 SF	SIZE	520 SF	SIZE	746 SF	SIZE	480 SF

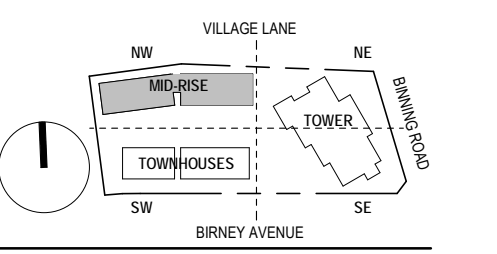
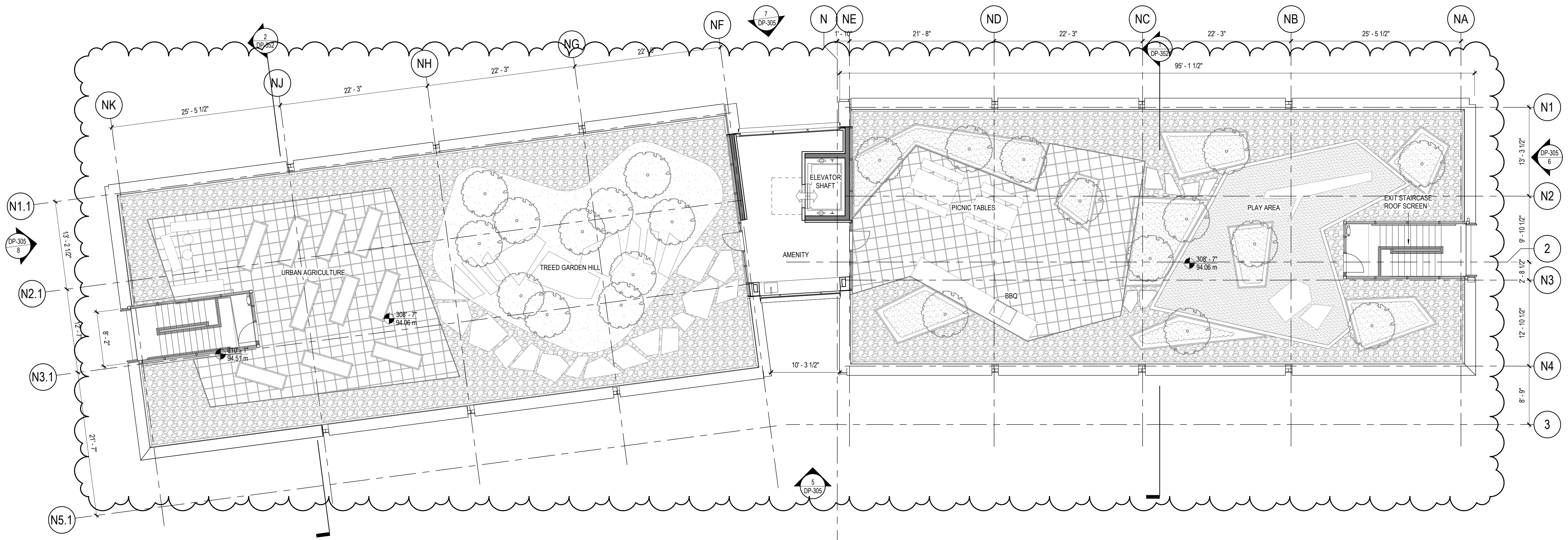


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

FLOOR PLAN - MID-RISE -
LEVEL 04

1 MIDRISE PLAN - LEVEL 04
1/8" = 1'-0"

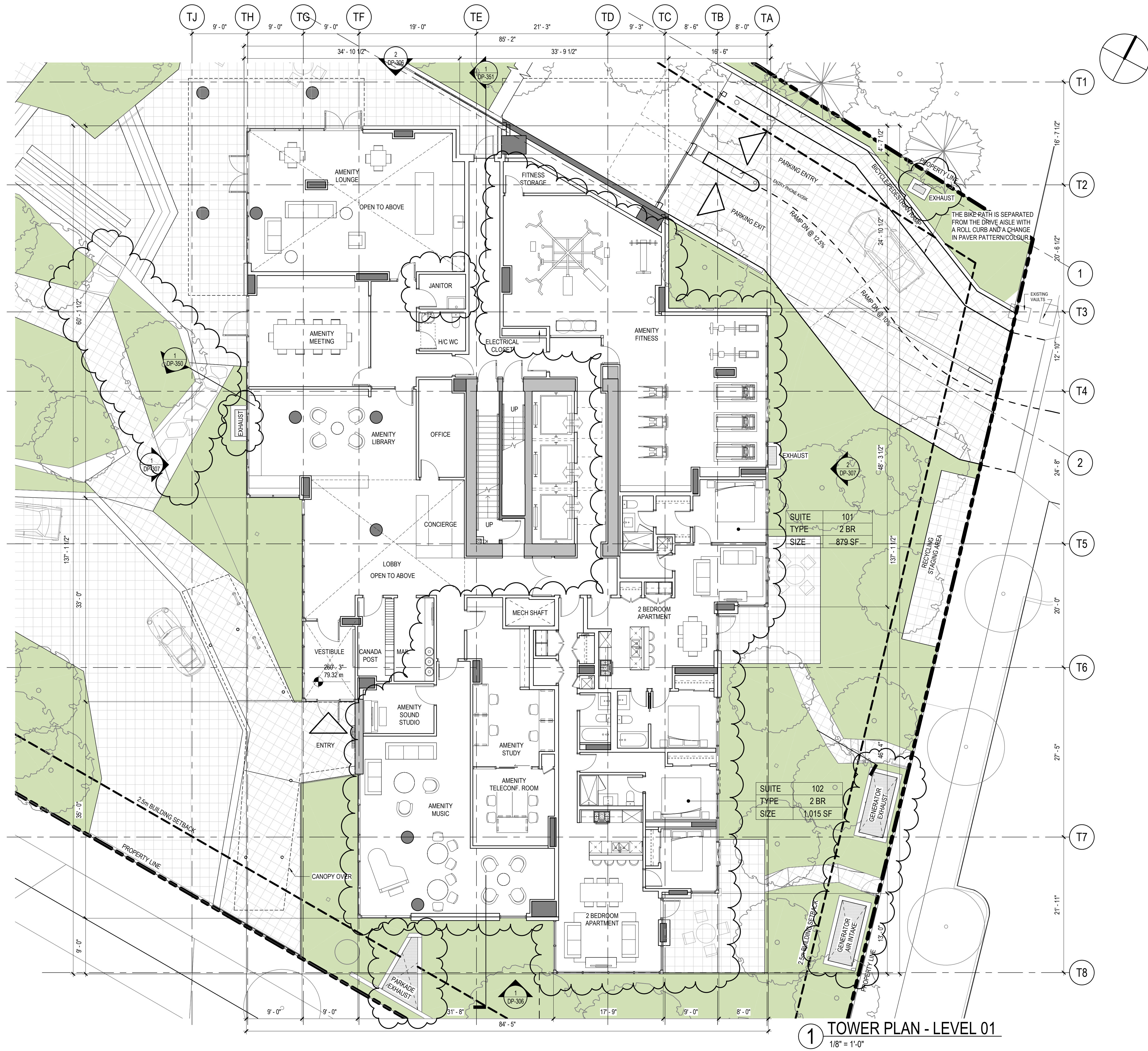


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

FLOOR PLAN - MID-RISE -
LEVEL 05

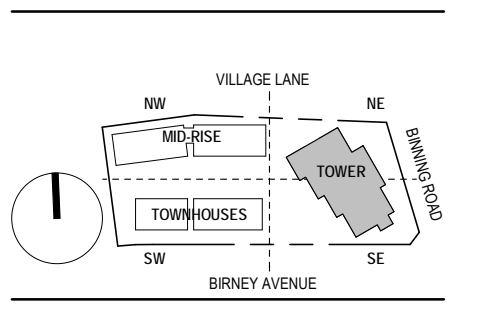
1 MIDRISE PLAN - LEVEL 05
1/8" = 1'-0"



SUITE	101
TYPE	2 BR
SIZE	879 SF

SUITE	102
TYPE	2 BR
SIZE	1,015 SF

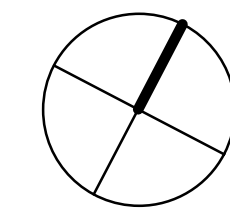
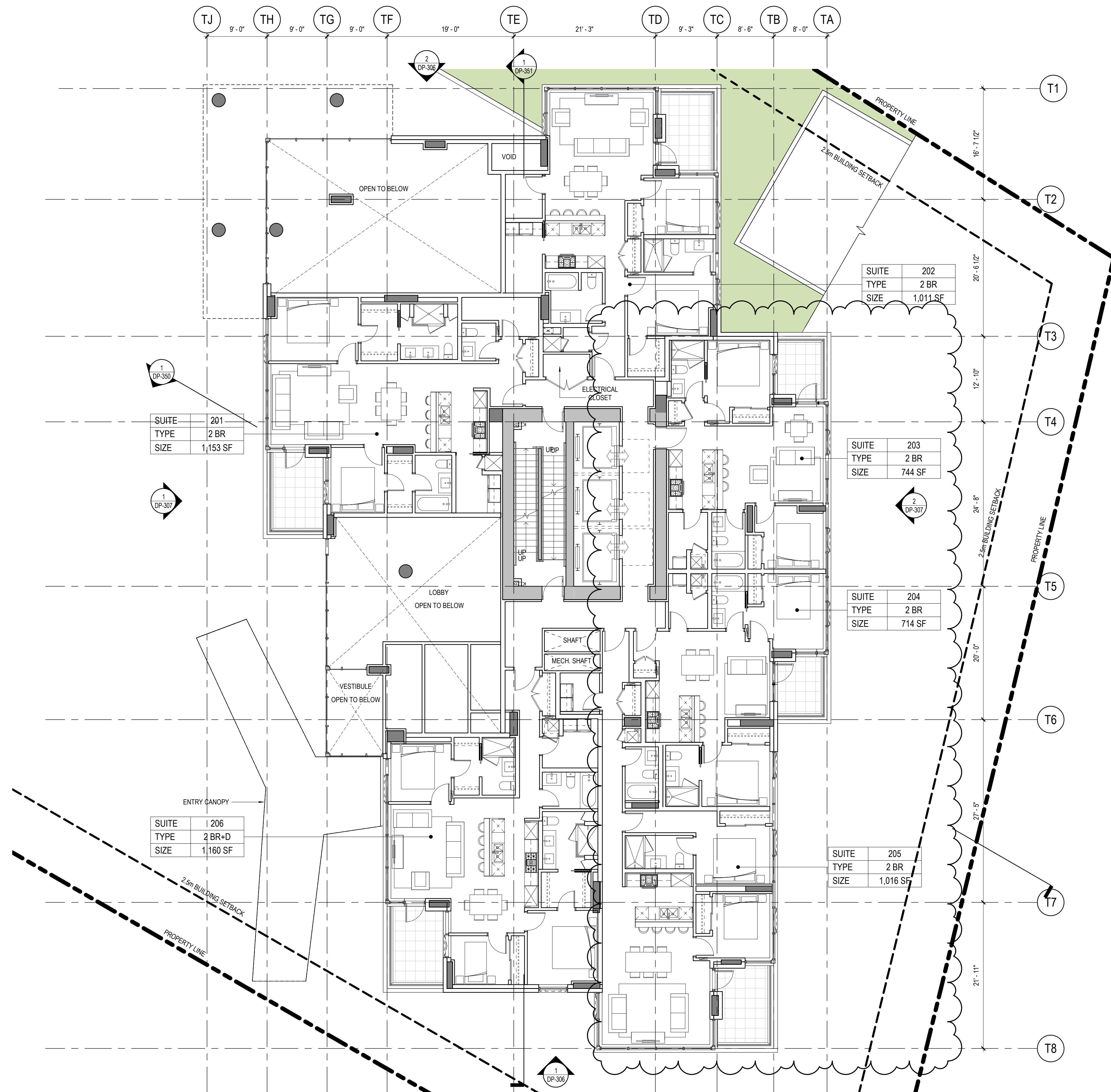
1 TOWER PLAN - LEVEL 01
1/8" = 1'-0"



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

FLOOR PLAN - TOWER -
LEVEL 01



SUITE	201
TYPE	2 BR
SIZE	1,153 SF

SUITE	202
TYPE	2 BR
SIZE	1,011 SF

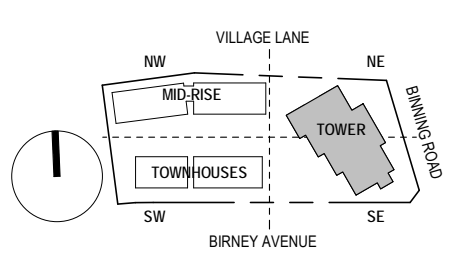
SUITE	203
TYPE	2 BR
SIZE	744 SF

SUITE	204
TYPE	2 BR
SIZE	714 SF

SUITE	206
TYPE	2 BR+D
SIZE	1,160 SF

SUITE	205
TYPE	2 BR
SIZE	1,016 SF

2 TOWER PLAN - LEVEL 02
1/8" = 1'-0"

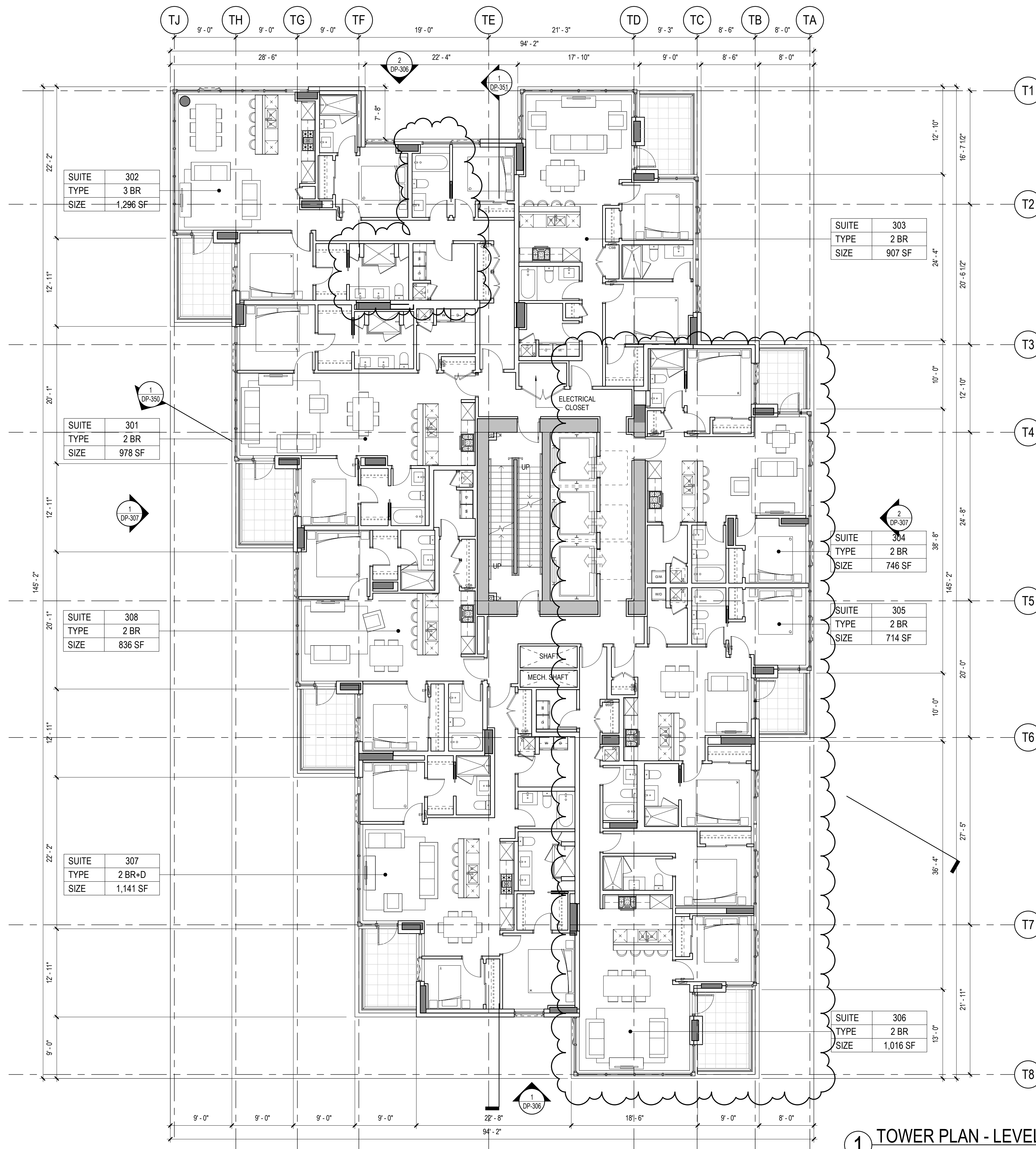
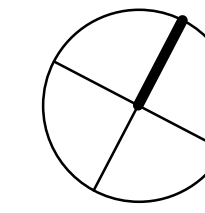


IVY ON THE PARK
LOT 8

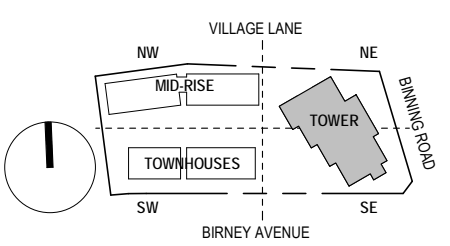
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

FLOOR PLAN - TOWER -
LEVEL 02

DP-122



1 TOWER PLAN - LEVEL 03-16
1/8" = 1'-0"

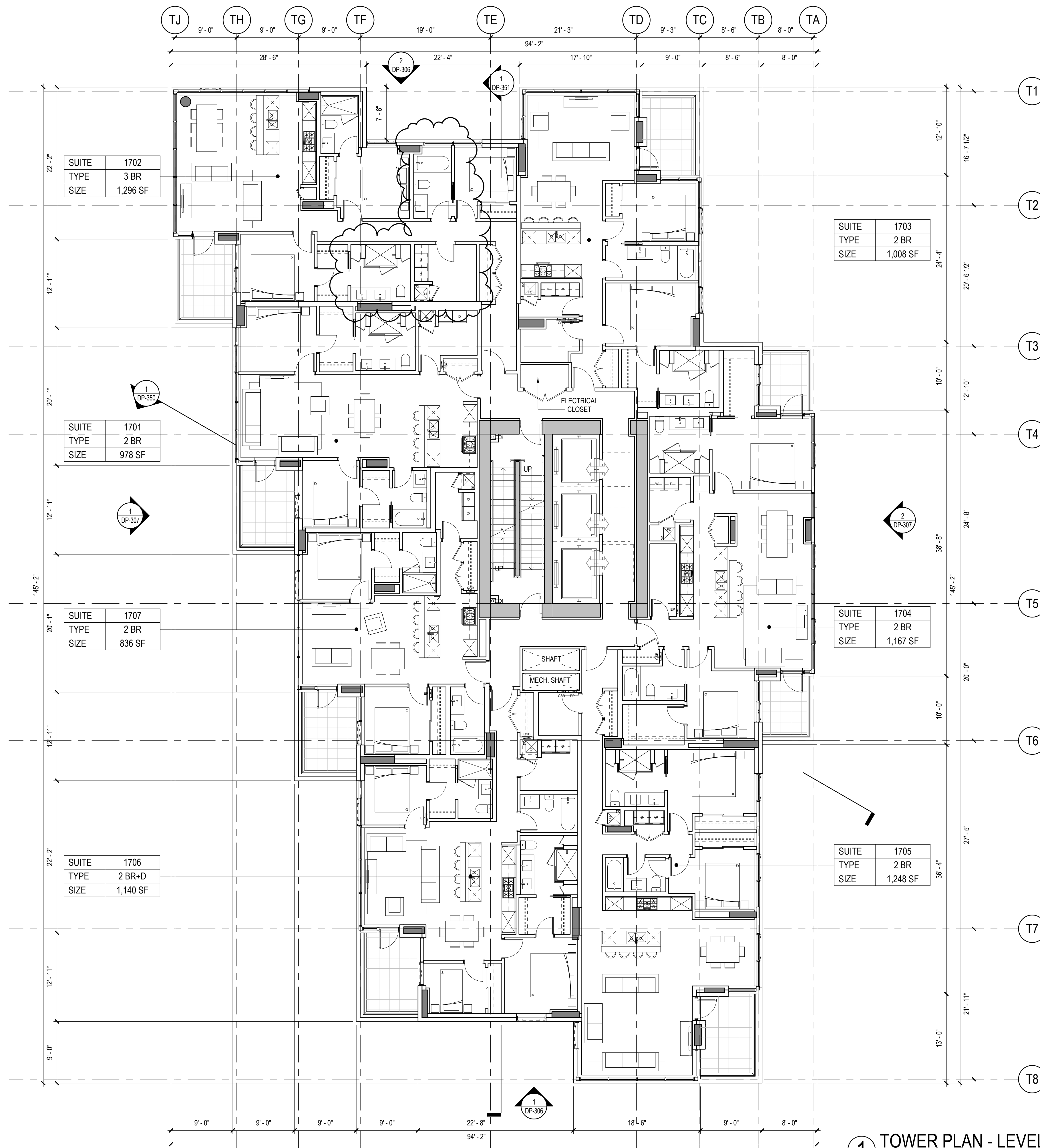
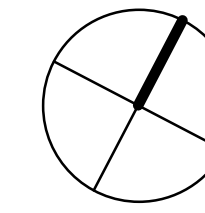


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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FLOOR PLAN - TOWER -
LEVELS 03-16

DP-123



SUITE	1702
TYPE	3 BR
SIZE	1,296 SF

SUITE	1703
TYPE	2 BR
SIZE	1,008 SF

SUITE	1701
TYPE	2 BR
SIZE	978 SF

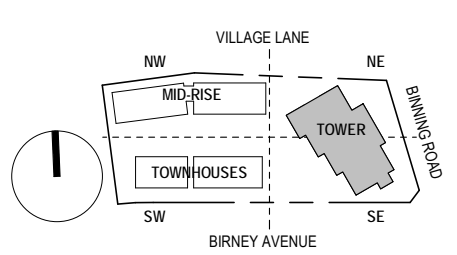
SUITE	1704
TYPE	2 BR
SIZE	1,167 SF

SUITE	1707
TYPE	2 BR
SIZE	836 SF

SUITE	1705
TYPE	2 BR
SIZE	1,248 SF

SUITE	1706
TYPE	2 BR+D
SIZE	1,140 SF

1 TOWER PLAN - LEVEL 17-21
1/8" = 1'-0"

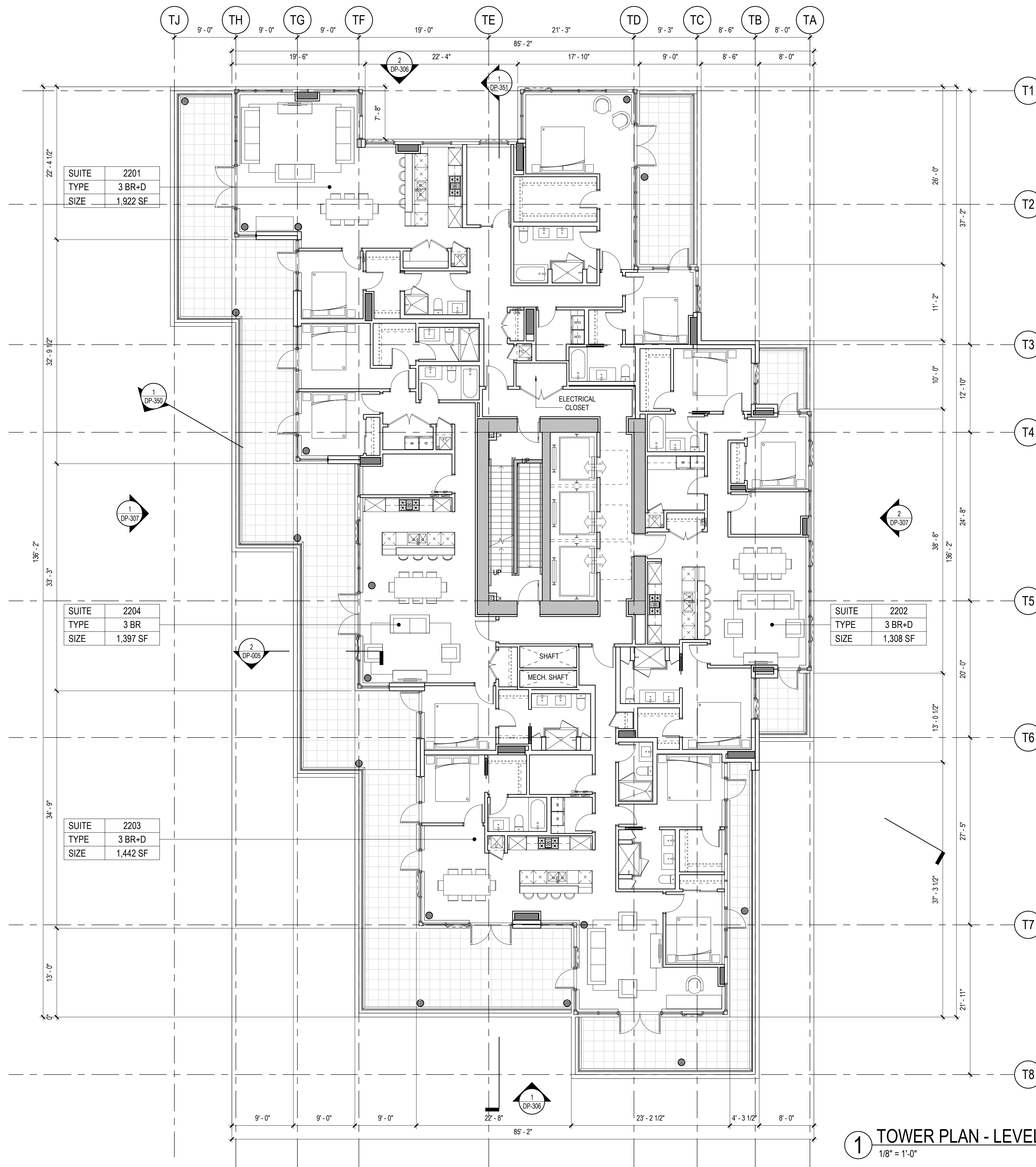
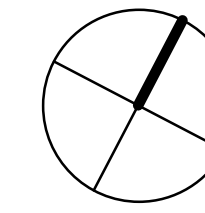


IVY ON THE PARK
LOT 8

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FLOOR PLAN - TOWER -
LEVELS 17-21

DP-124



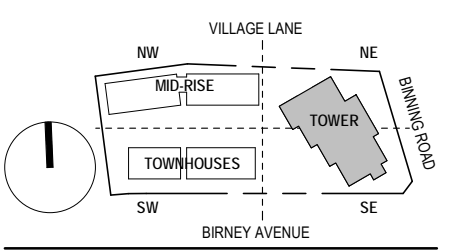
SUITE	2201
TYPE	3 BR+D
SIZE	1,922 SF

SUITE	2204
TYPE	3 BR
SIZE	1,397 SF

SUITE	2203
TYPE	3 BR+D
SIZE	1,442 SF

SUITE	2202
TYPE	3 BR+D
SIZE	1,308 SF

1 TOWER PLAN - LEVEL 22
1/8" = 1'-0"

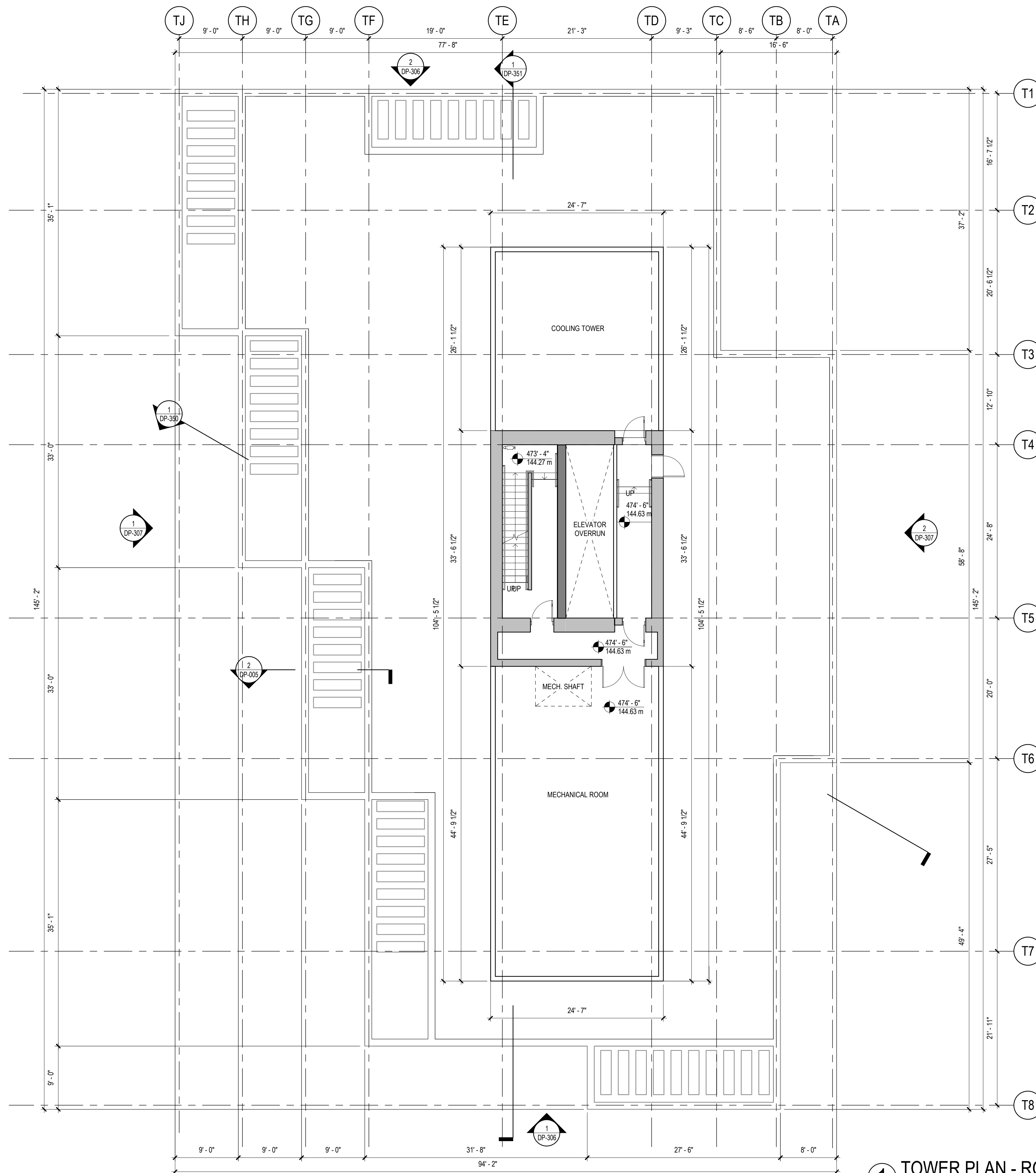
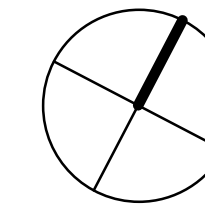


IVY ON THE PARK
LOT 8

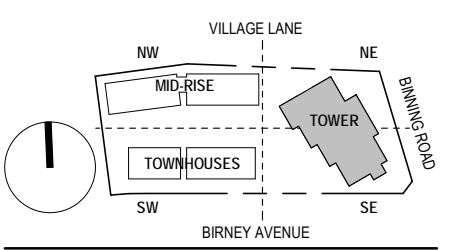
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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FLOOR PLAN - TOWER -
LEVEL 22

DP-125



1 TOWER PLAN - ROOF LEVEL
1/8" = 1'-0"

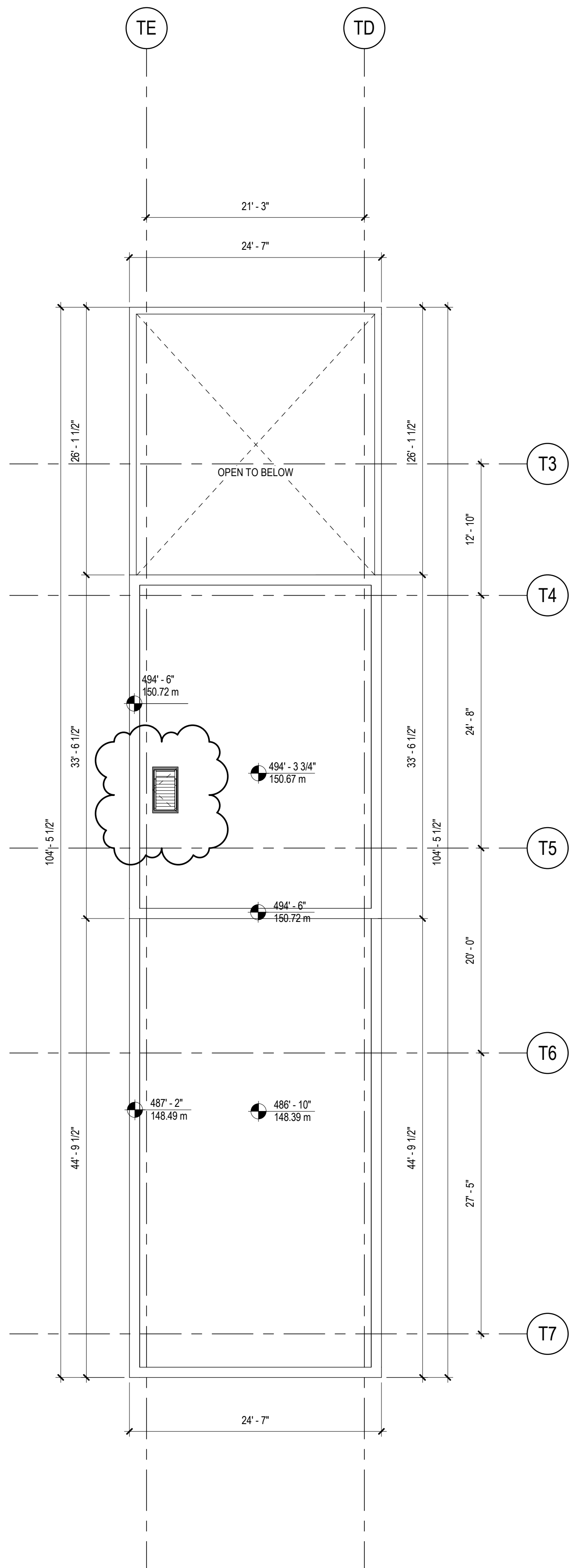
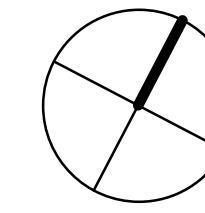


IVY ON THE PARK
LOT 8

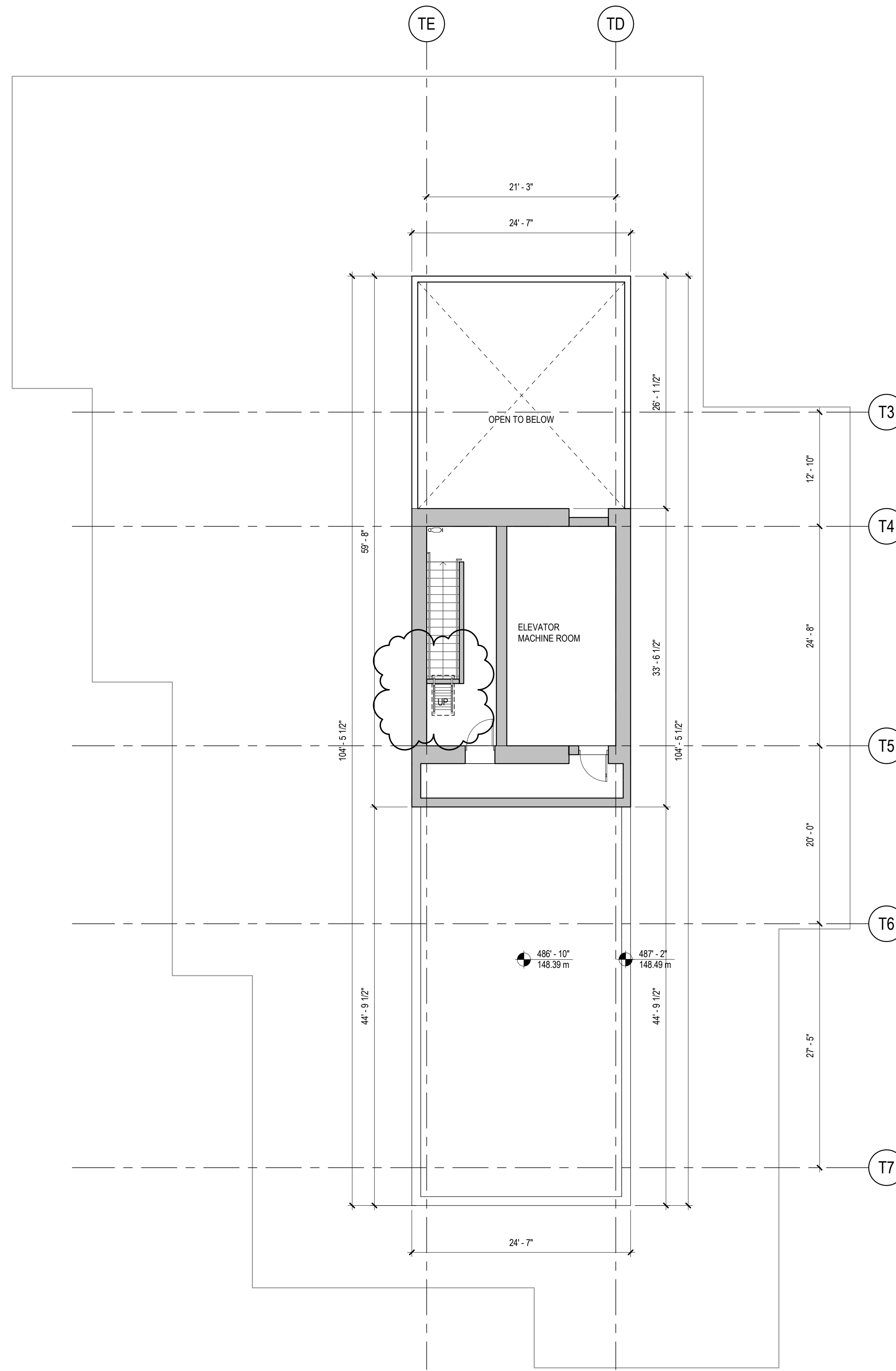
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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FLOOR PLAN - TOWER -
LEVEL ROOF

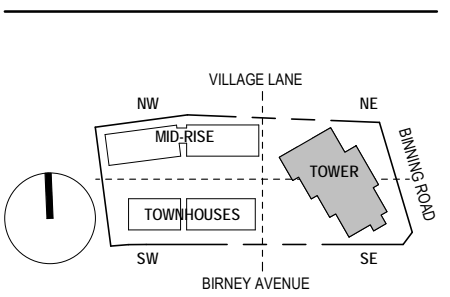
DP-126



2 TOWER PLAN - LEVEL ELEVATOR
MACHINE ROOM ROOF
1/8" = 1'-0"



1 TOWER PLAN - LEVEL ELEVATOR
MACHINE ROOM
1/8" = 1'-0"



IVY ON THE PARK
LOT 8

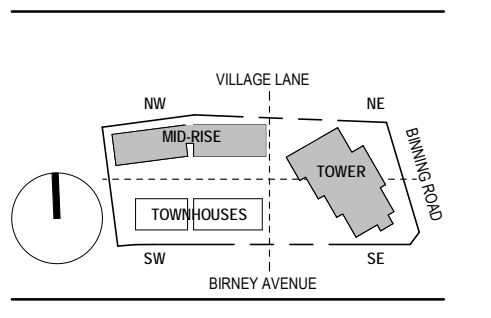
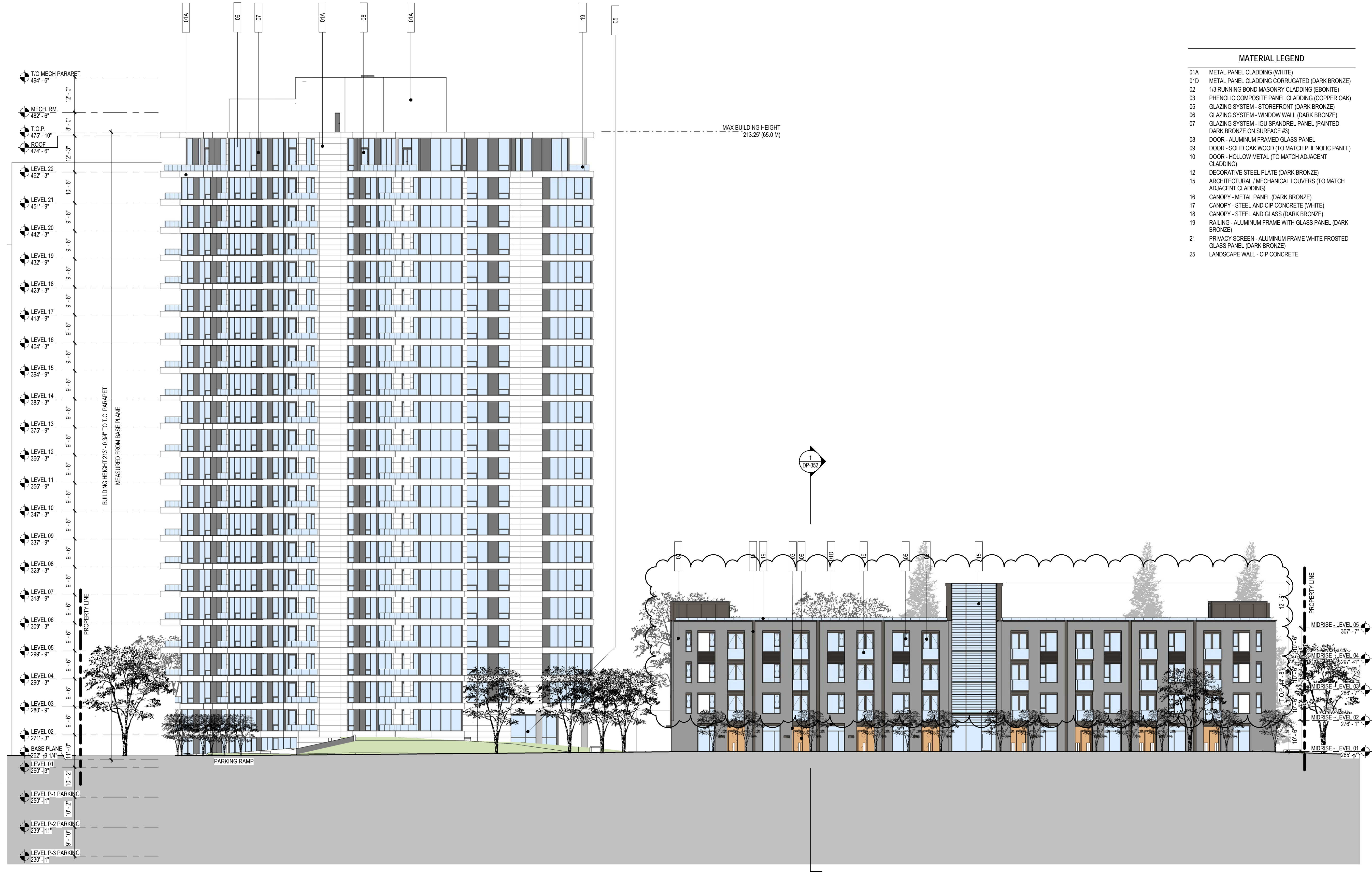
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- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
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FLOOR PLAN - TOWER -
LEVEL ELEV MACHINE
ROOM

DP-127

MATERIAL LEGEND

01A	METAL PANEL CLADDING (WHITE)
01D	METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
02	1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
03	PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
05	GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
06	GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
07	GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
08	DOOR - ALUMINUM FRAMED GLASS PANEL
09	DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL)
10	DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING)
12	DECORATIVE STEEL PLATE (DARK BRONZE)
15	ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING)
16	CANOPY - METAL PANEL (DARK BRONZE)
17	CANOPY - STEEL AND CIP CONCRETE (WHITE)
18	CANOPY - STEEL AND GLASS (DARK BRONZE)
19	RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
21	PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
25	LANDSCAPE WALL - CIP CONCRETE



IVY ON THE PARK
LOT 8

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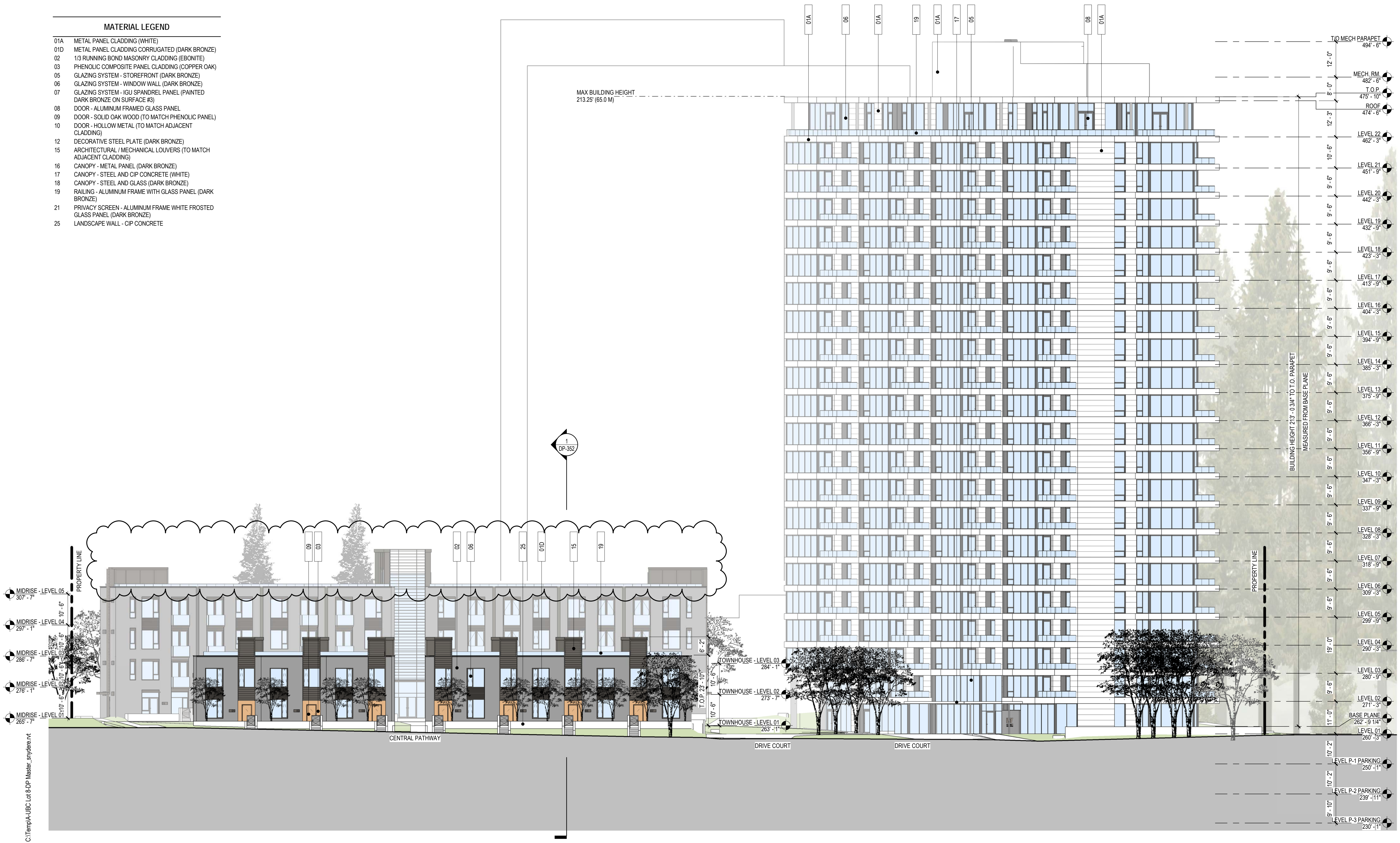
NORTH ELEVATION

1 NORTH ELEVATION
1/16" = 1'-0"

DP-301

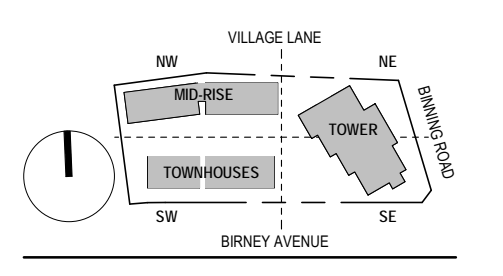
MATERIAL LEGEND

- 01A METAL PANEL CLADDING (WHITE)
- 01D METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
- 02 1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
- 03 PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
- 05 GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
- 06 GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- 07 GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
- 08 DOOR - ALUMINUM FRAMED GLASS PANEL
- 09 DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL)
- 10 DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING)
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- 15 ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING)
- 16 CANOPY - METAL PANEL (DARK BRONZE)
- 17 CANOPY - STEEL AND CIP CONCRETE (WHITE)
- 18 CANOPY - STEEL AND GLASS (DARK BRONZE)
- 19 RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- 21 PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
- 25 LANDSCAPE WALL - CIP CONCRETE



MAX BUILDING HEIGHT
213.25' (65.0 M)

BUILDING HEIGHT 213'-0.34" TO T.O. PARAPET
MEASURED FROM BASE PLANE



IVY ON THE PARK
LOT 8

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SOUTH ELEVATION

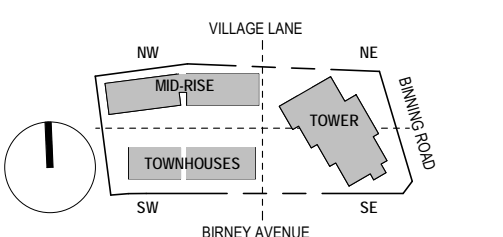
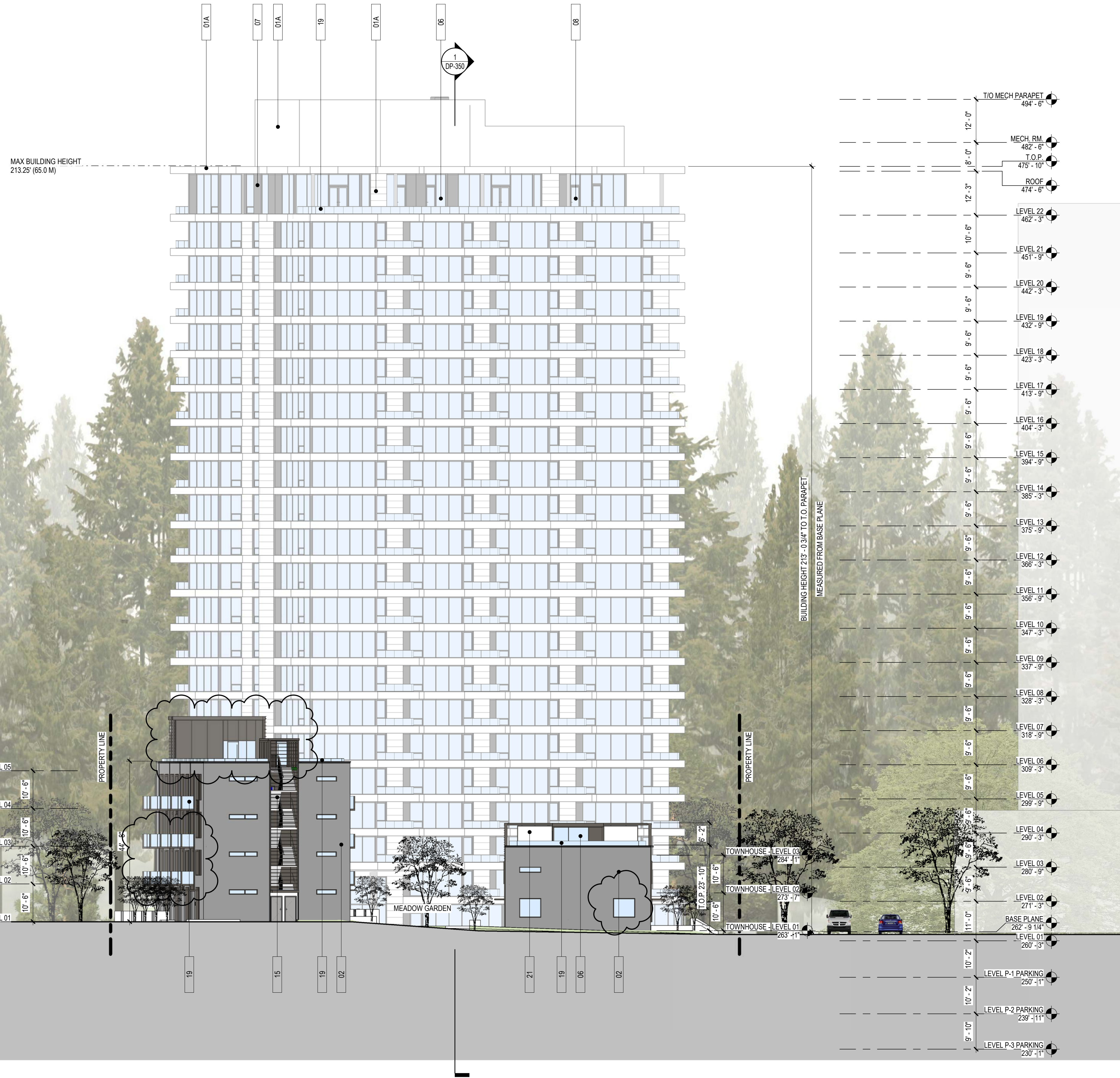
1 SOUTH ELEVATION
1/16" = 1'-0"

DP-302

C:\Temp\A-UBC Lot 8\DP Master_smydare.rvt

6/8/2018 11:29:47 AM

MATERIAL LEGEND	
01A	METAL PANEL CLADDING (WHITE)
01D	METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
02	1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
03	PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
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18	CANOPY - STEEL AND GLASS (DARK BRONZE)
19	RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
21	PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
25	LANDSCAPE WALL - CIP CONCRETE



IVY ON THE PARK
LOT 8

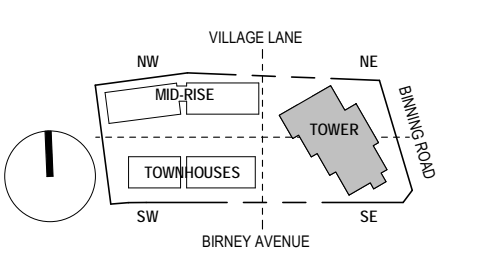
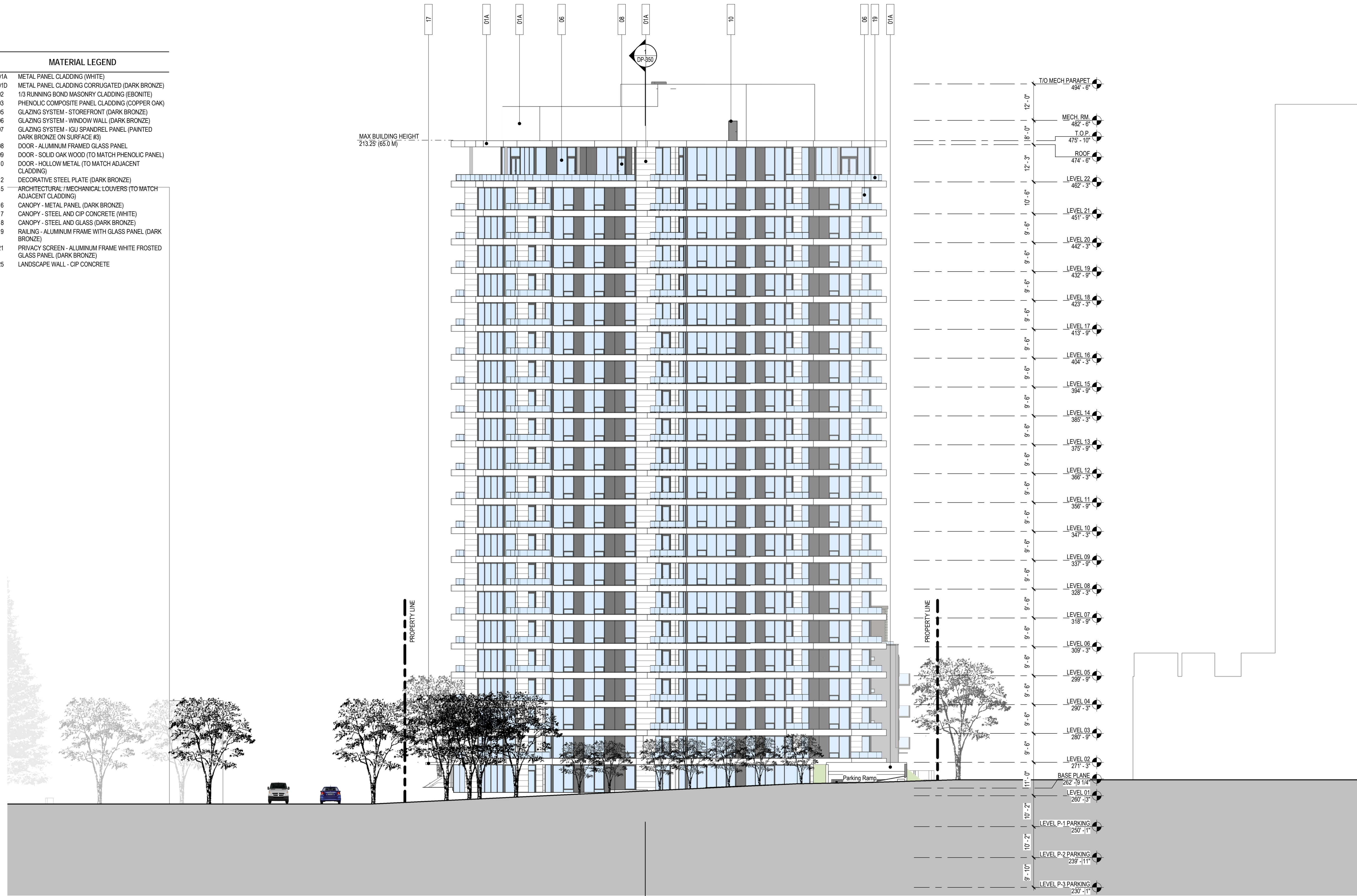
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 5 DP AMENDMENT SUBMISSION 2018-05-24

WEST ELEVATION

DP-303

1 WEST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND	
01A	METAL PANEL CLADDING (WHITE)
01D	METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
02	1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
03	PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
05	GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
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10	DOOR - HOLLOW METAL (TO MATCH ADJACENT CLADDING)
12	DECORATIVE STEEL PLATE (DARK BRONZE)
15	ARCHITECTURAL / MECHANICAL LOUVERS (TO MATCH ADJACENT CLADDING)
16	CANOPY - METAL PANEL (DARK BRONZE)
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18	CANOPY - STEEL AND GLASS (DARK BRONZE)
19	RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
21	PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
25	LANDSCAPE WALL - CIP CONCRETE



IVY ON THE PARK
LOT 8

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EAST ELEVATION

DP-304

1 EAST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

- 01A METAL PANEL CLADDING (WHITE)
- 01D METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
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- 03 PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
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- 21 PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
- 25 LANDSCAPE WALL - CIP CONCRETE

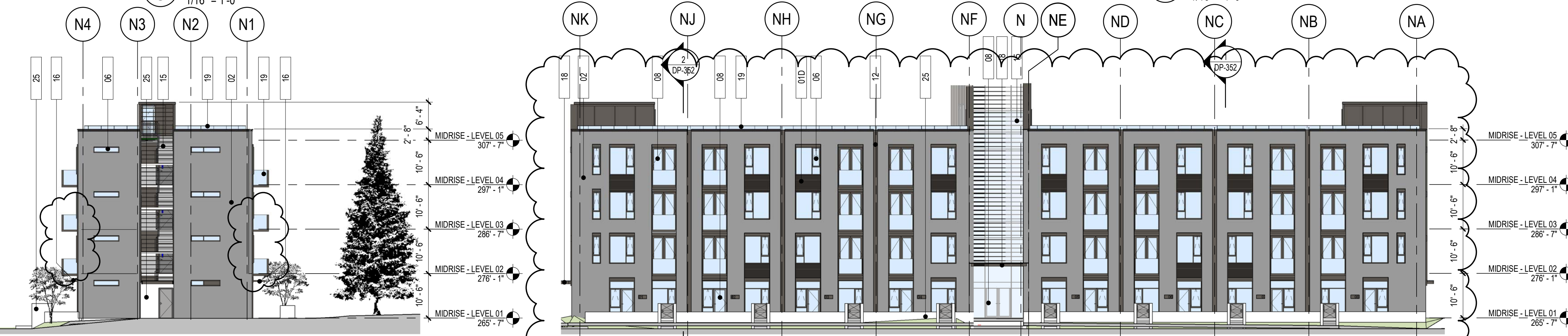


8 MID-RISE WEST ELEVATION
1/16" = 1'-0"

7 MID-RISE NORTH ELEVATION
1/16" = 1'-0"

6 MID-RISE EAST ELEVATION
1/16" = 1'-0"

5 MID-RISE SOUTH ELEVATION
1/16" = 1'-0"

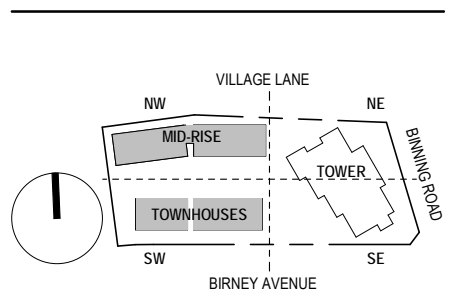


4 TOWNHOUSE WEST ELEVATION
1/16" = 1'-0"

3 TOWNHOUSE NORTH ELEVATION
1/16" = 1'-0"

2 TOWNHOUSE EAST ELEVATION
1/16" = 1'-0"

1 TOWNHOUSE SOUTH ELEVATION
1/16" = 1'-0"

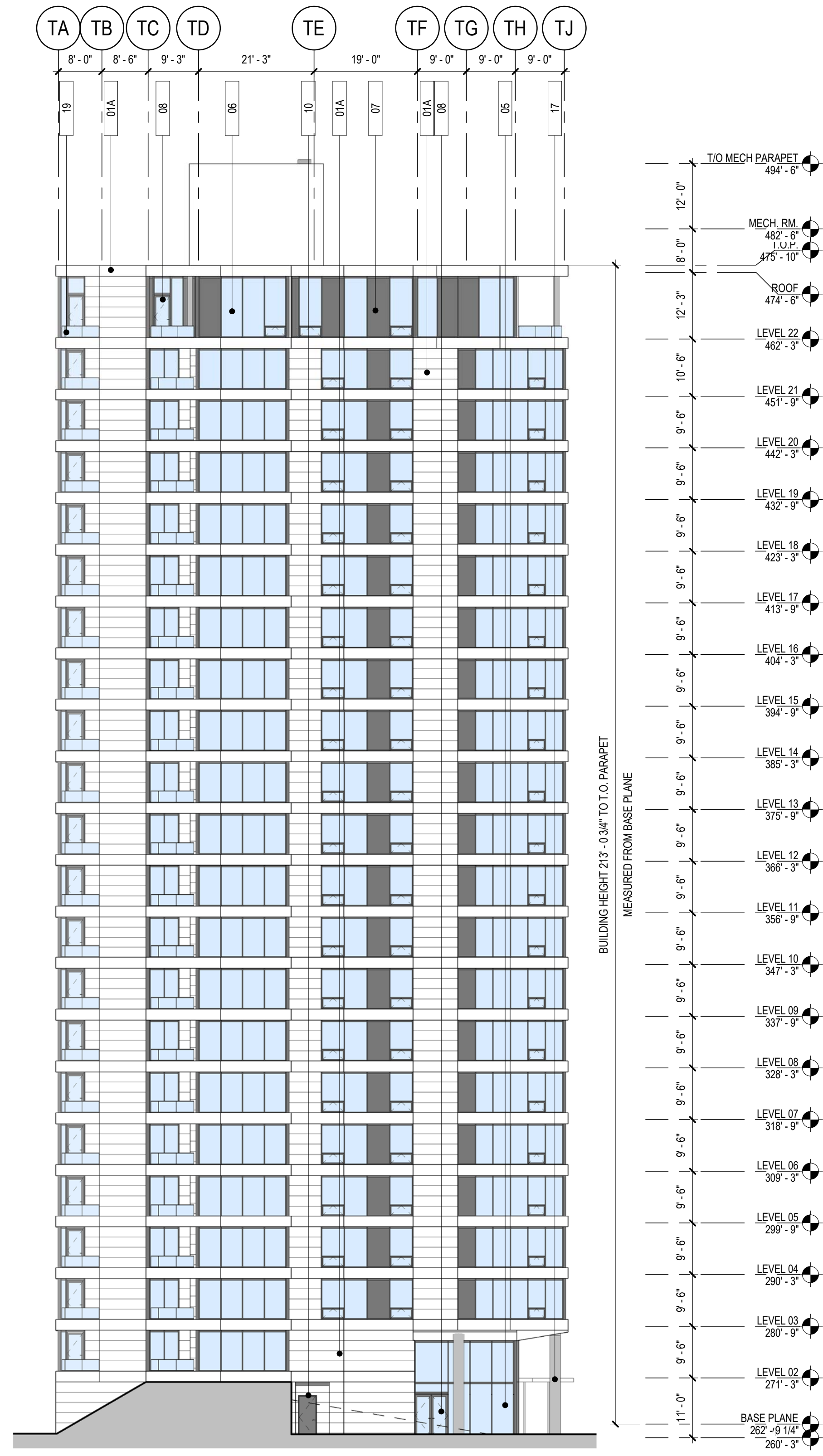


IVY ON THE PARK
LOT 8

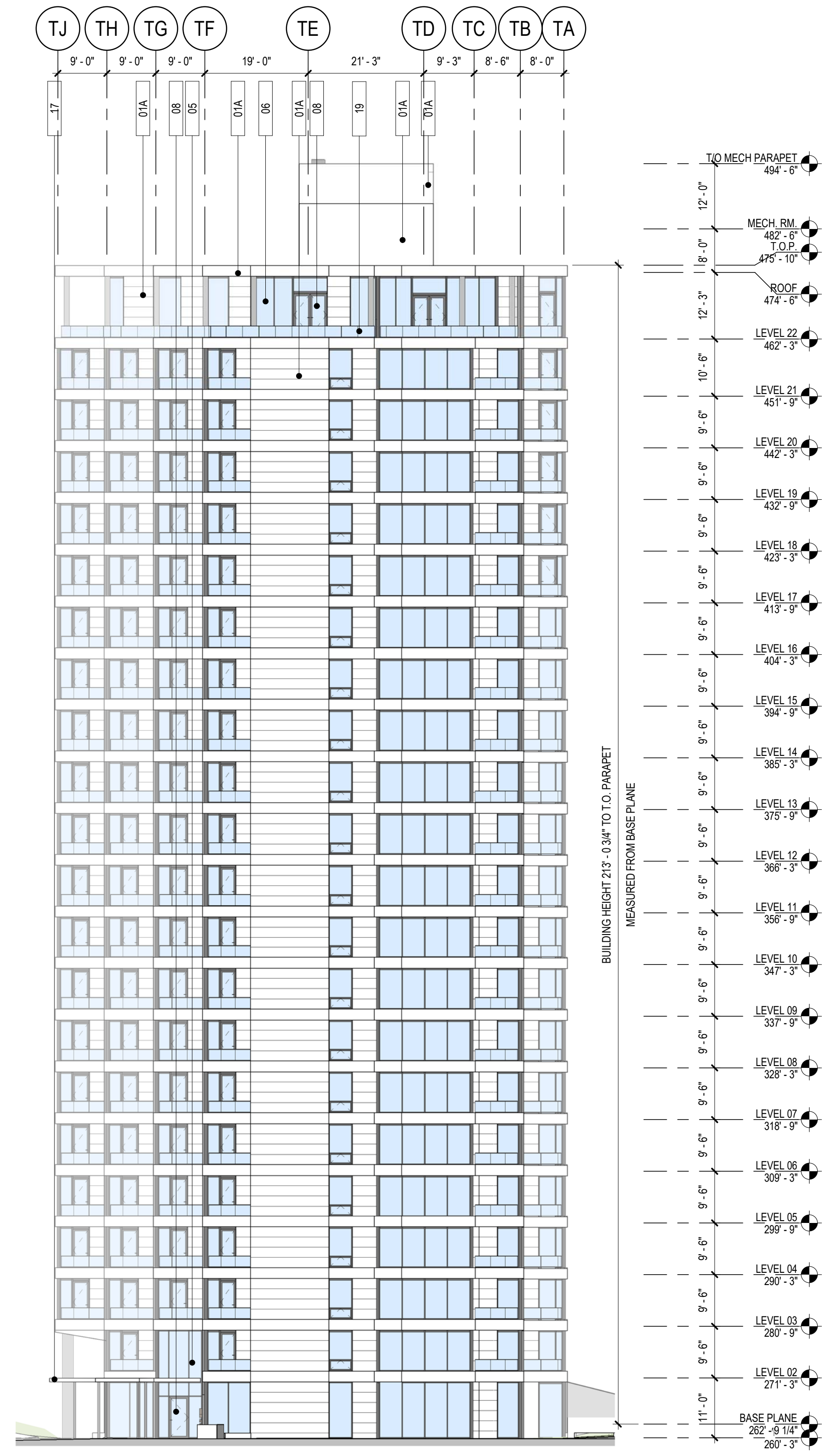
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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MID-RISE & TOWNHOUSE
ELEVATIONS

DP-305



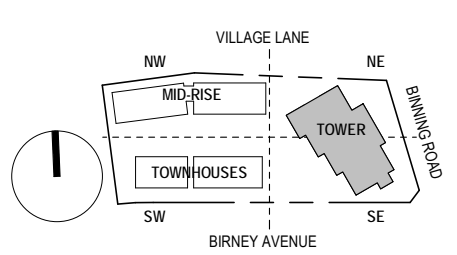
② TOWER NORTH ELEVATION
1/16" = 1'-0"



① TOWER SOUTH ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

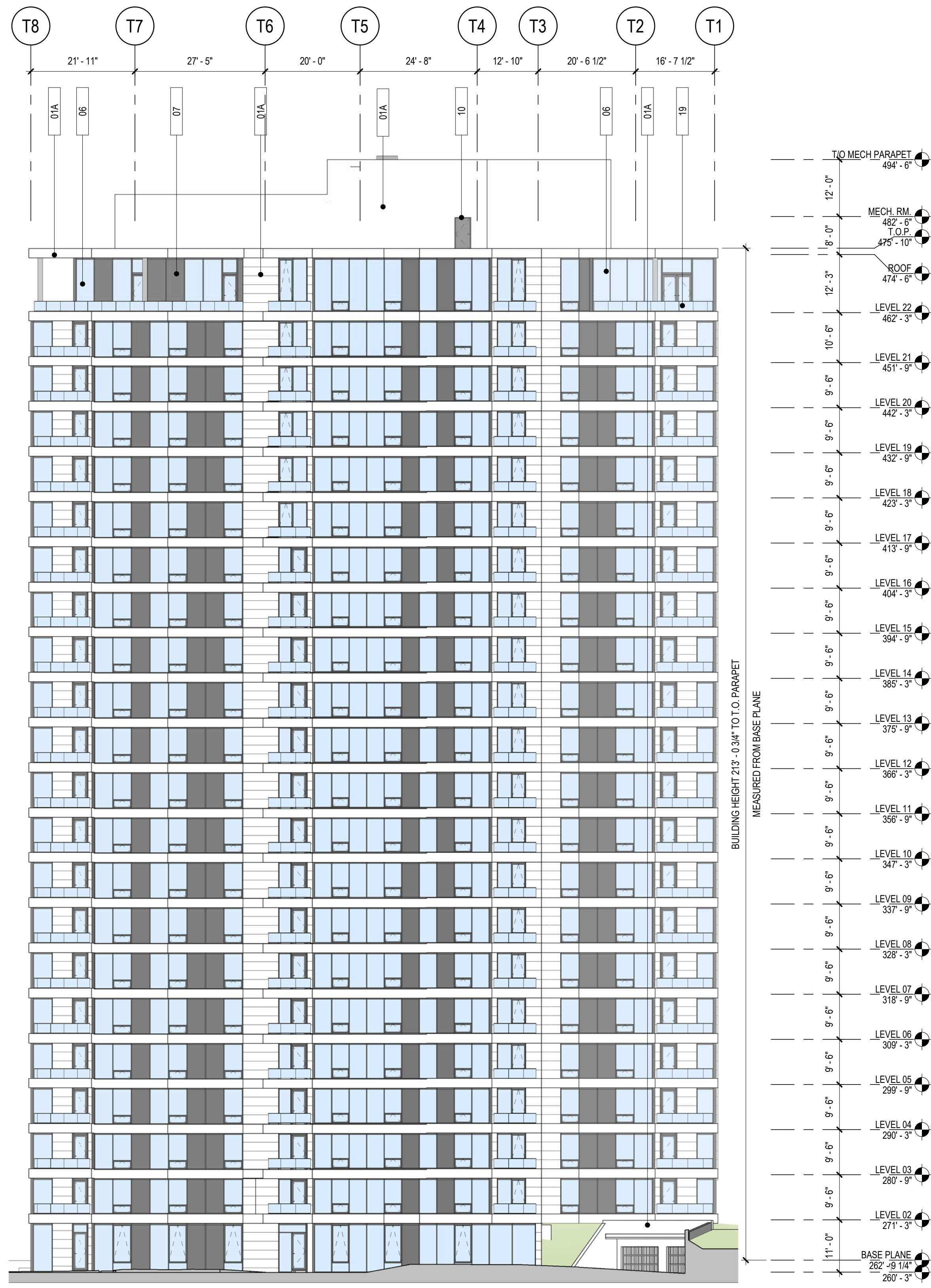
- 01A METAL PANEL CLADDING (WHITE)
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- 25 LANDSCAPE WALL - CIP CONCRETE



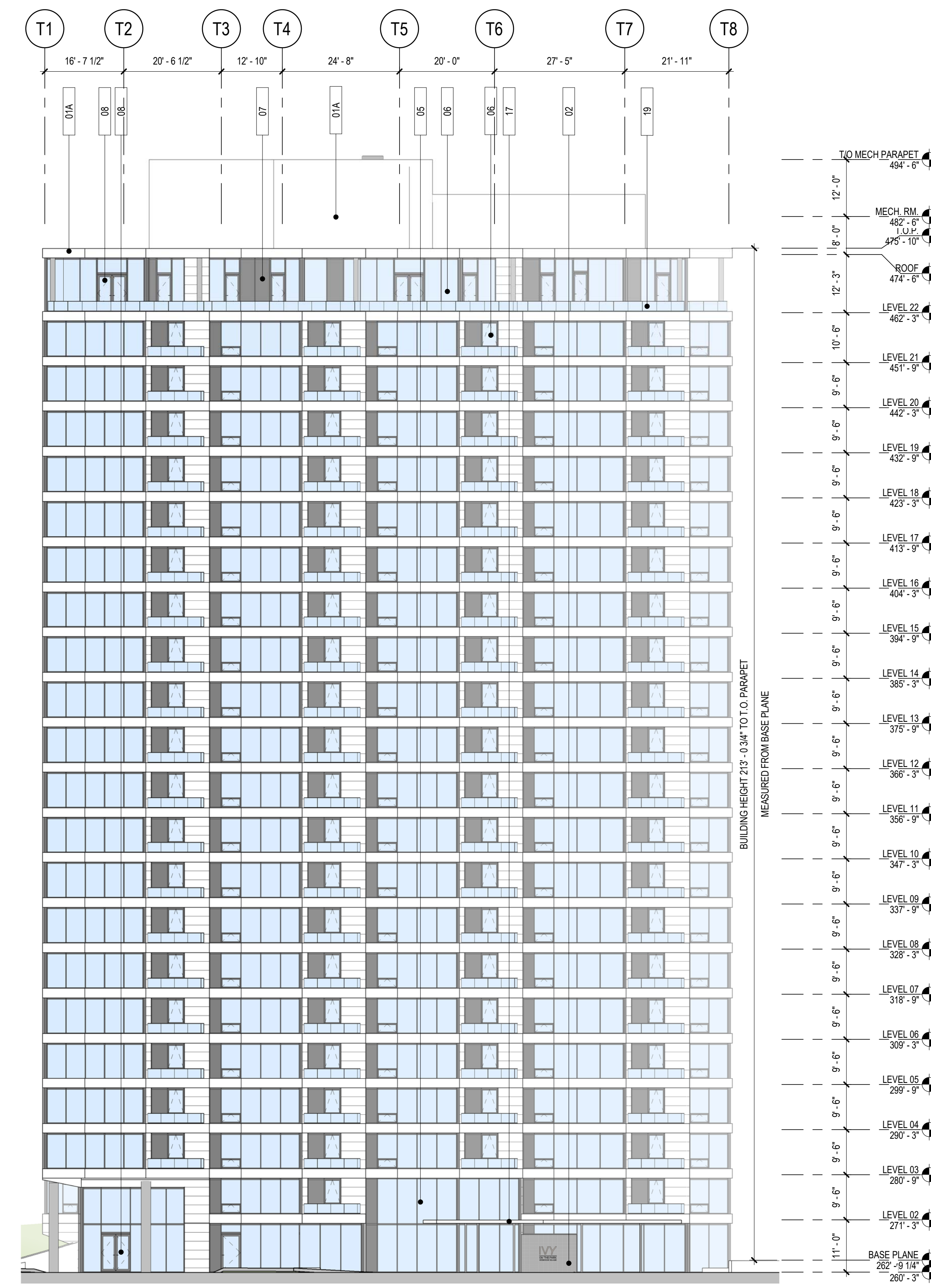
IVY ON THE PARK
LOT 8

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TOWER NORTH & SOUTH ELEVATIONS



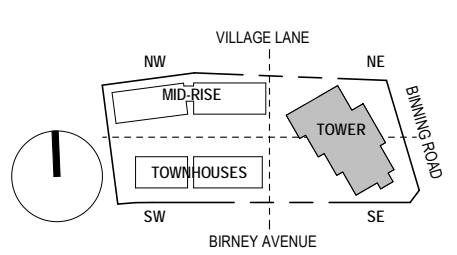
2 TOWER EAST ELEVATION
1/16" = 1'-0"



1 TOWER WEST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

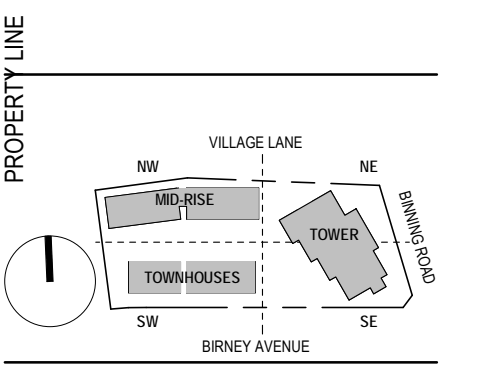
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IVY ON THE PARK
LOT 8

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TOWER WEST & EAST
ELEVATIONS



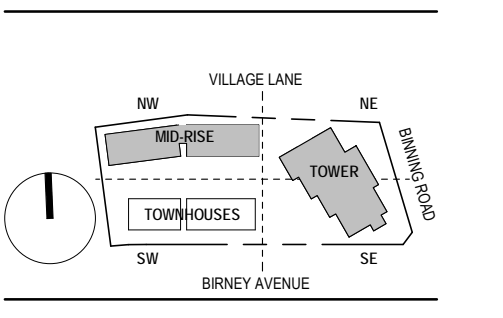
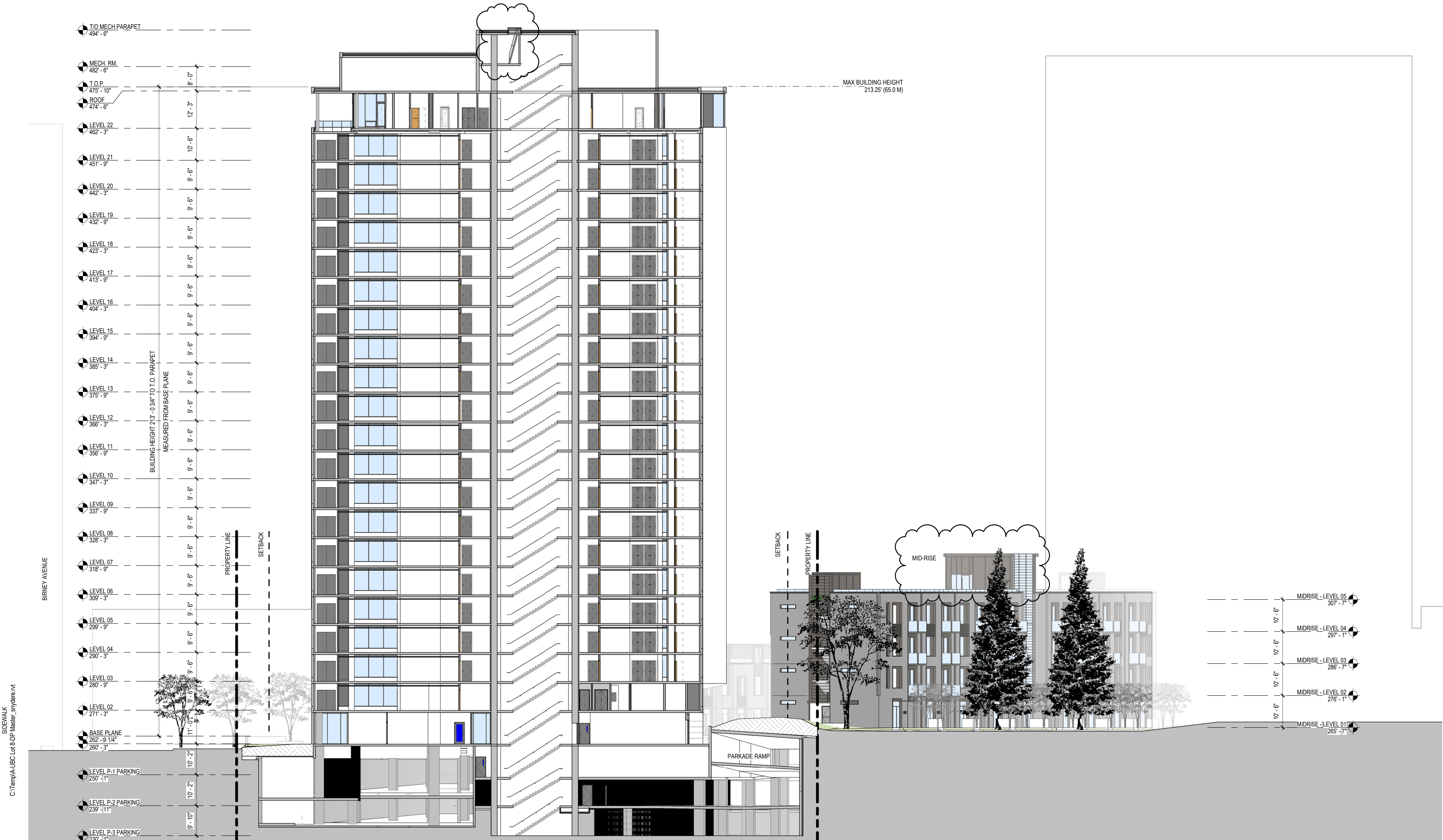
IVY ON THE PARK
LOT 8

1. PRE-OP APPLICATION SUBMISSION 2017-12-06
2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
4. PRICING SET 2018-03-29
5. DP AMENDMENT SUBMISSION 2018-05-24

BUILDING SECTIONS

1 TWR / TH SECTION - EAST / WEST
1/16" = 1'-0"

DP-350



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

BUILDING SECTIONS

1 TOWER SECTION - NW / SE
1/16" = 1'-0"

DP-351

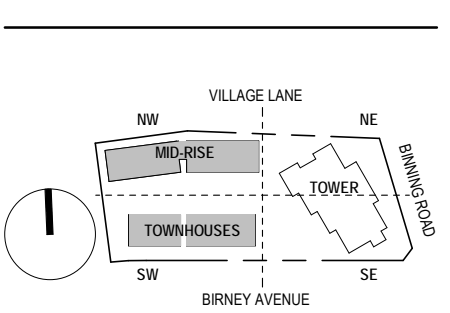
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2 TOWNHOUSE/MID-RISE SECTION B - NORTH / SOUTH
1/16" = 1'-0"



1 TOWNHOUSE/MIDRISE SECTION A / C - NORTH / SOUTH
1/16" = 1'-0"

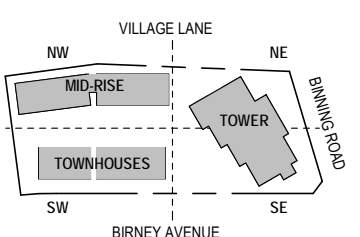


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

BUILDING SECTIONS

DP-352



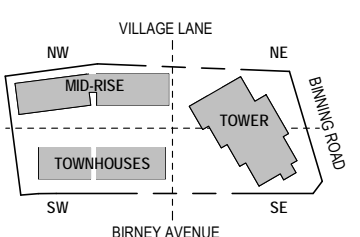
IVY ON THE PARK
LOT 8

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- 5 DP AMENDMENT SUBMISSION 2018-05-24

PERSPECTIVE VIEW

① AERIAL VIEW - LOOKING EAST
NOT TO SCALE

DP-401



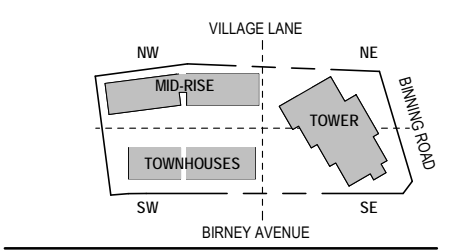
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

PERSPECTIVE VIEW

1 STREET VIEW - BIRNEY AVENUE LOOKING EAST
NOT TO SCALE

DP-402



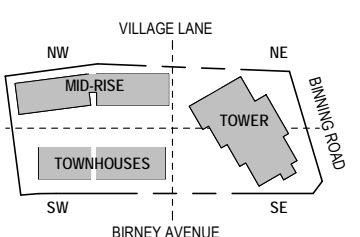
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

PERSPECTIVE VIEW

1 STREET VIEW - VILLAGE WALK LOOKING SOUTH/EAST
NOT TO SCALE

DP-403



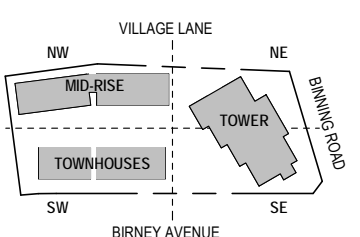
IVY ON THE PARK
LOT 8

1	PRE-OP APPLICATION SUBMISSION	2017-12-06
2	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
3	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
4	PRICING SET	2018-03-29
5	DP AMENDMENT SUBMISSION	2018-05-24

PERSPECTIVE VIEW

1 STREET VIEW - BINNING ROAD LOOKING SOUTHWEST
NOT TO SCALE

DP-404

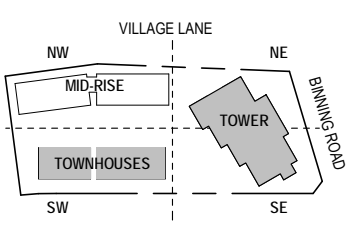


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
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- 5 DP AMENDMENT SUBMISSION 2018-05-24

PERSPECTIVE VIEW

1 STREET VIEW - CLOSE-UP OF DROP-OFF AREA
NOT TO SCALE



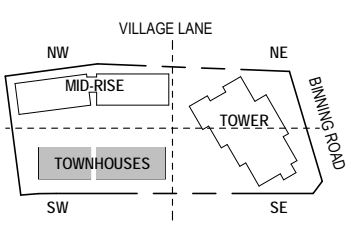
IVY ON THE PARK
LOT 8

1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

PERSPECTIVE VIEW

① STREET VIEW - BINNING ROAD LOOKING NORTH
NOT TO SCALE

DP-406



IVY ON THE PARK
LOT 8

1	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
2	PRICING SET	2018-03-29
3	DP AMENDMENT SUBMISSION	2018-05-24

PERSPECTIVE VIEW

① STREET VIEW - TOWNHOMES ALONG BIRNEY
NOT TO SCALE

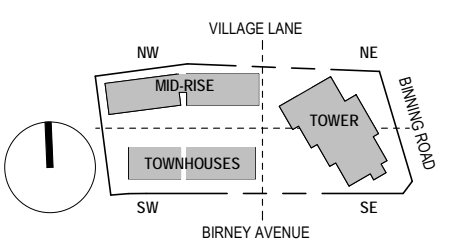
DP-407

FSR CALCULATIONS

RESIDENTIAL							
LEVEL	RESIDENTIAL GFA	EXCLUSIONS				RESIDENTIAL FSR	RESIDENTIAL OPEN BALCONY
		AMENITY R EXCLUSION	STORAGE R EXCLUSION	MECHANICAL R EXCLUSION	ELECTRICAL R EXCLUSION		
LEVEL 01	8869.86 SF	4401.47 SF	50.65 SF	45.34 SF	9.53 SF	4162.87 SF	0.00 SF
MIDRISE & TOWNHOUSE - LEVEL 01	13049.51 SF	0.00 SF	481.64 SF	78.00 SF	2.66 SF	12487.21 SF	0.00 SF
LEVEL 02	7048.27 SF	0.00 SF	217.81 SF	86.24 SF	24.37 SF	6719.85 SF	613.83 SF
MIDRISE & TOWNHOUSE - LEVEL 02	13364.30 SF	0.00 SF	234.87 SF	90.84 SF	11.67 SF	13026.93 SF	402.33 SF
LEVEL 03	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
MIDRISE & TOWNHOUSE - LEVEL 03	8168.91 SF	0.00 SF	234.87 SF	51.17 SF	11.67 SF	7871.22 SF	402.33 SF
LEVEL 04	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
MIDRISE - LEVEL 04	7363.86 SF	0.00 SF	234.87 SF	51.17 SF	11.67 SF	7086.16 SF	402.33 SF
LEVEL 05	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
MIDRISE - LEVEL 05	385.44 SF	385.44 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF
LEVEL 06	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 07	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 08	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 09	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 10	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 11	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 12	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 13	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 14	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 15	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 16	8974.84 SF	0.00 SF	297.82 SF	92.78 SF	24.79 SF	8559.44 SF	842.45 SF
LEVEL 17	8974.82 SF	0.00 SF	276.74 SF	90.68 SF	24.37 SF	8583.03 SF	842.44 SF
LEVEL 18	8974.82 SF	0.00 SF	276.74 SF	90.68 SF	24.37 SF	8583.03 SF	842.44 SF
LEVEL 19	8974.82 SF	0.00 SF	276.74 SF	90.68 SF	24.37 SF	8583.03 SF	842.44 SF
LEVEL 20	8974.82 SF	0.00 SF	276.74 SF	90.68 SF	24.37 SF	8583.03 SF	842.44 SF
LEVEL 21	8974.82 SF	0.00 SF	276.74 SF	90.68 SF	24.37 SF	8583.03 SF	842.44 SF
LEVEL 22	7177.88 SF	0.00 SF	157.94 SF	77.46 SF	26.08 SF	6915.70 SF	2630.52 SF
TOTAL	235769.87 SF	4786.92 SF	7165.77 SF	2232.60 SF	566.42 SF	221017.38 SF	29466.00 SF

FSR SUMMARY

FSR AREA			
PERMITTED		PROVIDED	
FSR		FSR	
RESIDENTIAL	221025.00 SF	RESIDENTIAL	208721.89 SF
		RESIDENTIAL - TOWNHOUSE	12295.48 SF
		TOTAL	221017.38 SF



IVY ON THE PARK
LOT 8

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FSR SUMMARY SHEET

FSR-001



RESIDENTIAL AREA SUMMARY - TH LEVEL 01	
RESIDENTIAL - TOWNHOUSE	5569.65 SF
MECHANICAL	38.30 SF
STORAGE	219.88 SF
TOTAL GROSS FLOOR AREA	5827.83 SF

RESIDENTIAL AREA SUMMARY - MIDRISE LEVEL 01	
RESIDENTIAL	6917.56 SF
ELECTRICAL	2.66 SF
MECHANICAL	39.71 SF
STORAGE	261.76 SF
TOTAL GROSS FLOOR AREA	7221.68 SF

RESIDENTIAL FSR AREA - TH LEVEL 01		
RESIDENTIAL - TOWNHOUSE	R-THL01.1	798.50 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.2	791.94 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.3	791.94 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.4	798.39 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.5	798.41 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.6	791.57 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.7	798.90 SF
TOTAL RESIDENTIAL FSR AREA		5569.65 SF

RESIDENTIAL FSR AREA - M LEVEL 01		
RESIDENTIAL	R-ML01.01	858.46 SF
RESIDENTIAL	R-ML01.02	815.82 SF
RESIDENTIAL	R-ML01.03	815.82 SF
RESIDENTIAL	R-ML01.04	819.09 SF
RESIDENTIAL	R-ML01.05	819.22 SF
RESIDENTIAL	R-ML01.06	815.73 SF
RESIDENTIAL	R-ML01.07	815.83 SF
RESIDENTIAL	R-ML01.08	792.01 SF
RESIDENTIAL	R-ML01.09	365.56 SF
TOTAL RESIDENTIAL FSR AREA		6917.56 SF

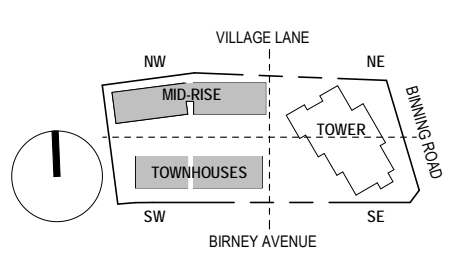
MECHANICAL R EXCLUSION - TH LEVEL 01		
MECHANICAL	M-THL01.1	5.48 SF
MECHANICAL	M-THL01.2	5.48 SF
MECHANICAL	M-THL01.3	5.48 SF
MECHANICAL	M-THL01.4	5.48 SF
MECHANICAL	M-THL01.5	5.45 SF
MECHANICAL	M-THL01.6	5.45 SF
MECHANICAL	M-THL01.7	5.48 SF
TOTAL MECHANICAL EXCLUSION		38.30 SF

MECHANICAL R EXCLUSION - M LEVEL 01		
MECHANICAL	M-ML01.01	4.86 SF
MECHANICAL	M-ML01.02	4.67 SF
MECHANICAL	M-ML01.03	4.67 SF
MECHANICAL	M-ML01.04	5.00 SF
MECHANICAL	M-ML01.05	5.00 SF
MECHANICAL	M-ML01.06	4.67 SF
MECHANICAL	M-ML01.07	4.67 SF
MECHANICAL	M-ML01.08	6.18 SF
TOTAL MECHANICAL EXCLUSION		39.71 SF

STORAGE R EXCLUSION - TH LEVEL 01		
STORAGE	S-THL01.1	31.33 SF
STORAGE	S-THL01.2	31.44 SF
STORAGE	S-THL01.3	31.44 SF
STORAGE	S-THL01.4	31.44 SF
STORAGE	S-THL01.5	31.44 SF
STORAGE	S-THL01.6	31.44 SF
STORAGE	S-THL01.7	31.33 SF
TOTAL STORAGE EXCLUSION		219.88 SF

STORAGE R EXCLUSION - M LEVEL 01		
STORAGE	S-ML01.01	33.86 SF
STORAGE	S-ML01.02	35.51 SF
STORAGE	S-ML01.03	35.51 SF
STORAGE	S-ML01.04	33.44 SF
STORAGE	S-ML01.05	33.44 SF
STORAGE	S-ML01.06	35.51 SF
STORAGE	S-ML01.07	35.51 SF
STORAGE	S-ML01.08	18.98 SF
TOTAL STORAGE EXCLUSION		261.76 SF

ELECTRICAL R EXCLUSION - M LEVEL 01		
ELECTRICAL	E-ML01.01	2.66 SF
TOTAL ELECTRICAL EXCLUSION		2.66 SF



IVY ON THE PARK
LOT 8

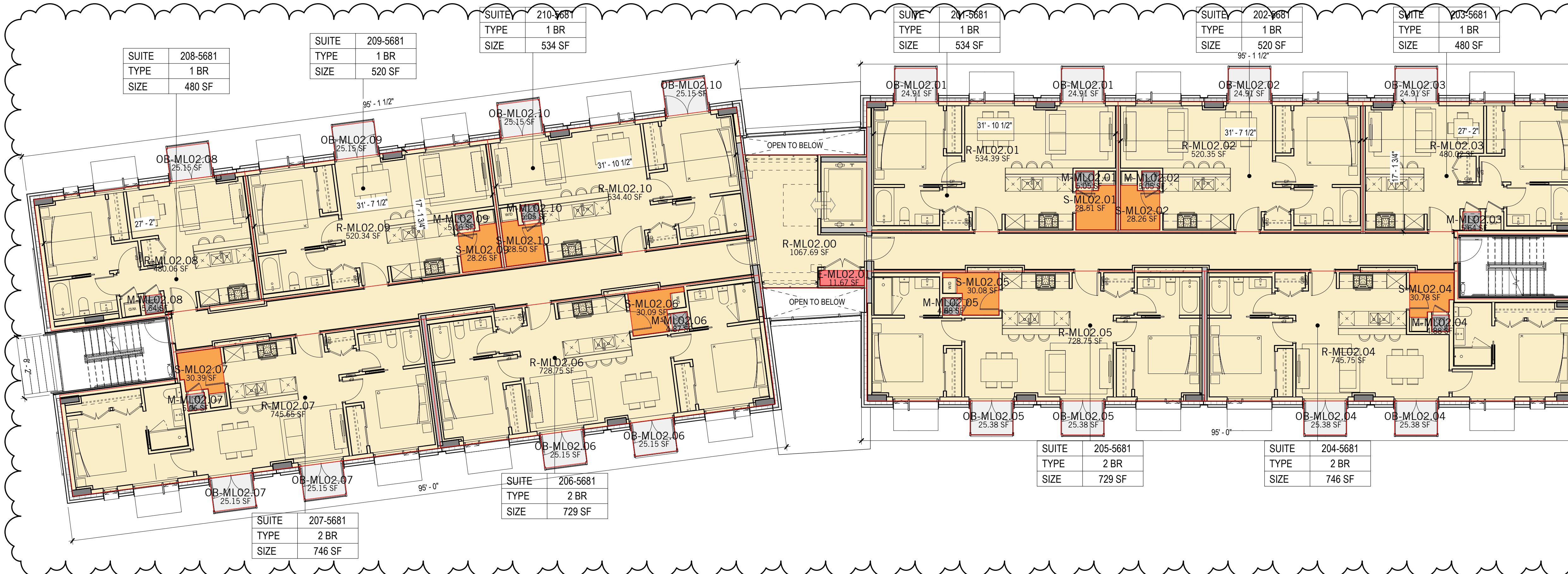
- 1 PRE-OP APPLICATION SUBMISSION 2017-10-06
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FSR PLAN - MIDRISE &
TOWNHOUSES - LEVEL
01

FSR-111

FSR_PLAN_MIDRISE &
TOWNHOUSES LEVEL 01

1
1/8" = 1'-0"



RESIDENTIAL AREA SUMMARY - TH LEVEL 02	
RESIDENTIAL - TOWNHOUSE	5940.78 SF
MECHANICAL	39.67 SF
TOTAL GROSS FLOOR AREA	5980.44 SF

RESIDENTIAL AREA SUMMARY - MIDRISE LEVEL 02	
RESIDENTIAL	7086.16 SF
ELECTRICAL	11.67 SF
MECHANICAL	51.17 SF
STORAGE	234.87 SF
TOTAL GROSS FLOOR AREA	7383.86 SF

RESIDENTIAL FSR AREA - TH LEVEL 02		
RESIDENTIAL - TOWNHOUSE	R-THL02.1	851.44 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.2	845.00 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.3	845.00 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.4	851.44 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.5	851.44 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.6	845.00 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.7	851.44 SF
TOTAL RESIDENTIAL FSR AREA		5940.78 SF

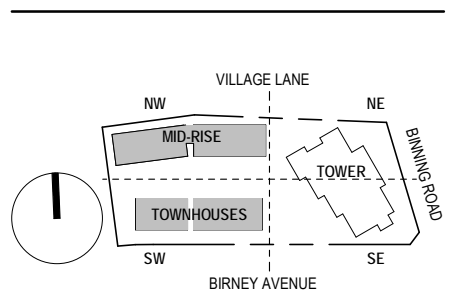
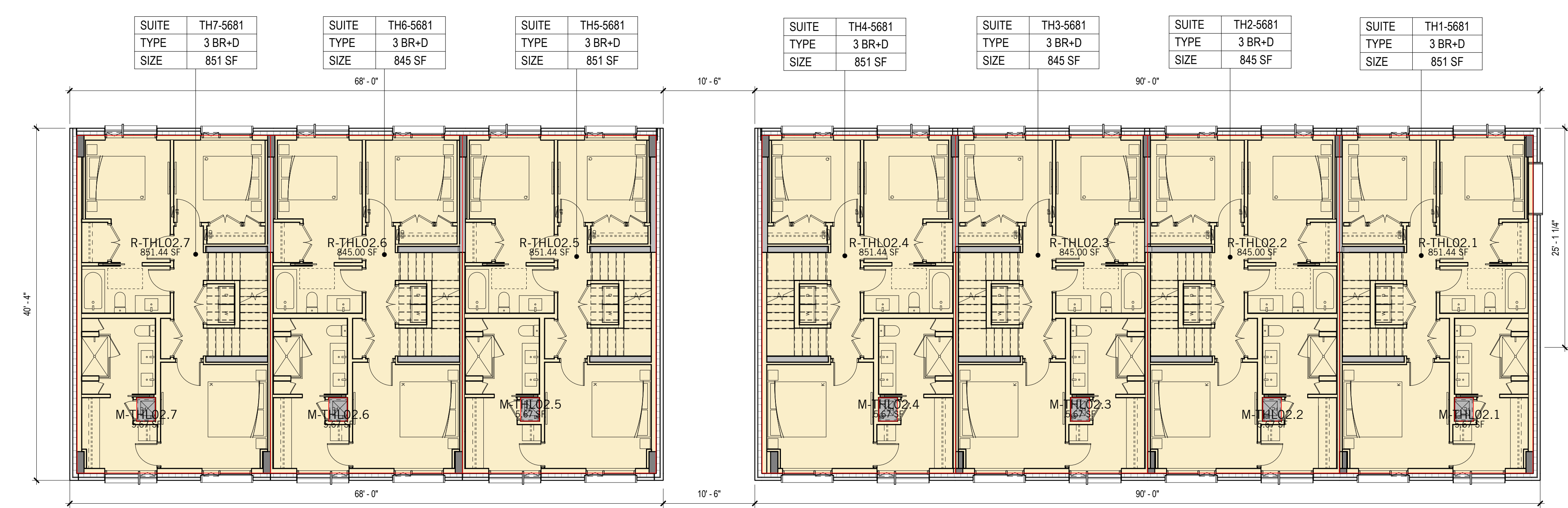
RESIDENTIAL FSR AREA - M LEVEL 02		
RESIDENTIAL	R-ML02.00	1067.69 SF
RESIDENTIAL	R-ML02.01	534.39 SF
RESIDENTIAL	R-ML02.02	520.35 SF
RESIDENTIAL	R-ML02.03	480.02 SF
RESIDENTIAL	R-ML02.04	745.75 SF
RESIDENTIAL	R-ML02.05	728.75 SF
RESIDENTIAL	R-ML02.06	728.75 SF
RESIDENTIAL	R-ML02.07	745.65 SF
RESIDENTIAL	R-ML02.08	480.06 SF
RESIDENTIAL	R-ML02.09	520.34 SF
RESIDENTIAL	R-ML02.10	534.40 SF
TOTAL RESIDENTIAL FSR AREA		7086.16 SF

MECHANICAL R EXCLUSION - TH LEVEL 02		
MECHANICAL	M-THL02.1	5.67 SF
MECHANICAL	M-THL02.2	5.67 SF
MECHANICAL	M-THL02.3	5.67 SF
MECHANICAL	M-THL02.4	5.67 SF
MECHANICAL	M-THL02.5	5.67 SF
MECHANICAL	M-THL02.6	5.67 SF
MECHANICAL	M-THL02.7	5.67 SF
TOTAL MECHANICAL EXCLUSION		39.67 SF

MECHANICAL R EXCLUSION - M LEVEL 02		
MECHANICAL	M-ML02.01	5.05 SF
MECHANICAL	M-ML02.02	5.05 SF
MECHANICAL	M-ML02.03	5.64 SF
MECHANICAL	M-ML02.04	4.88 SF
MECHANICAL	M-ML02.05	4.88 SF
MECHANICAL	M-ML02.06	4.87 SF
MECHANICAL	M-ML02.07	5.06 SF
MECHANICAL	M-ML02.08	5.64 SF
MECHANICAL	M-ML02.09	5.06 SF
MECHANICAL	M-ML02.10	5.05 SF
TOTAL MECHANICAL EXCLUSION		51.17 SF

STORAGE R EXCLUSION - M LEVEL 02		
STORAGE	S-ML02.01	28.51 SF
STORAGE	S-ML02.02	28.26 SF
STORAGE	S-ML02.04	30.78 SF
STORAGE	S-ML02.05	30.08 SF
STORAGE	S-ML02.06	30.09 SF
STORAGE	S-ML02.07	30.39 SF
STORAGE	S-ML02.09	28.26 SF
STORAGE	S-ML02.10	28.50 SF
TOTAL STORAGE EXCLUSION		234.87 SF

ELECTRICAL R EXCLUSION - M LEVEL 02		
ELECTRICAL	E-ML02.01	11.67 SF
TOTAL ELECTRICAL EXCLUSION		11.67 SF



IVY ON THE PARK
LOT 8

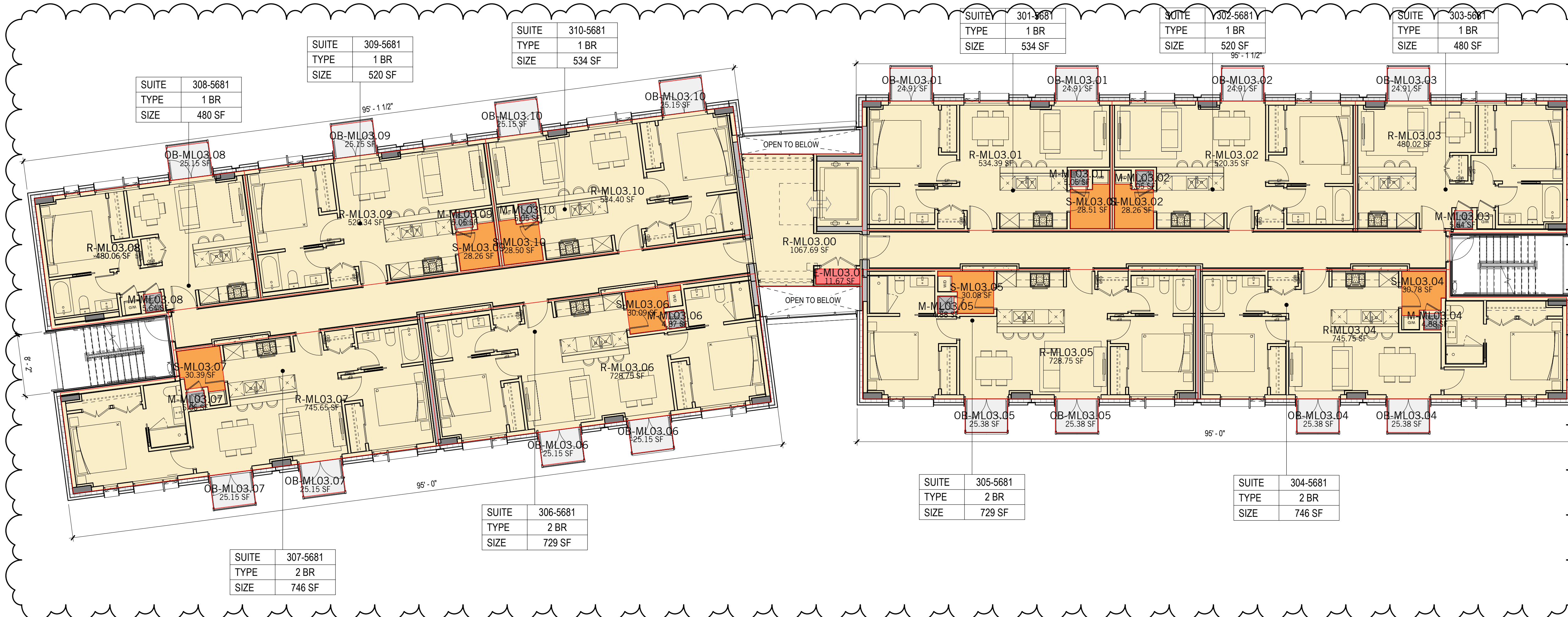
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FSR PLAN - MIDRISE &
TOWNHOUSES - LEVEL
02

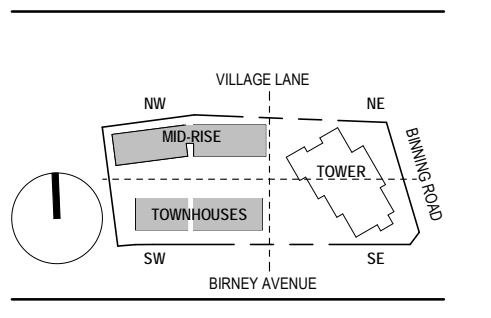
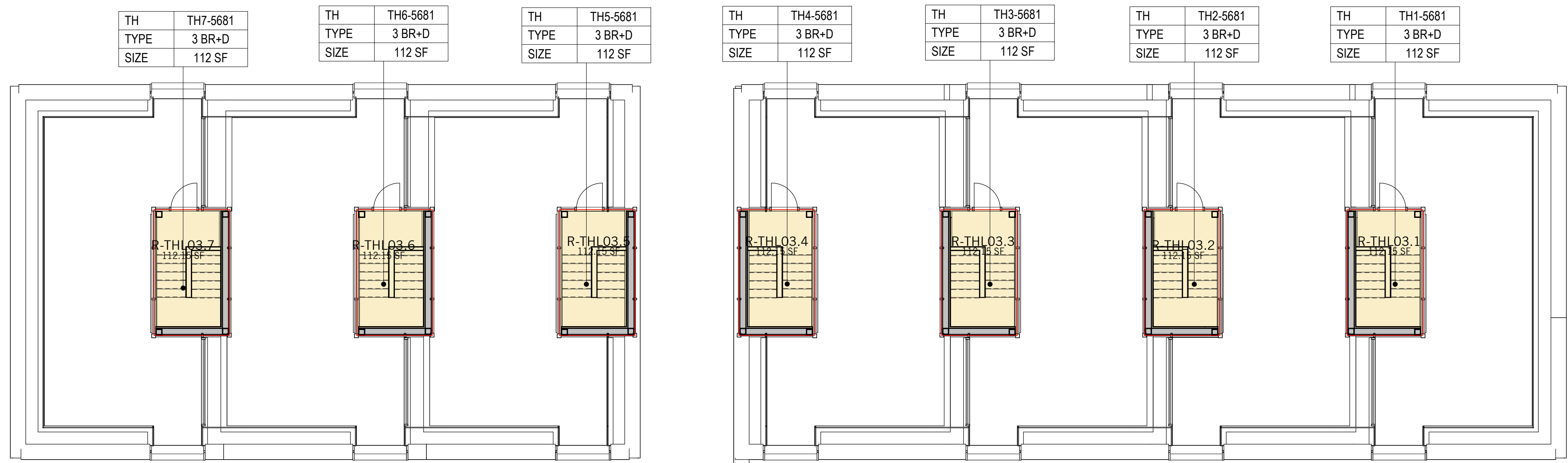
FSR-112

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FSR_PLAN_MIDRISE &
TOWNHOUSES LEVEL 02
1 1/8" = 1'-0"



RESIDENTIAL AREA SUMMARY - MIDRISE & TH LEVEL 03		
RESIDENTIAL		7086.16 SF
RESIDENTIAL - TOWNHOUSE		785.06 SF
FSR R AREA		7871.22 SF
ELECTRICAL		11.67 SF
MECHANICAL		51.17 SF
STORAGE		234.87 SF
FSR R EXCLUSION		297.70 SF
TOTAL GROSS FLOOR AREA		8168.91 SF
RESIDENTIAL FSR AREA - TH LEVEL 03		
RESIDENTIAL - TOWNHOUSE	R-THL03.1	112.15 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.2	112.15 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.3	112.15 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.4	112.15 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.5	112.15 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.6	112.15 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.7	112.15 SF
TOTAL RESIDENTIAL FSR AREA		785.06 SF
RESIDENTIAL FSR AREA - M LEVEL 03		
RESIDENTIAL	R-ML03.00	1067.69 SF
RESIDENTIAL	R-ML03.01	534.39 SF
RESIDENTIAL	R-ML03.02	520.35 SF
RESIDENTIAL	R-ML03.03	480.02 SF
RESIDENTIAL	R-ML03.04	745.75 SF
RESIDENTIAL	R-ML03.05	728.75 SF
RESIDENTIAL	R-ML03.06	728.75 SF
RESIDENTIAL	R-ML03.07	745.65 SF
RESIDENTIAL	R-ML03.08	480.06 SF
RESIDENTIAL	R-ML03.09	520.34 SF
RESIDENTIAL	R-ML03.10	534.40 SF
TOTAL RESIDENTIAL FSR AREA		7086.16 SF
MECHANICAL R EXCLUSION - M LEVEL 03		
MECHANICAL	M-ML03.01	5.05 SF
MECHANICAL	M-ML03.02	5.05 SF
MECHANICAL	M-ML03.03	5.64 SF
MECHANICAL	M-ML03.04	4.88 SF
MECHANICAL	M-ML03.05	4.88 SF
MECHANICAL	M-ML03.06	4.87 SF
MECHANICAL	M-ML03.07	5.06 SF
MECHANICAL	M-ML03.08	5.64 SF
MECHANICAL	M-ML03.09	5.05 SF
MECHANICAL	M-ML03.10	5.05 SF
TOTAL MECHANICAL EXCLUSION		51.17 SF
STORAGE R EXCLUSION - M LEVEL 03		
STORAGE	S-ML03.01	28.51 SF
STORAGE	S-ML03.02	28.26 SF
STORAGE	S-ML03.04	30.78 SF
STORAGE	S-ML03.05	30.08 SF
STORAGE	S-ML03.06	30.09 SF
STORAGE	S-ML03.07	30.39 SF
STORAGE	S-ML03.09	28.26 SF
STORAGE	S-ML03.10	28.50 SF
TOTAL STORAGE EXCLUSION		234.87 SF
OPEN BALCONY R NON GFA - M LEVEL 03		
OPEN BALCONY	OB-ML03.01	49.82 SF
OPEN BALCONY	OB-ML03.02	24.91 SF
OPEN BALCONY	OB-ML03.03	24.91 SF
OPEN BALCONY	OB-ML03.04	50.76 SF
OPEN BALCONY	OB-ML03.05	50.76 SF
OPEN BALCONY	OB-ML03.06	50.29 SF
OPEN BALCONY	OB-ML03.07	50.29 SF
OPEN BALCONY	OB-ML03.08	25.15 SF
OPEN BALCONY	OB-ML03.09	25.15 SF
OPEN BALCONY	OB-ML03.10	50.29 SF
TOTAL ENCLOSED BALCONY EXCLUSION		402.33 SF
ELECTRICAL R EXCLUSION - M LEVEL 03		
ELECTRICAL	E-ML03.01	11.67 SF
TOTAL ELECTRICAL EXCLUSION		11.67 SF

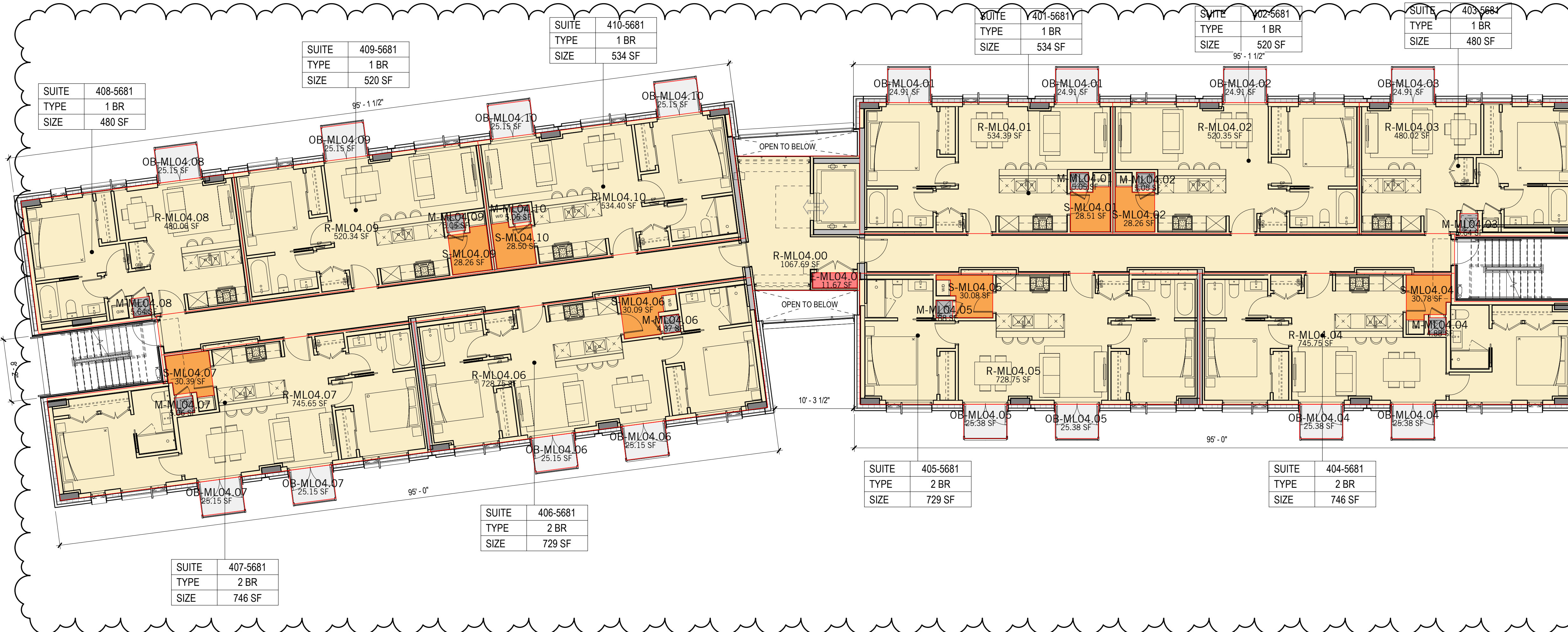


IVY ON THE PARK
LOT 8

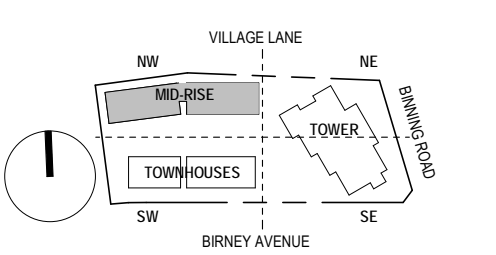
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-05-24

FSR PLAN - MIDRISE &
TOWNHOUSES - LEVEL
03

FSR-113



RESIDENTIAL AREA SUMMARY - MIDRISE LEVEL 04		
RESIDENTIAL		7086.16 SF
FSR R AREA		7086.16 SF
ELECTRICAL		11.67 SF
MECHANICAL		51.17 SF
STORAGE		234.87 SF
FSR R EXCLUSION		297.70 SF
TOTAL GROSS FLOOR AREA		7383.86 SF
RESIDENTIAL FSR AREA - M LEVEL 04		
RESIDENTIAL	R-ML04.00	1067.69 SF
RESIDENTIAL	R-ML04.01	534.39 SF
RESIDENTIAL	R-ML04.02	520.35 SF
RESIDENTIAL	R-ML04.03	480.02 SF
RESIDENTIAL	R-ML04.04	745.75 SF
RESIDENTIAL	R-ML04.05	728.75 SF
RESIDENTIAL	R-ML04.06	728.75 SF
RESIDENTIAL	R-ML04.07	745.65 SF
RESIDENTIAL	R-ML04.08	480.06 SF
RESIDENTIAL	R-ML04.09	520.34 SF
RESIDENTIAL	R-ML04.10	534.40 SF
TOTAL RESIDENTIAL FSR AREA		7086.16 SF
MECHANICAL R EXCLUSION - M LEVEL 04		
MECHANICAL	M-ML04.01	5.05 SF
MECHANICAL	M-ML04.02	5.05 SF
MECHANICAL	M-ML04.03	5.64 SF
MECHANICAL	M-ML04.04	4.88 SF
MECHANICAL	M-ML04.05	4.88 SF
MECHANICAL	M-ML04.06	4.87 SF
MECHANICAL	M-ML04.07	5.06 SF
MECHANICAL	M-ML04.08	5.64 SF
MECHANICAL	M-ML04.09	5.05 SF
MECHANICAL	M-ML04.10	5.05 SF
TOTAL MECHANICAL EXCLUSION		51.17 SF
STORAGE R EXCLUSION - M LEVEL 04		
STORAGE	S-ML04.01	28.51 SF
STORAGE	S-ML04.02	28.26 SF
STORAGE	S-ML04.04	30.78 SF
STORAGE	S-ML04.05	30.08 SF
STORAGE	S-ML04.06	30.09 SF
STORAGE	S-ML04.07	30.39 SF
STORAGE	S-ML04.09	28.26 SF
STORAGE	S-ML04.10	28.50 SF
TOTAL STORAGE EXCLUSION		234.87 SF
OPEN BALCONY R NON GFA - M LEVEL 04		
OPEN BALCONY	OB-ML04.01	49.82 SF
OPEN BALCONY	OB-ML04.02	24.91 SF
OPEN BALCONY	OB-ML04.03	24.91 SF
OPEN BALCONY	OB-ML04.04	50.76 SF
OPEN BALCONY	OB-ML04.05	50.76 SF
OPEN BALCONY	OB-ML04.06	50.29 SF
OPEN BALCONY	OB-ML04.07	50.29 SF
OPEN BALCONY	OB-ML04.08	25.15 SF
OPEN BALCONY	OB-ML04.09	25.15 SF
OPEN BALCONY	OB-ML04.10	50.29 SF
TOTAL ENCLOSED BALCONY EXCLUSION		402.33 SF
ELECTRICAL R EXCLUSION - M LEVEL 04		
ELECTRICAL	E-ML04.01	11.67 SF
TOTAL ELECTRICAL EXCLUSION		11.67 SF

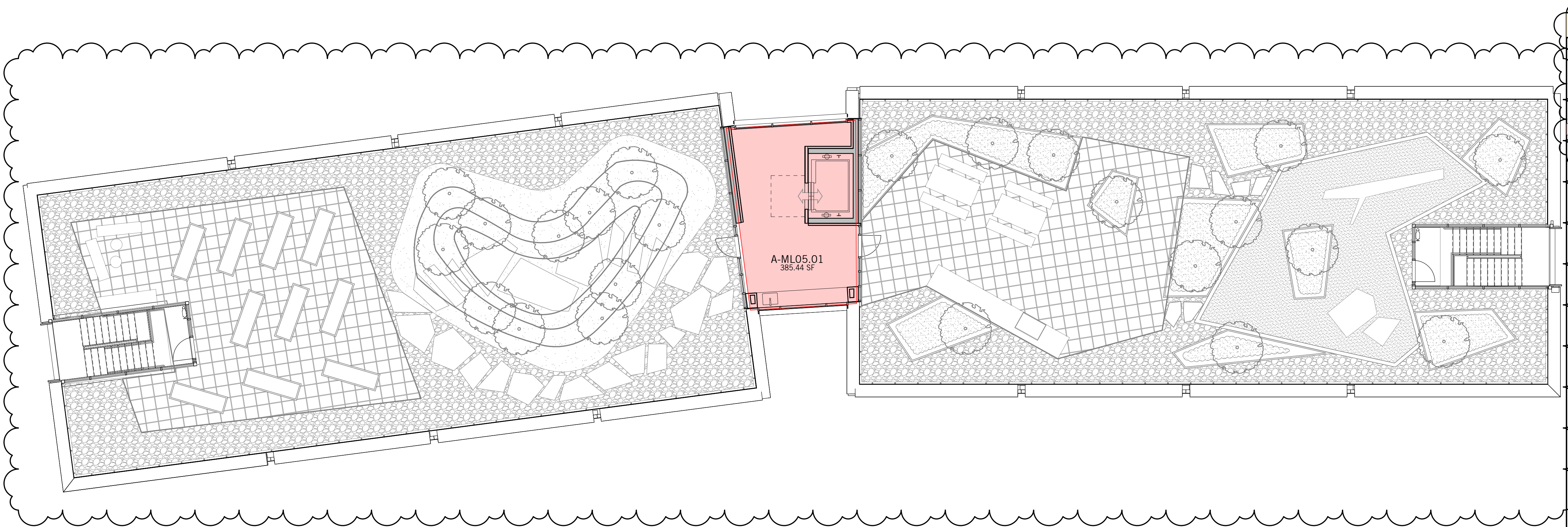


IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-05-24

FSR PLAN - MIDRISE -
LEVEL 04

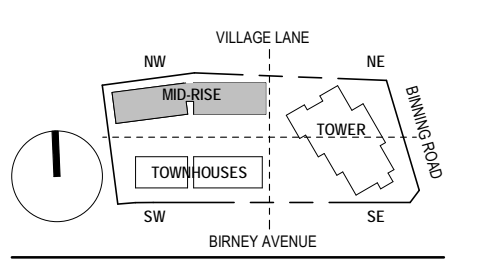
FSR-114



RESIDENTIAL AREA SUMMARY - MIDRISE LEVEL 05		
AMENITY		385.44 SF
FSR R EXCLUSION		385.44 SF
TOTAL GROSS FLOOR AREA		385.44 SF
AMENITY R EXCLUSION - M LEVEL 05		
AMENITY	A-ML05.01	385.44 SF
TOTAL AMENITY EXCLUSION		385.44 SF

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IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-05-24

FSR PLAN - MIDRISE -
LEVEL 05

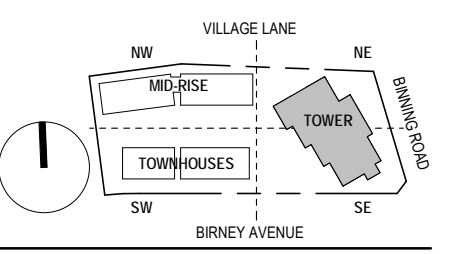
FSR-115

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1 FSR PLAN TOWER LEVEL 01
1/8" = 1'-0"

RESIDENTIAL AREA SUMMARY - LEVEL 01	
RESIDENTIAL	4162.87 SF
FSR R AREA	4162.87 SF
AMENITY	4401.47 SF
ELECTRICAL	9.53 SF
MECHANICAL	45.34 SF
STORAGE	50.65 SF
FSR R EXCLUSION	4506.99 SF
TOTAL GROSS FLOOR AREA	8669.86 SF
RESIDENTIAL FSR AREA - LEVEL 01	
RESIDENTIAL	R-L01.00 2269.02 SF
RESIDENTIAL	R-L01.01 878.97 SF
RESIDENTIAL	R-L01.02 1014.88 SF
TOTAL RESIDENTIAL FSR AREA	4162.87 SF
ELECTRICAL R EXCLUSION - LEVEL 01	
ELECTRICAL	E-L01.00 9.53 SF
TOTAL WALL EXCLUSION	9.53 SF
MECHANICAL R EXCLUSION - LEVEL 01	
MECHANICAL	M-L01.00 34.92 SF
MECHANICAL	M-L01.01 5.27 SF
MECHANICAL	M-L01.02 5.14 SF
TOTAL MECHANICAL EXCLUSION	45.34 SF
STORAGE R EXCLUSION - LEVEL 01	
STORAGE	S-L01.01 34.61 SF
STORAGE	S-L01.02 16.04 SF
TOTAL STORAGE EXCLUSION	50.65 SF
AMENITY R EXCLUSION - LEVEL 01	
AMENITY	A-L01.01 1310.58 SF
AMENITY	A-L01.02 1868.85 SF
AMENITY	A-L01.03 1222.04 SF
TOTAL AMENITY EXCLUSION	4401.47 SF



- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-05-24



SUITE	201
TYPE	2 BR
SIZE	1,153 SF

SUITE	202
TYPE	2 BR
SIZE	1,011 SF

SUITE	203
TYPE	2 BR
SIZE	744 SF

SUITE	204
TYPE	2 BR
SIZE	714 SF

SUITE	206
TYPE	2 BR+D
SIZE	1,160 SF

SUITE	205
TYPE	2 BR
SIZE	1,016 SF

RESIDENTIAL AREA SUMMARY - LEVEL 02	
RESIDENTIAL	6719.85 SF
FSR R AREA	6719.85 SF
ELECTRICAL	24.37 SF
MECHANICAL	86.24 SF
STORAGE	217.81 SF
FSR R EXCLUSION	328.41 SF
TOTAL GROSS FLOOR AREA	7048.27 SF

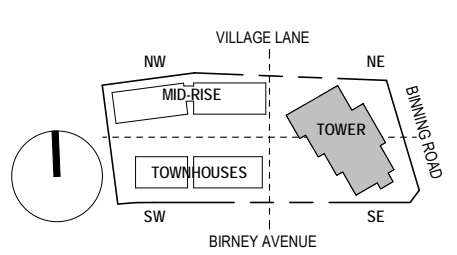
RESIDENTIAL FSR AREA - LEVEL 02		
RESIDENTIAL	R-L02.00	921.97 SF
RESIDENTIAL	R-L02.01	1152.81 SF
RESIDENTIAL	R-L02.02	1011.45 SF
RESIDENTIAL	R-L02.03	743.82 SF
RESIDENTIAL	R-L02.04	714.05 SF
RESIDENTIAL	R-L02.05	1015.63 SF
RESIDENTIAL	R-L02.06	1160.11 SF
TOTAL RESIDENTIAL FSR AREA		6719.85 SF

ELECTRICAL R EXCLUSION - LEVEL 02		
ELECTRICAL	E-L02.00	24.37 SF
TOTAL WALL EXCLUSION		24.37 SF

MECHANICAL R EXCLUSION - LEVEL 02		
MECHANICAL	M-L02.00	47.64 SF
MECHANICAL	M-L02.01	6.22 SF
MECHANICAL	M-L02.02	6.22 SF
MECHANICAL	M-L02.02	1.50 SF
MECHANICAL	M-L02.03	6.17 SF
MECHANICAL	M-L02.03	1.50 SF
MECHANICAL	M-L02.04	6.43 SF
MECHANICAL	M-L02.05	5.14 SF
MECHANICAL	M-L02.06	5.42 SF
TOTAL MECHANICAL EXCLUSION		86.24 SF

STORAGE R EXCLUSION - LEVEL 02		
STORAGE	S-L02.01	40.00 SF
STORAGE	S-L02.02	40.00 SF
STORAGE	S-L02.03	36.66 SF
STORAGE	S-L02.04	35.22 SF
STORAGE	S-L02.05	25.93 SF
STORAGE	S-L02.06	40.00 SF
TOTAL STORAGE EXCLUSION		217.81 SF

OPEN BALCONY R NON GFA - LEVEL 02		
OPEN BALCONY	OB-L02.01	113.60 SF
OPEN BALCONY	OB-L02.02	78.08 SF
OPEN BALCONY	OB-L02.03	78.09 SF
OPEN BALCONY	OB-L02.04	115.45 SF
OPEN BALCONY	OB-L02.05	114.37 SF
OPEN BALCONY	OB-L02.06	114.23 SF
TOTAL ENCLOSED BALCONY EXCLUSION		613.83 SF



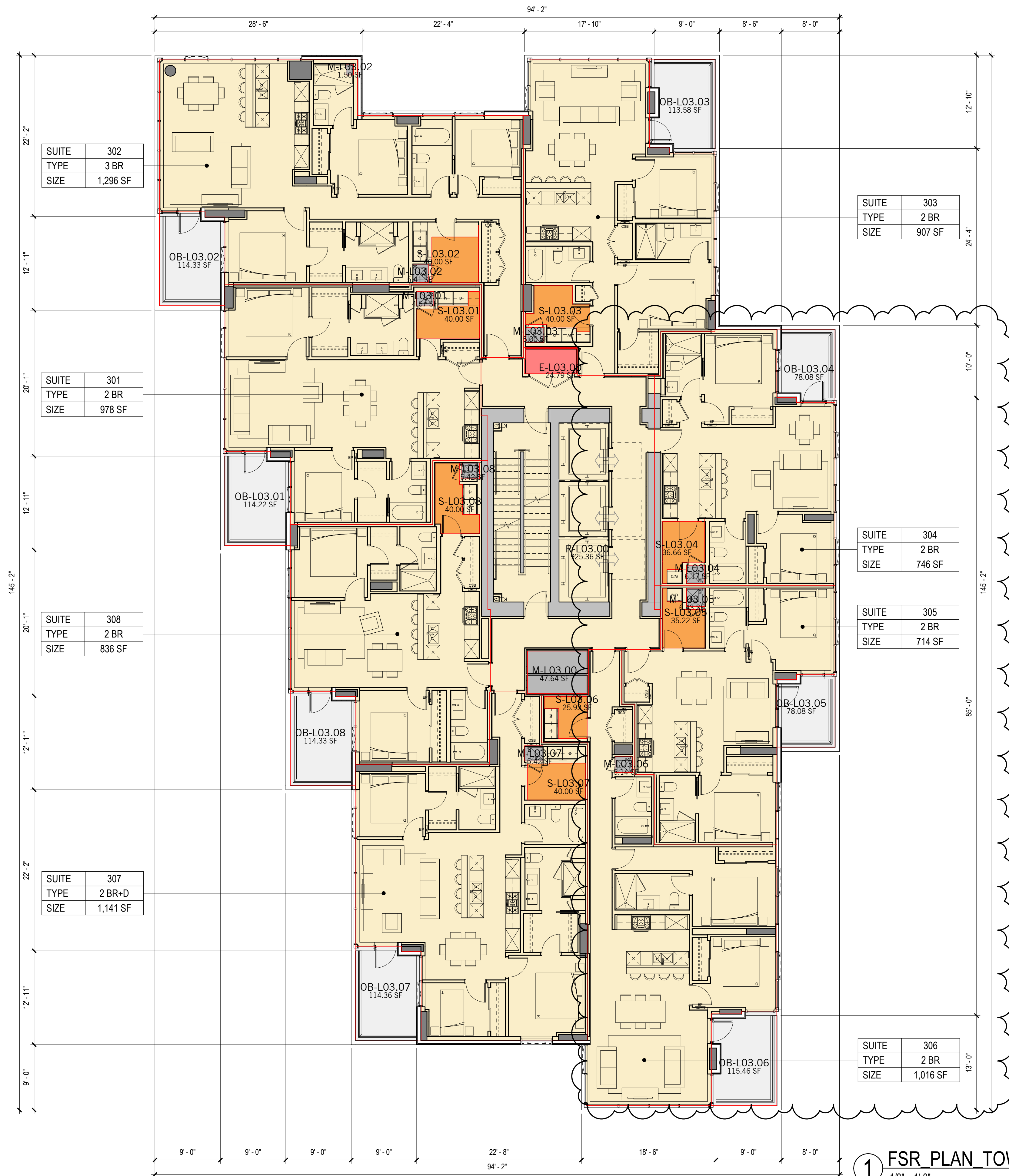
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-05-24

FSR PLAN - TOWER -
LEVEL 02

FSR-122

1 FSR PLAN TOWER LEVEL 02
1/8" = 1'-0"



RESIDENTIAL AREA SUMMARY - LEVELS 03-16	
RESIDENTIAL	8559.44 SF
FSR R AREA	8559.44 SF
ELECTRICAL	24.79 SF
MECHANICAL	92.78 SF
STORAGE	297.82 SF
FSR R EXCLUSION	415.40 SF
TOTAL GROSS FLOOR AREA	8974.84 SF

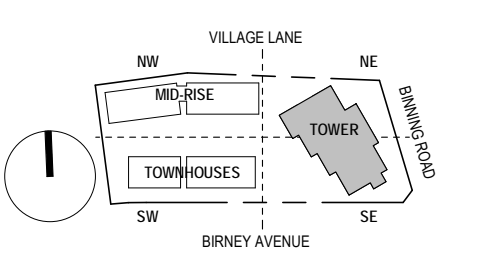
RESIDENTIAL FSR AREA - LEVELS 03-16		
RESIDENTIAL	R-L03.00	925.36 SF
RESIDENTIAL	R-L03.01	977.94 SF
RESIDENTIAL	R-L03.02	1296.19 SF
RESIDENTIAL	R-L03.03	907.43 SF
RESIDENTIAL	R-L03.04	746.15 SF
RESIDENTIAL	R-L03.05	713.65 SF
RESIDENTIAL	R-L03.06	1016.04 SF
RESIDENTIAL	R-L03.07	1140.93 SF
RESIDENTIAL	R-L03.08	835.75 SF
TOTAL RESIDENTIAL FSR AREA		8559.44 SF

ELECTRICAL R EXCLUSION - LEVELS 03-16		
ELECTRICAL	E-L03.00	24.79 SF
TOTAL WALL EXCLUSION		24.79 SF

MECHANICAL R EXCLUSION - LEVELS 03-16		
MECHANICAL	M-L03.00	47.64 SF
MECHANICAL	M-L03.01	4.67 SF
MECHANICAL	M-L03.02	5.41 SF
MECHANICAL	M-L03.02	1.50 SF
MECHANICAL	M-L03.03	5.00 SF
MECHANICAL	M-L03.04	6.17 SF
MECHANICAL	M-L03.05	6.43 SF
MECHANICAL	M-L03.06	5.14 SF
MECHANICAL	M-L03.07	5.42 SF
MECHANICAL	M-L03.08	5.42 SF
TOTAL MECHANICAL EXCLUSION		92.78 SF

STORAGE R EXCLUSION - LEVELS 03-16		
STORAGE	S-L03.01	40.00 SF
STORAGE	S-L03.02	40.00 SF
STORAGE	S-L03.03	40.00 SF
STORAGE	S-L03.04	36.66 SF
STORAGE	S-L03.05	35.22 SF
STORAGE	S-L03.06	25.93 SF
STORAGE	S-L03.07	40.00 SF
STORAGE	S-L03.08	40.00 SF
TOTAL STORAGE EXCLUSION		297.82 SF

OPEN BALCONY R NON GFA - LEVELS 03-16		
OPEN BALCONY	OB-L03.01	114.22 SF
OPEN BALCONY	OB-L03.02	114.33 SF
OPEN BALCONY	OB-L03.03	113.58 SF
OPEN BALCONY	OB-L03.04	78.08 SF
OPEN BALCONY	OB-L03.05	78.08 SF
OPEN BALCONY	OB-L03.06	115.46 SF
OPEN BALCONY	OB-L03.07	114.36 SF
OPEN BALCONY	OB-L03.08	114.33 SF
TOTAL ENCLOSED BALCONY EXCLUSION		842.45 SF



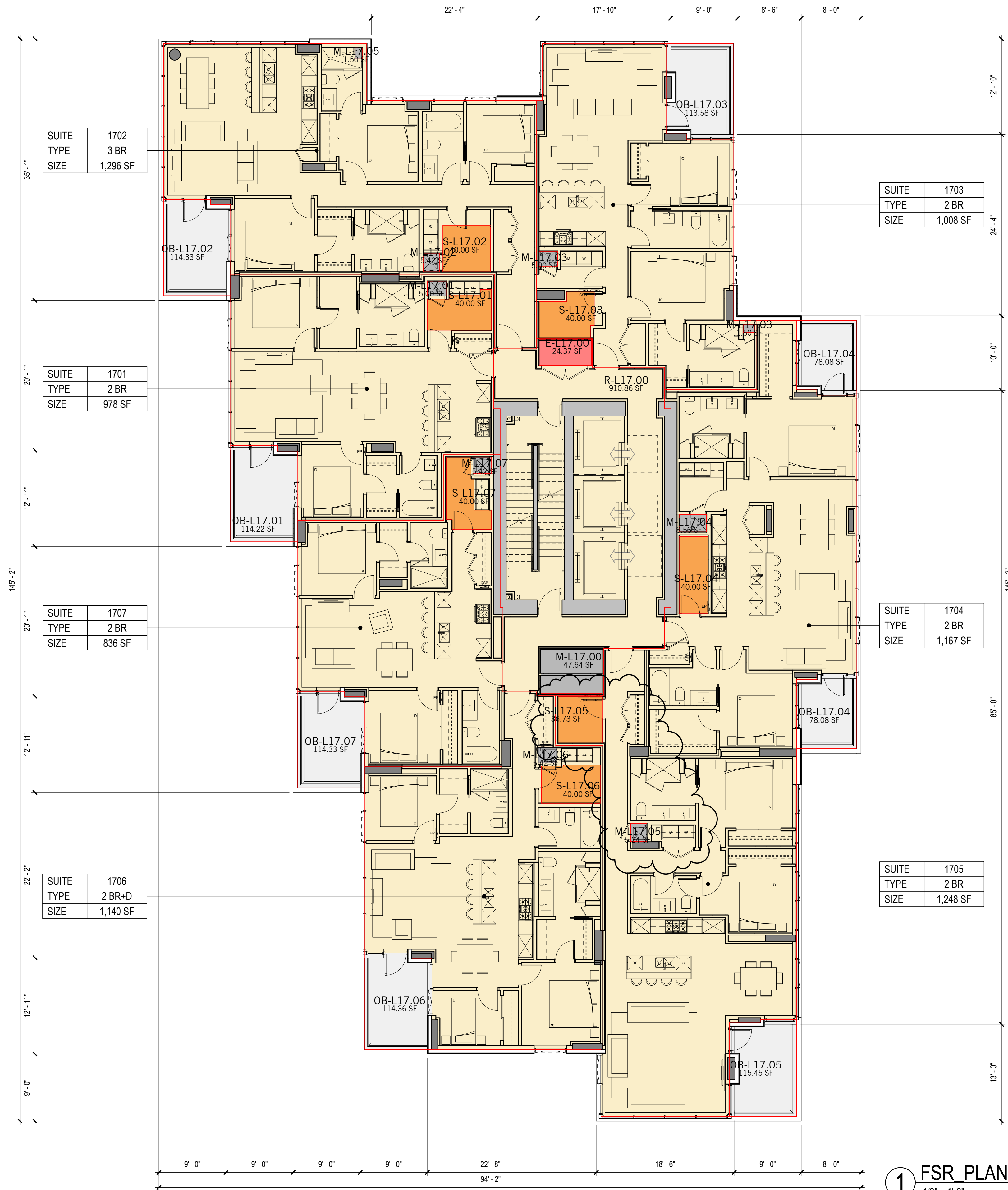
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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FSR PLAN - TOWER -
LEVELS 03-16

FSR-123

1 FSR PLAN TOWER LEVELS 03-16
1/8" = 1'-0"



RESIDENTIAL AREA SUMMARY - LEVELS 17-20	
RESIDENTIAL	8583.03 SF
FSR R AREA	8583.03 SF
ELECTRICAL	24.37 SF
MECHANICAL	90.68 SF
STORAGE	276.74 SF
FSR R EXCLUSION	391.79 SF
TOTAL GROSS FLOOR AREA	8974.82 SF

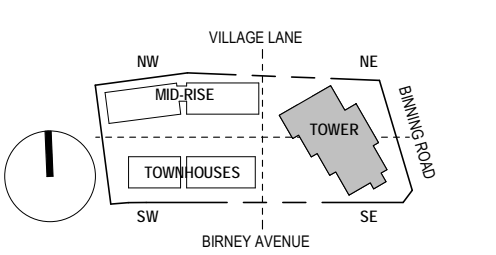
RESIDENTIAL FSR AREA - LEVELS 17-20		
RESIDENTIAL	R-L17.00	910.86 SF
RESIDENTIAL	R-L17.01	835.80 SF
RESIDENTIAL	R-L17.01	1295.78 SF
RESIDENTIAL	R-L17.01	1007.66 SF
RESIDENTIAL	R-L17.01	1166.62 SF
RESIDENTIAL	R-L17.01	1248.25 SF
RESIDENTIAL	R-L17.01	1139.81 SF
RESIDENTIAL	R-L17.01	978.25 SF
TOTAL RESIDENTIAL FSR AREA		8583.03 SF

ELECTRICAL R EXCLUSION - LEVELS 17-20		
ELECTRICAL	E-L17.00	24.37 SF
TOTAL WALL EXCLUSION		24.37 SF

MECHANICAL R EXCLUSION - LEVELS 17-20		
MECHANICAL	M-L17.00	47.64 SF
MECHANICAL	M-L17.01	5.00 SF
MECHANICAL	M-L17.02	5.42 SF
MECHANICAL	M-L17.03	5.00 SF
MECHANICAL	M-L17.03	1.50 SF
MECHANICAL	M-L17.04	8.56 SF
MECHANICAL	M-L17.05	5.24 SF
MECHANICAL	M-L17.05	1.50 SF
MECHANICAL	M-L17.06	5.42 SF
MECHANICAL	M-L17.07	5.42 SF
TOTAL MECHANICAL EXCLUSION		90.68 SF

STORAGE R EXCLUSION - LEVELS 17-20		
STORAGE	S-L17.01	40.00 SF
STORAGE	S-L17.02	40.00 SF
STORAGE	S-L17.03	40.00 SF
STORAGE	S-L17.04	40.00 SF
STORAGE	S-L17.05	36.73 SF
STORAGE	S-L17.06	40.00 SF
STORAGE	S-L17.07	40.00 SF
TOTAL STORAGE EXCLUSION		276.74 SF

OPEN BALCONY R NON GFA - LEVELS 17-20		
OPEN BALCONY	OB-L17.01	114.22 SF
OPEN BALCONY	OB-L17.02	114.33 SF
OPEN BALCONY	OB-L17.03	113.58 SF
OPEN BALCONY	OB-L17.04	78.08 SF
OPEN BALCONY	OB-L17.04	78.08 SF
OPEN BALCONY	OB-L17.05	115.45 SF
OPEN BALCONY	OB-L17.06	114.36 SF
OPEN BALCONY	OB-L17.07	114.33 SF
TOTAL ENCLOSED BALCONY EXCLUSION		842.44 SF



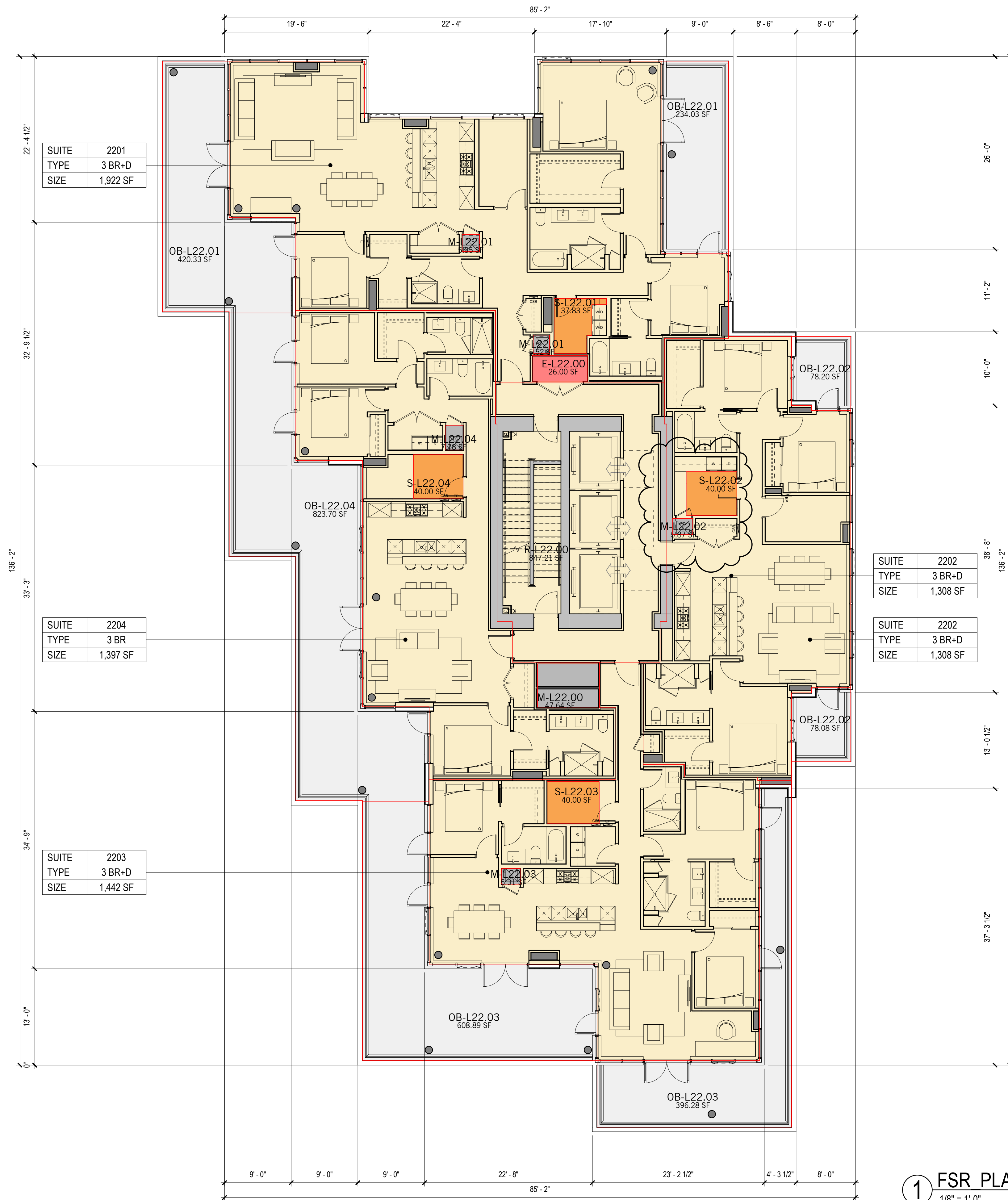
IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-05-24

FSR PLAN - TOWER -
LEVELS 17-21

FSR-124

1 FSR PLAN TOWER LEVELS 17-20
1/8" = 1'-0"



RESIDENTIAL AREA SUMMARY - LEVEL 22	
RESIDENTIAL	6915.78 SF
FSR R AREA	6915.78 SF
ELECTRICAL	26.00 SF
MECHANICAL	77.46 SF
STORAGE	157.84 SF
FSR R EXCLUSION	261.30 SF
TOTAL GROSS FLOOR AREA	7177.08 SF

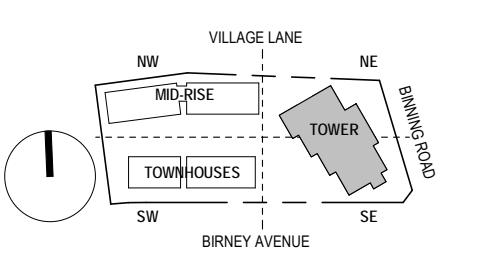
RESIDENTIAL FSR AREA - LEVEL 22		
RESIDENTIAL	R-L22.00	847.21 SF
RESIDENTIAL	R-L22.01	1922.49 SF
RESIDENTIAL	R-L22.01	1307.65 SF
RESIDENTIAL	R-L22.01	1441.77 SF
RESIDENTIAL	R-L22.01	1396.67 SF
TOTAL RESIDENTIAL FSR AREA		6915.78 SF

ELECTRICAL R EXCLUSION - LEVEL 22		
ELECTRICAL	E-L22.00	26.00 SF
TOTAL WALL EXCLUSION		26.00 SF

MECHANICAL R EXCLUSION - LEVEL 22		
MECHANICAL	M-L22.00	47.64 SF
MECHANICAL	M-L22.01	5.52 SF
MECHANICAL	M-L22.01	5.35 SF
MECHANICAL	M-L22.02	5.87 SF
MECHANICAL	M-L22.03	5.31 SF
MECHANICAL	M-L22.04	7.78 SF
TOTAL MECHANICAL EXCLUSION		77.46 SF

STORAGE R EXCLUSION - LEVEL 22		
STORAGE	S-L22.01	37.83 SF
STORAGE	S-L22.02	40.00 SF
STORAGE	S-L22.03	40.00 SF
STORAGE	S-L22.04	40.00 SF
TOTAL STORAGE EXCLUSION		157.84 SF

OPEN BALCONY R NON GFA - LEVEL 22		
OPEN BALCONY	OB-L22.01	234.03 SF
OPEN BALCONY	OB-L22.01	420.33 SF
OPEN BALCONY	OB-L22.02	78.08 SF
OPEN BALCONY	OB-L22.02	78.20 SF
OPEN BALCONY	OB-L22.03	396.28 SF
OPEN BALCONY	OB-L22.03	608.89 SF
OPEN BALCONY	OB-L22.04	823.70 SF
TOTAL ENCLOSED BALCONY EXCLUSION		2639.52 SF



IVY ON THE PARK
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-05-24

FSR PLAN - TOWER -
LEVEL 22

FSR-125

1 FSR PLAN TOWER LEVEL 22
1/8" = 1'-0"