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**UBC Modular Counselling Facility  
Development Permit Application  
Transmittal**

Project number **3411:01**  
Date **25 June 2019**  
Prepared by **JLI**

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**Re: Metric Modular UBC Modular Counselling Facility**

Enclosed please find the following drawings and documents:

**Drawings:**

- Revised Architectural drawings issued by Ryder Architecture and Metric Modular, dated 17 June 2019, including:
  - DP0.01 Cover Sheet
  - DP0.03 Site Plan
  - DP0.05 Fire Access Plan
  - DP0.06 Shadow Studies
  - DP1.01 Floor Plan
  - DP1.02 Roof Plan
  - DP2.01 Sections
  - DP2.02 Sections
  - DP3.01 Elevations
  - DP3.03 Exterior Views
- Landscape drawings issued by SW Landscape Architect, dated 16 May 2019, including:
  - L1 Landscape Plan

**Memo of drawing changes:**

- Drawings DP0.01, DP0.03, DP0.05, DP0.06, DP3.03 and L1 - removal of perimeter low vegetation along the building and rotation of bicycle racks to 90°.
- Drawings DP0.03, DP0.06, DP1.01, DP1.02, DP2.01, DP2.02 and DP3.03 – addition of a rooftop unit, access hatch and associated surround.
- Drawing DP0.05 – revised fire response strategy.

**Supporting Documentation**

- Request for variance, dated 17 June 2019.
- Roof access hatch and ladder specifications.

- end -



# UBC Counselling Services Temporary Facility

## Issued for Development Permit



### Background

The current quantity of UBC Student Services health and counselling spaces available on campus is inadequate to meet the demand for services. Additional space is required to reach students most in need and connect them to the appropriate health care professional. A future Integrated Health Services (IHS) centre that will address this need is to be constructed as part of a UBC development project in the near future; however, in the interim, short term secondary support space is required to meet the demand. The objective of this project is to create a temporary solution that can be quickly brought online, and help address this immediate need.

### Description

The project is proposed as a new single storey modular temporary counselling services centre located adjacent to the south entry to the Brock Hall West Building, located on East Mall on the UBC Vancouver campus. Immediately next to student counselling services currently provided within Brock Hall, the proposed modular building will allow counsellors and services to be consolidated into close proximity, facilitating better service and more immediate attention for students.

As the modular counselling facility is to act as a secondary support space to the primary services provided in Brock Hall, the infrastructural requirements are limited. For example, all deliveries and storage for the new temporary building are to be provided via the existing Brock Hall infrastructure, as are all loading and refuse collection services.

The proposed new temporary modular building is 479.4 sqm (5,160 sq.ft) in size, and is expected to remain in place for three to five years, after which it may be relocated to an alternate site and re-purposed. No additional information as to potential future uses has been determined or provided.

### Design and Identity

The project brief is defined by the need to rapidly design and construct a modular counselling facility that meets the design and programmatic area requirements, while is also relocatable and capable of re-purposing for future alternative uses.

The scale of the building is driven by the modular manufacturing process, and is a single storey composition of multiple component modules, connected on site. The identity of the building is respective of the sensitive nature of the programme in that it presents a restrained, staid facade set against the active contextual background.

Although a temporary building, the material palette supports a campus cohesiveness through simple architectural, landscape and paving materials, in keeping with the UBC Campus Plan design strategies. The materials are robust and durable, with a mix of warm dark and light grey cementitious panel cladding, accented by warm, durable Accoya wood perimeter window surrounds that provide both solar shading and visual privacy benefits.

### Sustainability and Energy

A sustainable approach is fundamental to this project as it revolves around resource efficiency, reuse, and land use benefits. Further, in alignment with the UBC Green Building Action Plan, the sustainability objectives of this project aim to reduce Thermal Energy Demand Intensity (TEDI) and Energy Use Intensity (EUI) to meet UBC targets.

### Consultant List

**Ryder Architecture**  
003-1290 Homer St.  
Vancouver BC  
V6B 275  
604-260-7400  
Warren Schmidt - Architect AIBC

**Metric Modular - Builder**  
1825 Tower Road,  
Agassiz BC  
V0M 1A2  
604-796-2257  
Glen DeCoste - Project Manager

**Omega Associates Engineering – Structural**  
18525 53 Ave, #217  
Surrey, BC  
V3S 7A4  
604-372-4800  
Doug Clough - Structural Engineer

**Aplin & Martin - Civil**  
1818-1177 West Hastings St  
Vancouver BC  
V6E 2K3  
604-678-9434  
Roy Skeet - Civil Engineer

**ASN Technical Services - Electrical**  
12618 62 Ave  
Surrey, BC  
V3X 1V5  
604-724-0701  
Shivjeet Sidhu - Electrical Engineer

**ITEC Systems Design - Mechanical**  
20092 93a Ave  
Langley, BC  
V1M 3Y4  
604-882-9500  
Harold Forsyth - Mechanical Engineer

**Johnson Controls - Sprinklers**  
1485 Lindsey Place  
Delta, BC  
V3M 6V1  
604-527-2848  
James Mulligan

**Aqua Coast Engineering – Building Envelope**  
Unit 201 – 5155 Ladner Trunk Road  
Delta, BC V4K 1W4  
604-946-9910  
Erin Maclellan

**SW Landscape Architect**  
919 Melbourne Avenue  
North Vancouver, BC  
V7R 1N8  
778-834-8959  
Steve Wong

### Drawing List

DP0.01	Cover Sheet
DP0.02	Context Plan
DP0.03	Site Plan
DP0.04	Site Photos
DP0.05	Fire Access Plan
DP0.06	Shadow Studies
DP1.01	Floor Plan
DP1.02	Roof Plan
DP2.01	Sections
DP2.02	Sections
DP3.01	Elevations
DP3.02	Exterior Finishes
DP3.03	Exterior Views
L1	Landscape Plan
L2	Landscape Details
E101	Lighting Plan
18-5038C-01	Utility Key Plan
18-5038C-02	Erosion & Sediment Control Plan Grading Pan (forthcoming under separate cover)
8613gp-40	Site Survey

### Project Statistics

Gross Building Area (Exterior Footprint) :	479.4sqm (5,160sqft)
Programmed Areas :	443.6sqm (3964sqft)
Circulation Areas :	75.3sqm (811sqft)
Net Structure :	35.7sqm (385sqft)
Site Area (extents as indicated on site plan):	770.9sqm (8298.2sqft)
Note: Site area/boundary determined by proponent based on reduced impact to existing infrastructure and vegetation.	
Site Coverage:	62.2%
FSR:	0.62
Building Height (modular building height): (base)	3.35m (11') 1.5m (5'0)max. 0.1m (0'4")min.
Setbacks:	
North (from site boundary)	0.0m (0'0")
North (face of Brock Hall West)	4.69m (15'4")
East (from site boundary)	0.0m (0'0")
East (face of Brock Hall East)	16.11m (52'10")
South (facing The Bosque)	Not applicable
West (from site boundary)	7.52m (24'8")

Parking: Not applicable  
Loading: No loading required, existing Brock Hall loading to be utilized

Exclusions: Not applicable

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Issuance	Date
Issued for DP application	16/05/2019
DRC Comments	17/06/2019

Rev	Description	Date
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### Ryder

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Vancouver BC V6B 2Y5

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info@ryderarchitecture.ca

Project  
Infrastructure Development, Project Services  
UBC Counselling Services  
1930 East Mall, Vancouver, BC V6T 1Z1

Drawn by	Checked by	Status
Author	Checker	
Project ID.	Project No.	Scale @ 22x34
	1837300-	12" = 1'-0"

Drawing  
**Cover Sheet**

Drawing No.

# DP0.01



Rev	Description	Date
2	Final Loc'n. RT HRV	06/14/19

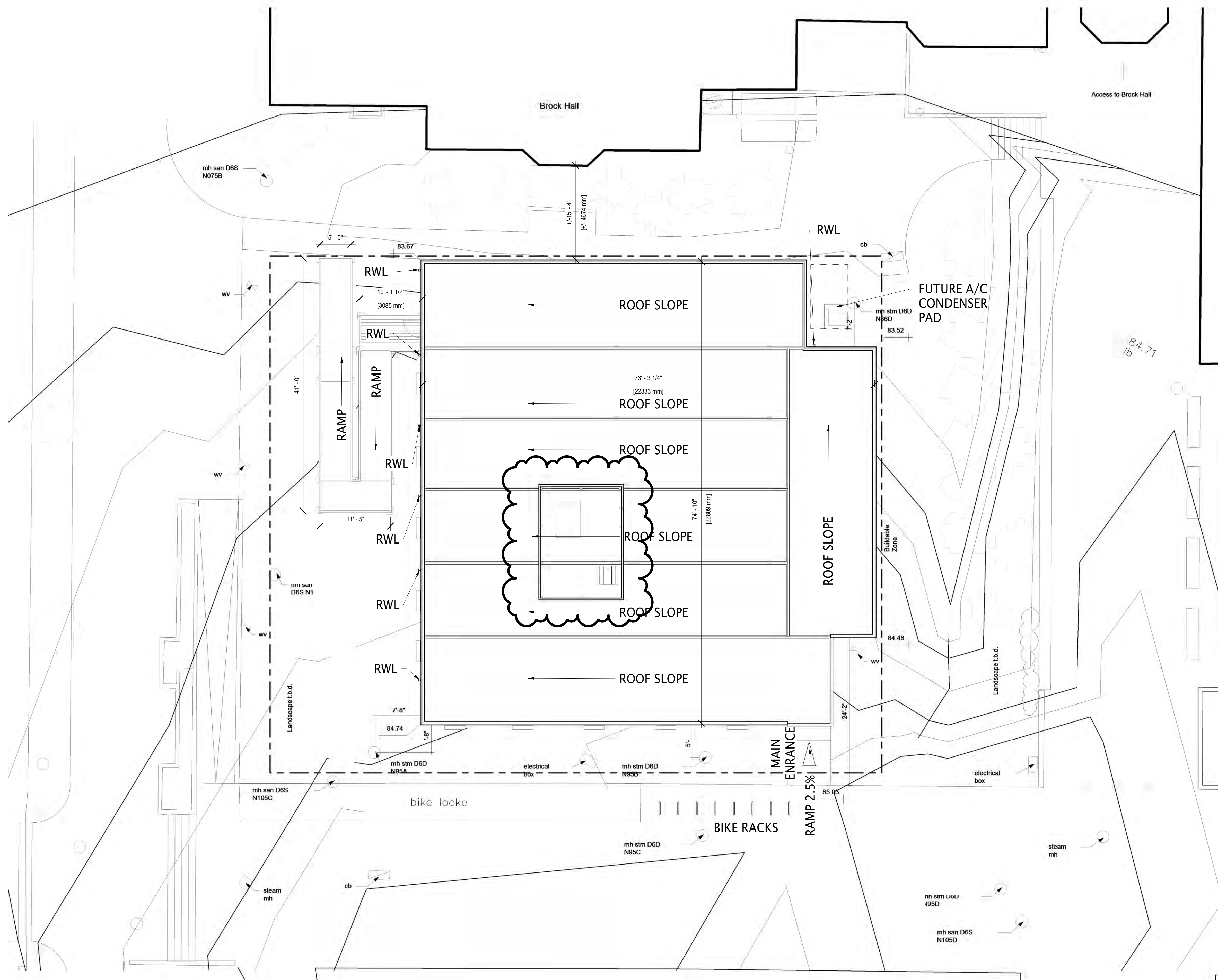


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Drawn by BB	Checked by Checker	Status
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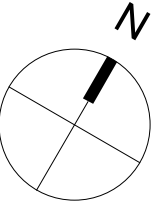
Drawing No.

DP0.03



**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

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Project  
**Infrastructure Development, Project Services**  
**UBC Counselling Services**  
**1930 East Mall, Vancouver, BC V6T 1Z1**

Drawn by	Checked by	Status
<b>Author</b>	<b>Checker</b>	
Project ID.	Project No.	Scale @ 22x34
	<b>1837300-</b>	<b>1" = 20'-0"</b>

Drawing  
**Fire Response Plan**

Drawing No.

**DP0.05**

IK Barber Learning  
Centre

Fire Hydrant

Fire Dept.  
Pump Vehicle

20.00 m  
BCBC 3.2.5.5.(2).(c).

1.45 m  
BCBC 3.2.5.3.(2)

6.00 m  
BCBC 3.2.5.6.(1)(a)

East Mall

Fire Hydrant

R 45 m  
BCBC 3.2.5.15.(2)

Brock Hall  
West

Brock Hall  
East

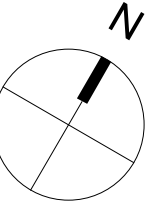
Hillel  
House

North  
Parkade

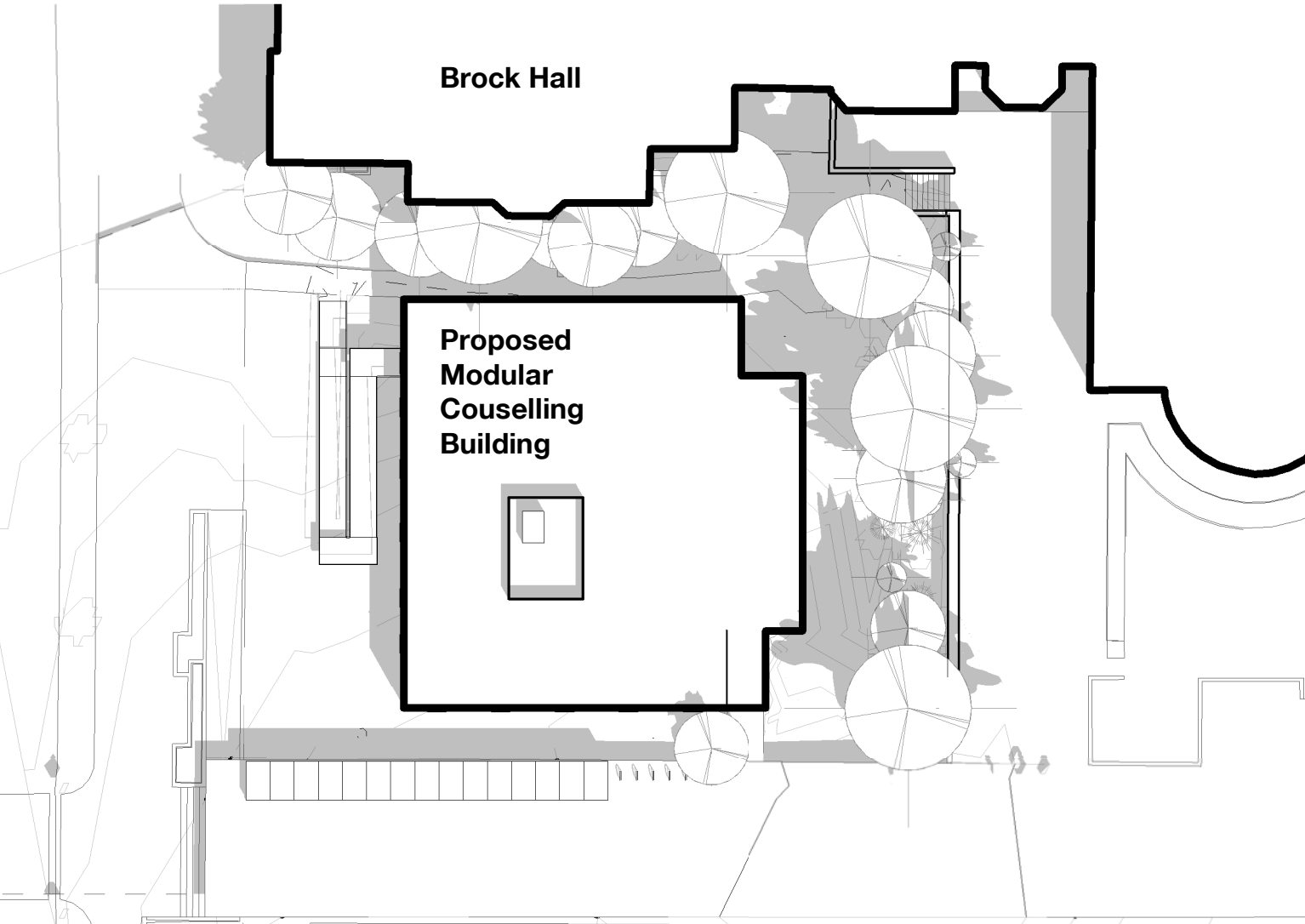
Fire Hydrant



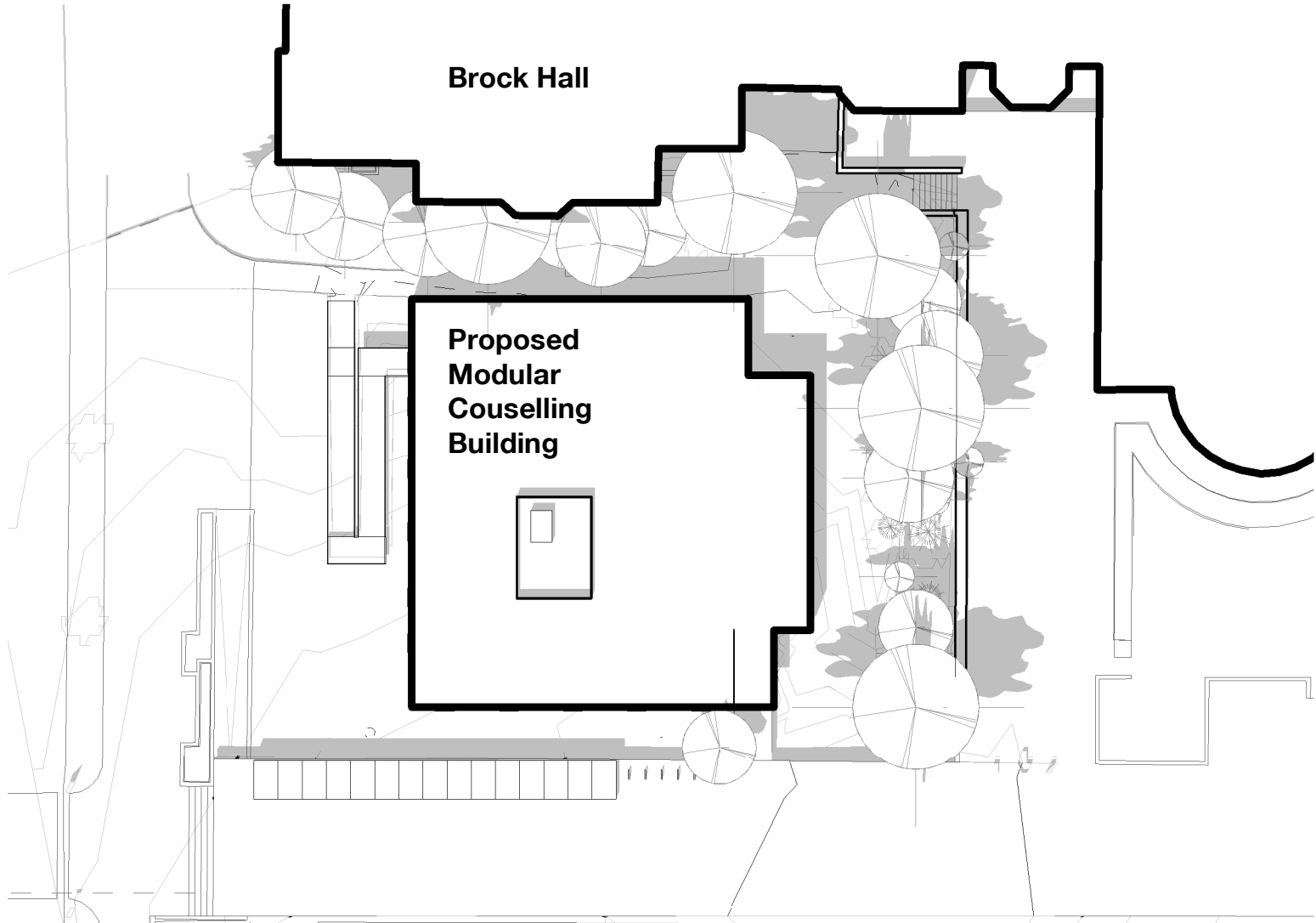
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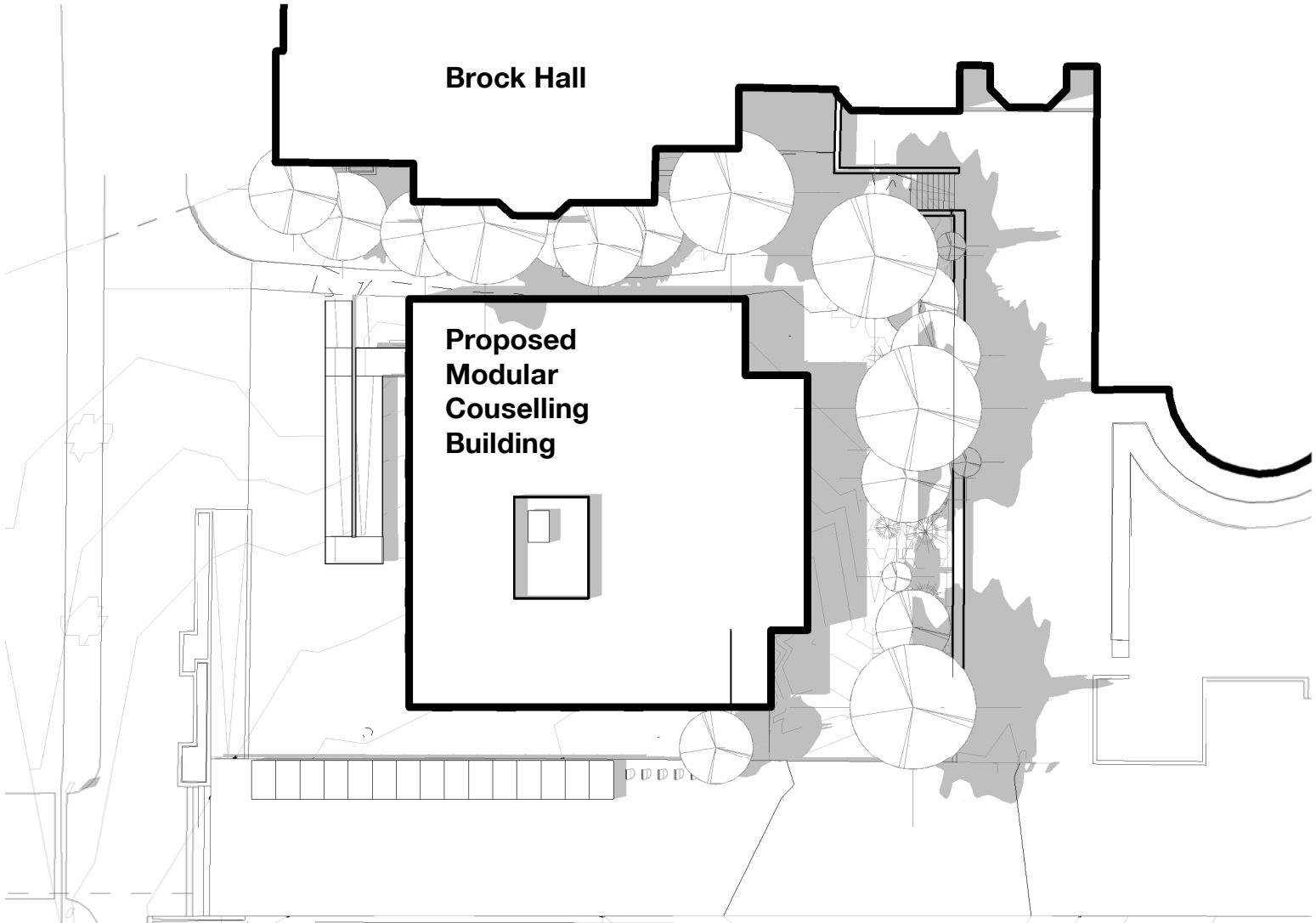
Issuance	Date
Issued for DP application	16/05/2019
DRC Comments	17/06/2019



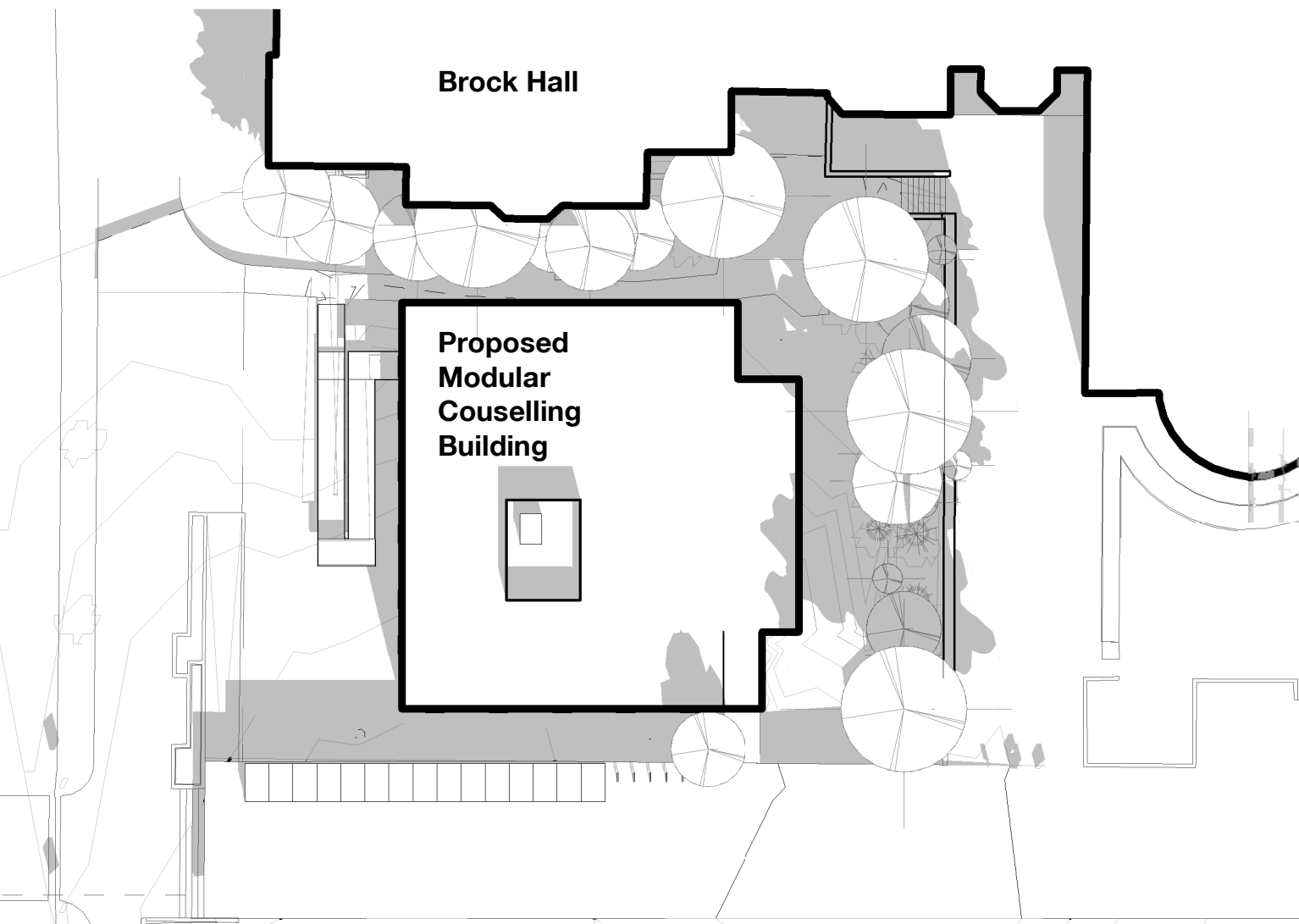
**1** Solstice @ 10 am  
DP0.06 1" = 30'-0"



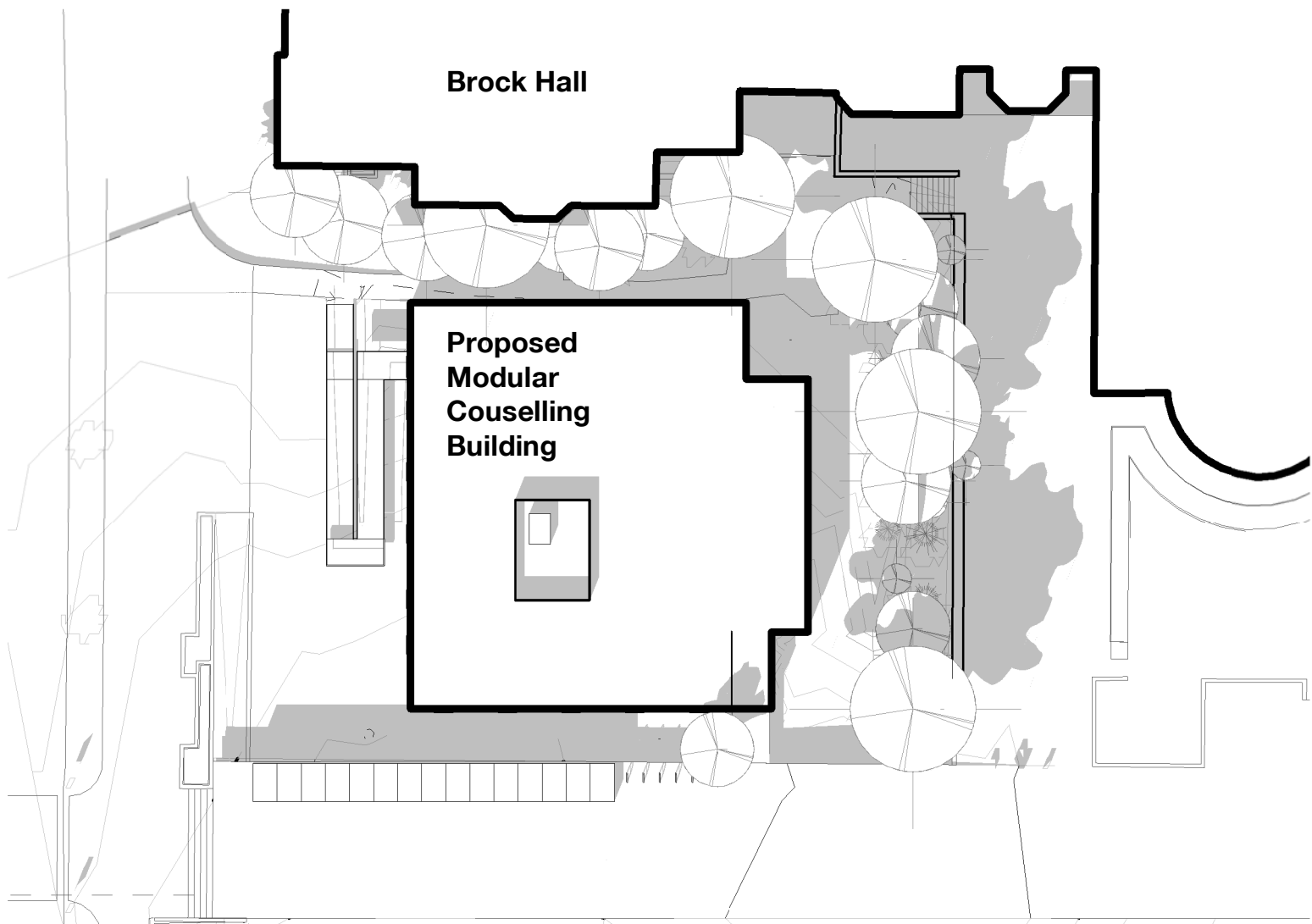
**2** Solstice @ 12 pm  
DP0.06 1" = 30'-0"



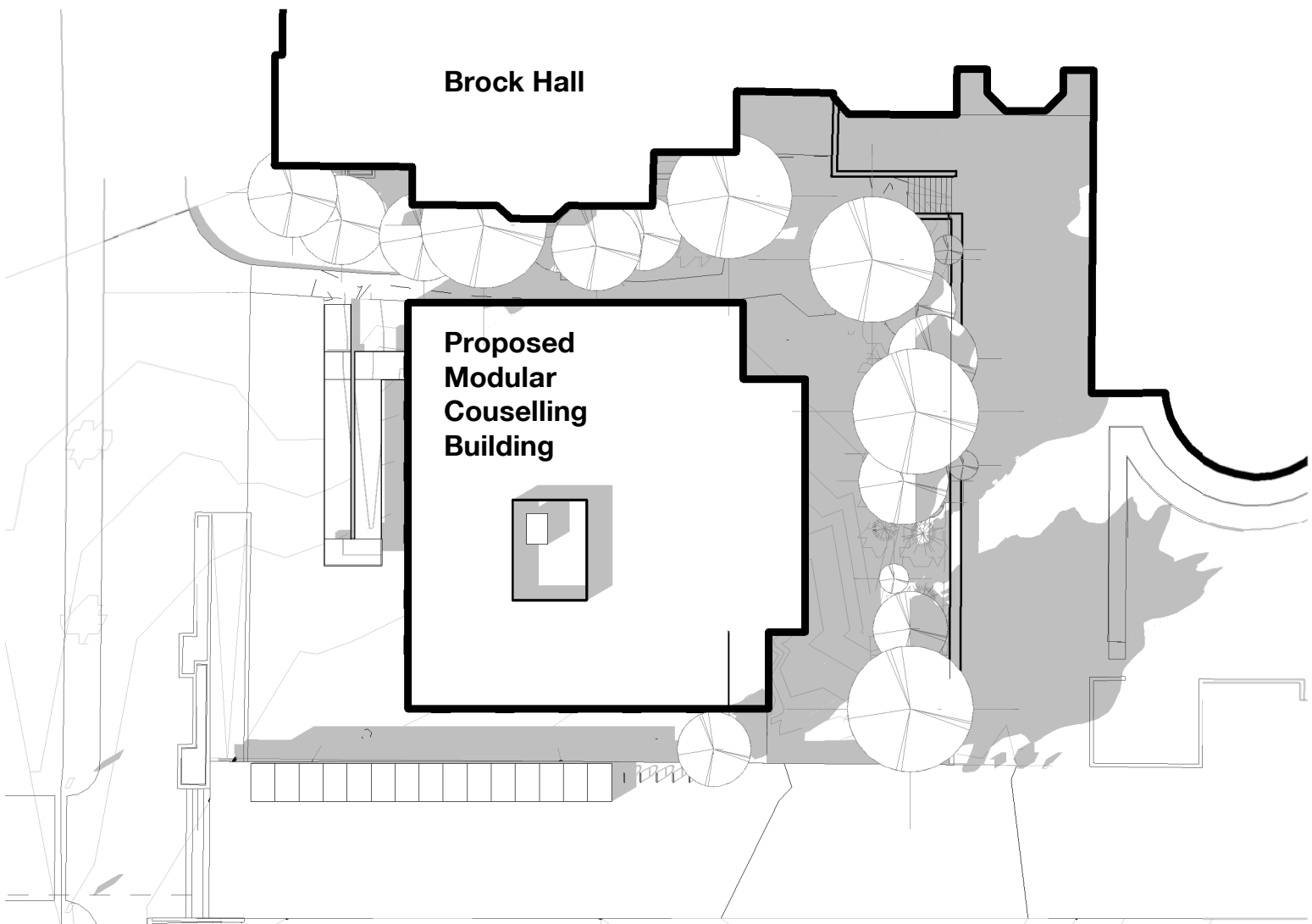
**3** Solstice @ 2 pm  
DP0.06 1" = 30'-0"



**4** Equinox @ 10 am  
DP0.06 1" = 30'-0"



**5** Equinox @ 12 pm  
DP0.06 1" = 30'-0"



**6** Equinox @ 2 pm  
DP0.06 1" = 30'-0"

Rev	Description	Date
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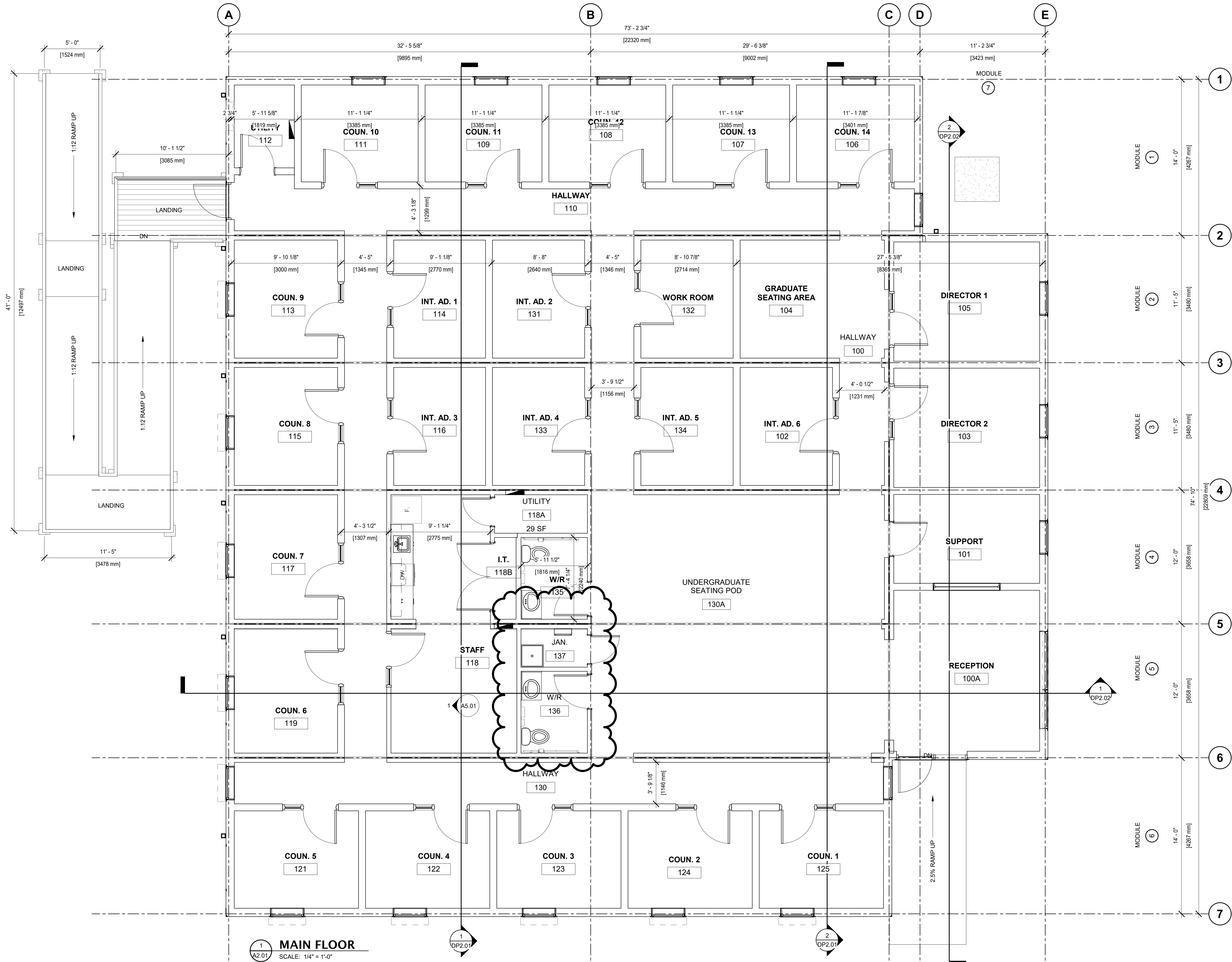
Project  
Infrastructure Development, Project Services  
UBC Counselling Services  
1930 East Mall, Vancouver, BC V6T 1Z1

Drawn by	Checked by	Status
Author	Checker	
Project ID.	Project No.	Scale @ 22x34
	1837300-	1" = 30'-0"

Drawing  
Shadow Analysis

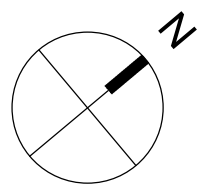
Drawing No.

DP0.06



1 A2.01 **MAIN FLOOR**  
SCALE: 1/4" = 1'-0"

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Issuance	Date
Revision 1	Date 1

Rev	Description	Date
1	Revise Staff Room 128	05/21/19
2	Final Loc'n. RT HRV	06 14 19



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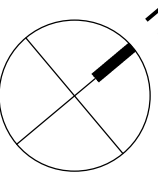
Project  
Infrastructure Development, Project Services  
UBC Counselling Services  
1930 East Mall

Drawn by BB	Checked by CB/CB	Status
Project ID. 1837300-	Project No. 1837300-	Scale @ 22x34 1/4" = 1'-0"

Drawing  
**Main Floor Plan**

Drawing No.

**DP1.01**



Issuance	Date
Revision 1	Date 1

Rev	Description	Date
1	Addit'n of RT HRV	05 29 19
2	Final Loc'n. RT HRV	06 14 19



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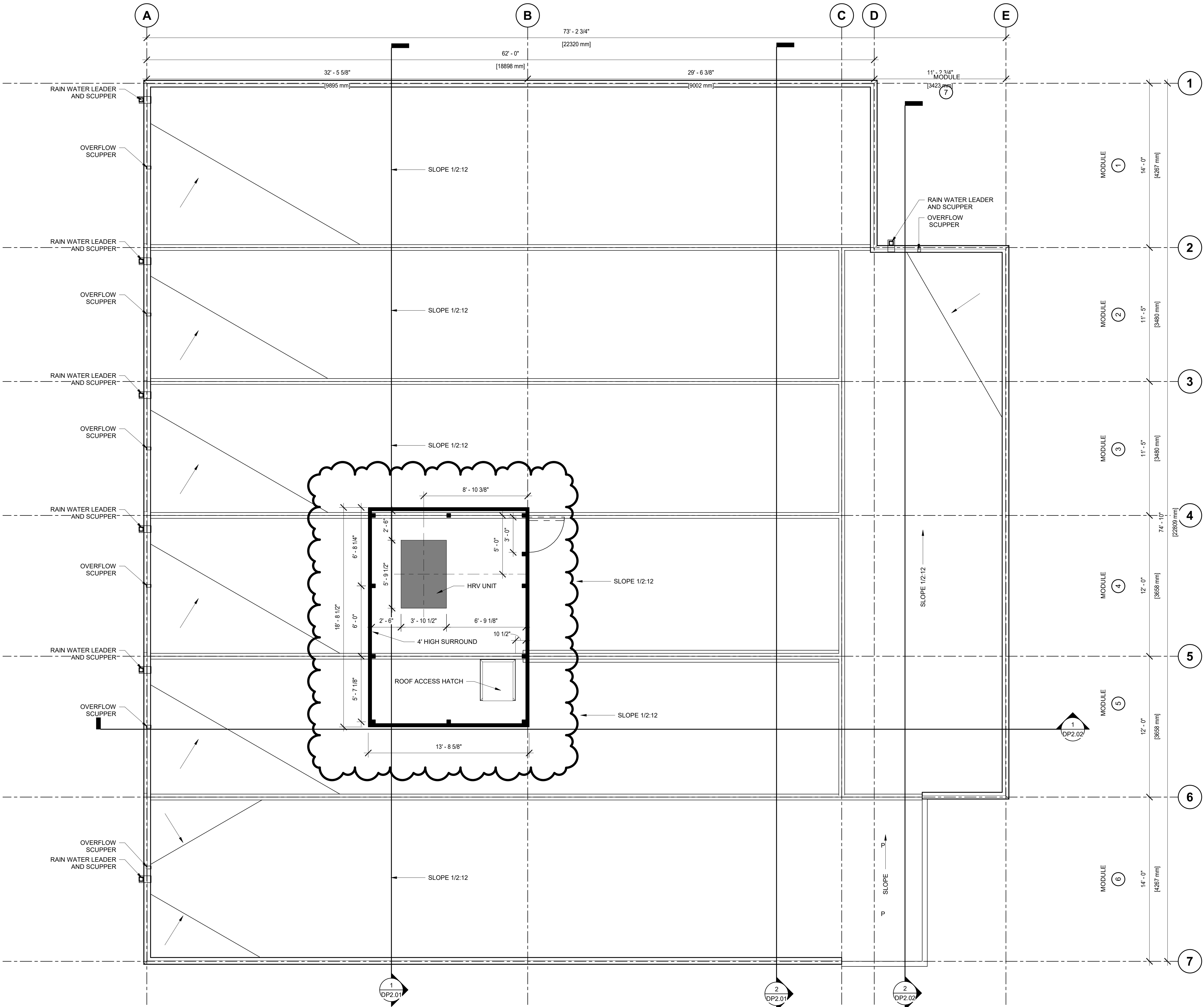
Project  
Infrastructure Development, Project Services  
UBC Counselling Services  
1930 East Mall

Drawn by BB	Checked by CB/CB	Status
Project ID. 1837300-	Project No. 1837300-	Scale @ 22x34 1/4" = 1'-0"

Drawing  
**Roof Plan**

Drawing No.

**DP1.02**



Issuance	Date
Revision 1	Date 1

Rev	Description	Date
1	Addit'n of RT HRV	05 29 19
2	Final Loc'n. RT HRV	06 14 19



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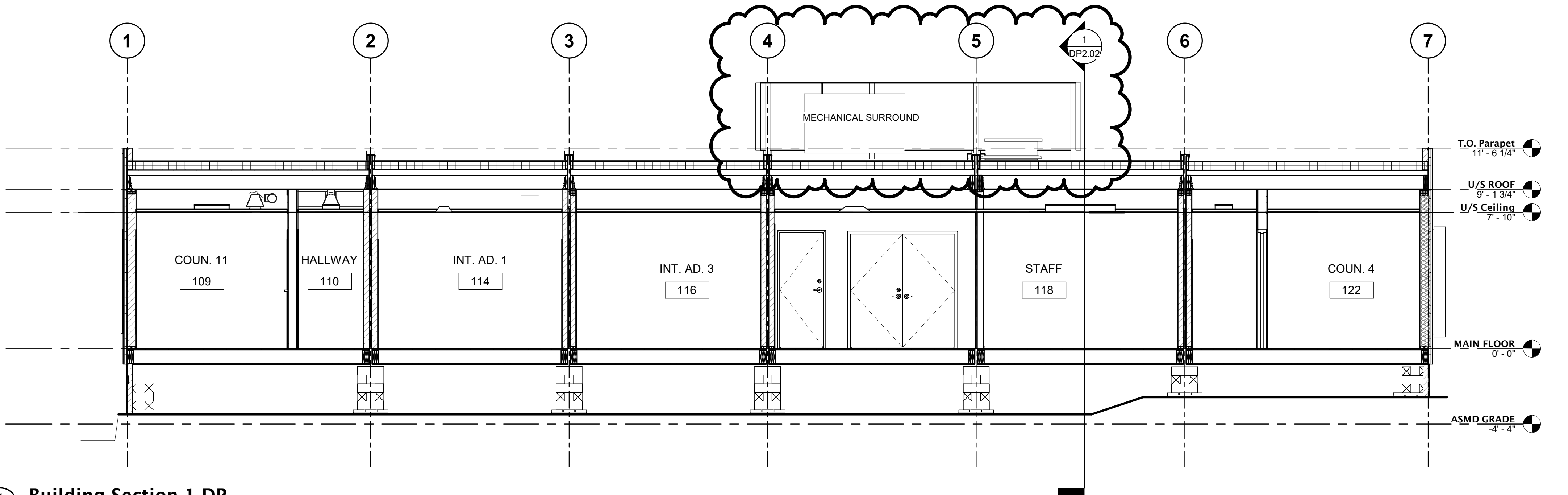
Project  
Infrastructure Development, Project Services  
UBC Counselling Services  
1930 East Mall

Drawn by Author	Checked by Checker	Status
Project ID. 1837300-	Project No. 1837300-	Scale @ 22x34 1/4" = 1'-0"

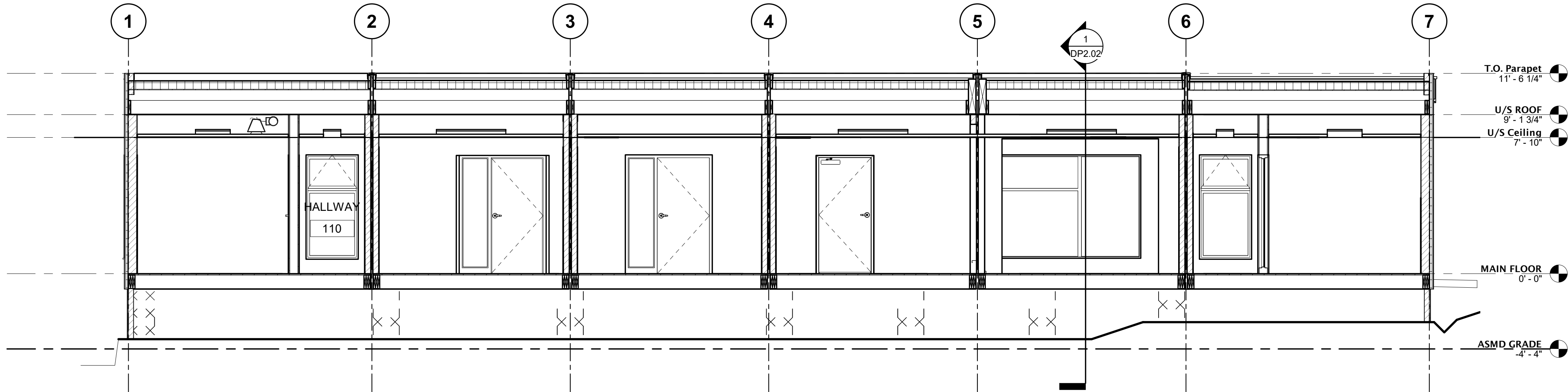
Drawing  
Building Sections

Drawing No.

DP2.01



1 Building Section 1 DP  
SCALE: 1/4" = 1'-0"



2 Building Section 2 DP  
SCALE: 1/4" = 1'-0"



Issuance	Date
Revision 1	Date 1

Rev	Description	Date
1	Addit'n of RT HRV	05 29 19
2	Final Loc'n. RT HRV	06 14 19



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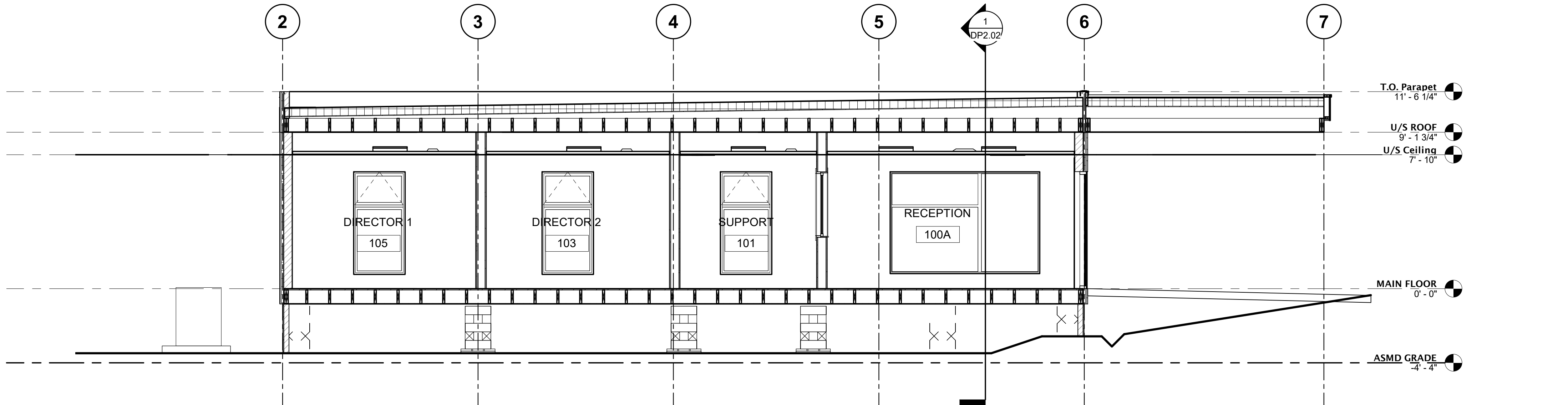
Project  
Infrastructure Development, Project Services  
UBC Counselling Services  
1930 East Mall

Drawn by	Checked by	Status
Author	Checker	
Project ID.	Project No.	Scale @ 22x34
	1837300-	1/4" = 1'-0"

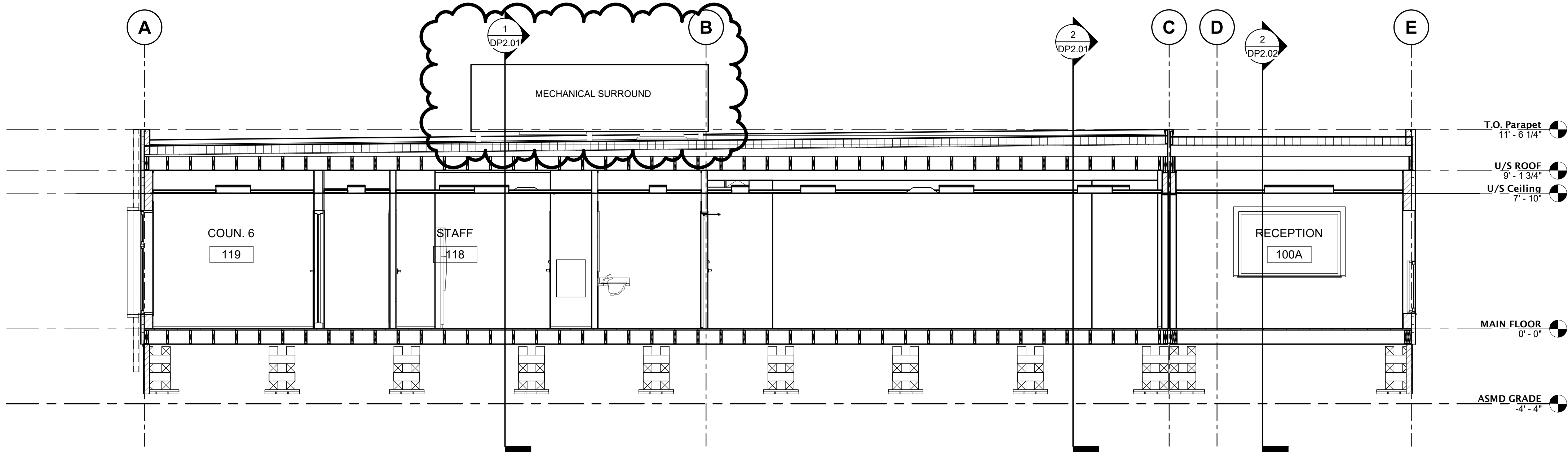
Drawing  
Building Sections

Drawing No.

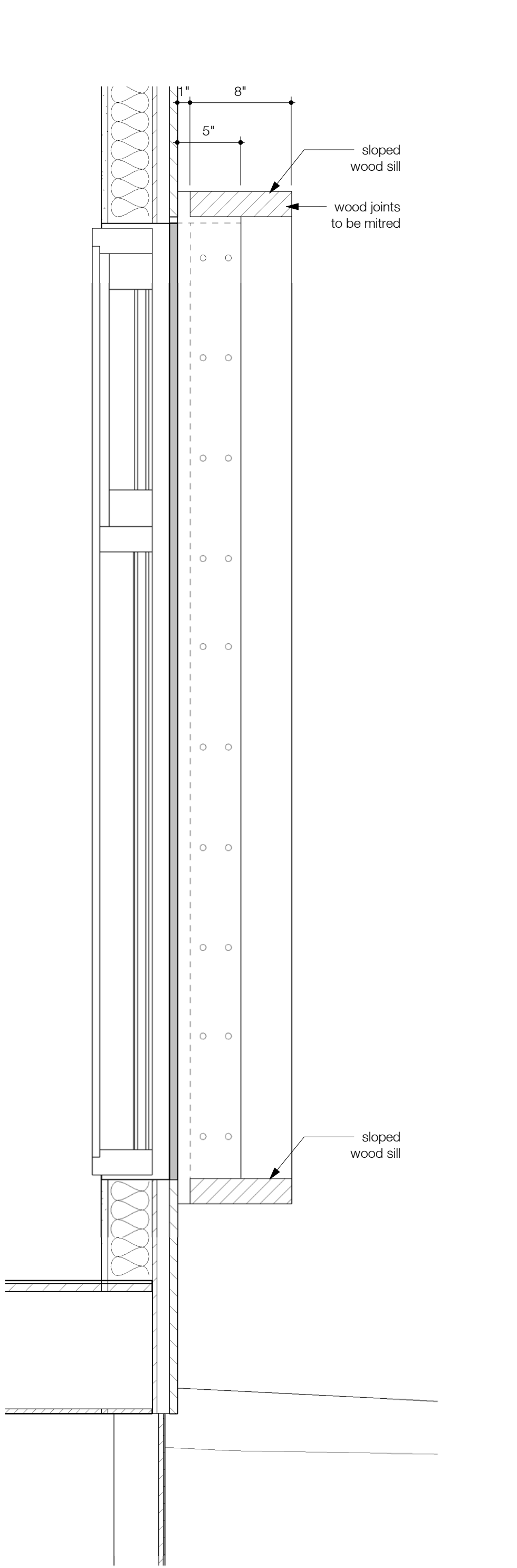
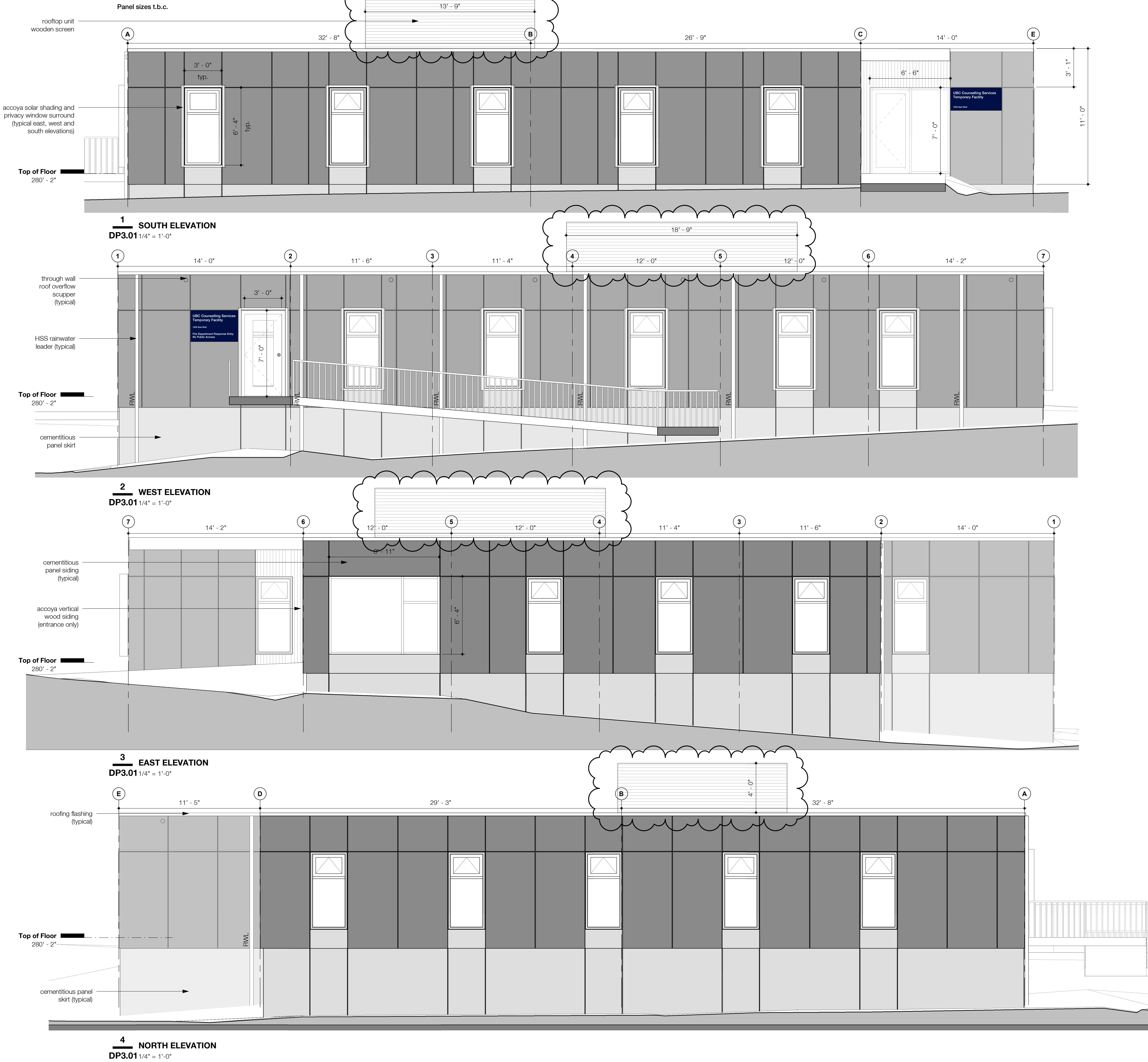
DP2.02



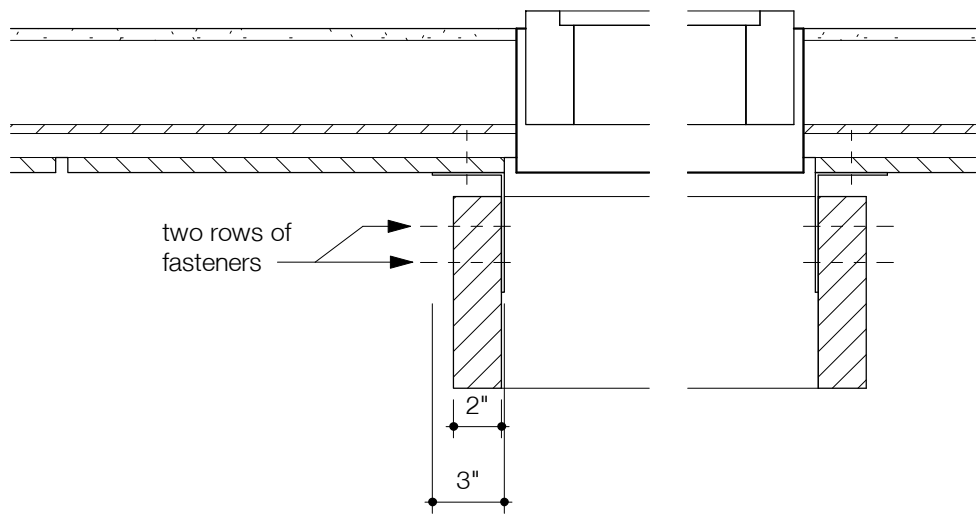
**2 Building Section 3 DP**  
VP1.01 SCALE: 1/4" = 1'-0"



**1 Building Section 4 DP**  
VP1.01 SCALE: 1/4" = 1'-0"



**5 Fin Attachment Detail Section**  
DP3.01 1 1/2" = 1'-0"



**6 Fin Attachment Detail Plan**  
DP3.01 1 1/2" = 1'-0"

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Issued for DP application	16/05/2019
DRC Comments	17/06/2019

Rev	Description	Date
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Project  
Infrastructure Development, Project Services  
UBC Counselling Services  
1930 East Mall, Vancouver, BC V6T 1Z1

Drawn by JLI	Checked by WSC	Status
Project ID.	Project No. 1837300-	Scale @ 22x34 As indicated

Drawing  
**Exterior Elevations**

Drawing No.

**DP3.01**





Exterior View - South East



Exterior View - South West



Exterior View - North East



Exterior View - North West

Issuance	Date
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DRC Comments	17/06/2019

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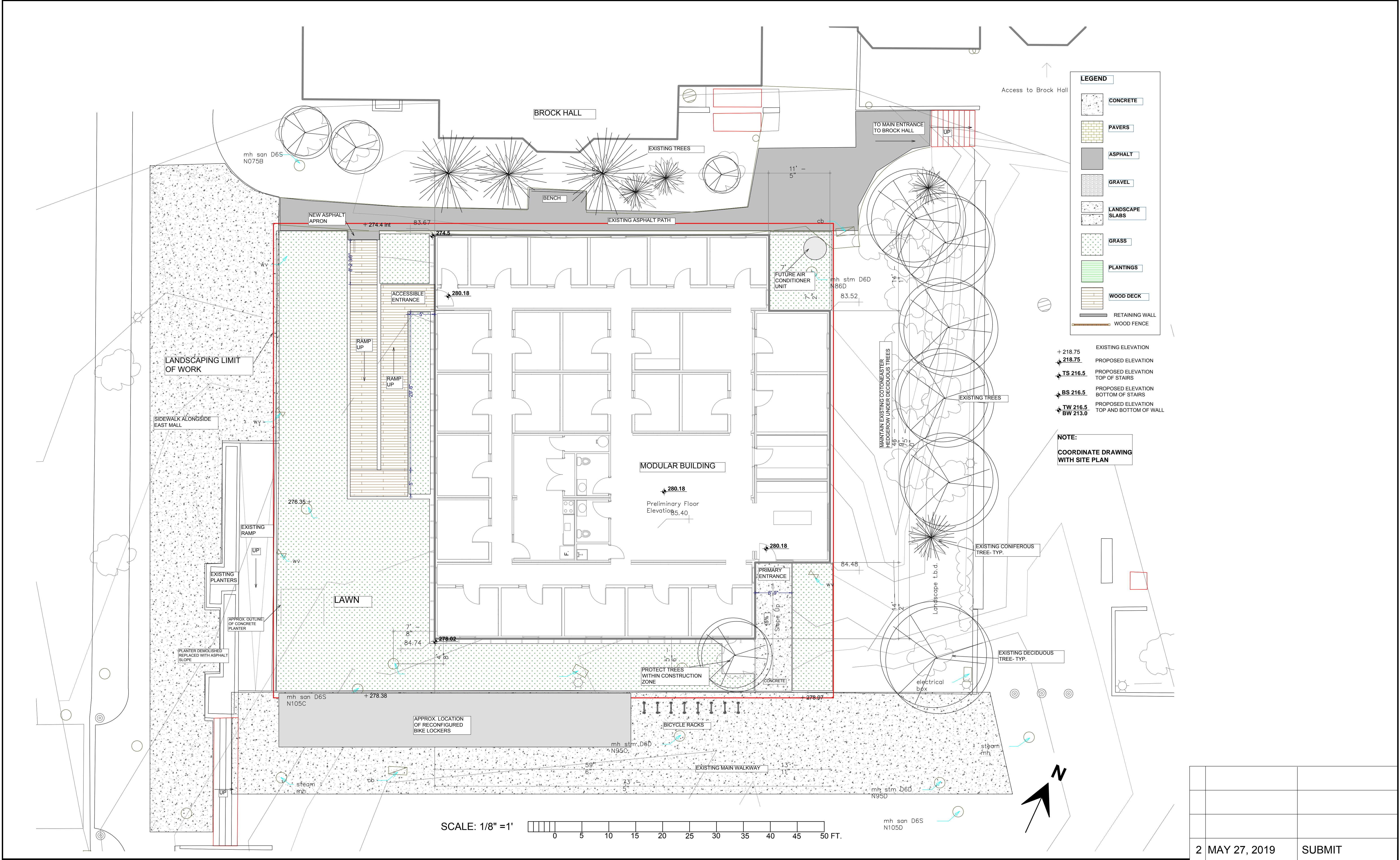
Project  
Infrastructure Development, Project Services  
UBC Counselling Services  
1930 East Mall, Vancouver, BC V6T 1Z1

Drawn by <b>Author</b>	Checked by <b>Checker</b>	Status
Project ID. <b>1837300-</b>	Project No. <b>12"</b>	Scale @ 22x34 <b>12" = 1'-0"</b>

Drawing  
**Exterior Views**

Drawing No.



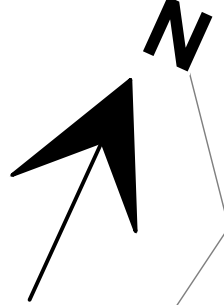


**LEGEND**

- CONCRETE
- PAVERS
- ASPHALT
- GRAVEL
- LANDSCAPE SLABS
- GRASS
- PLANTINGS
- WOOD DECK
- RETAINING WALL
- WOOD FENCE

- NOTE:**  
COORDINATE DRAWING  
WITH SITE PLAN
- + 218.75 EXISTING ELEVATION
  - + 218.75 PROPOSED ELEVATION
  - TS 216.5 PROPOSED ELEVATION TOP OF STAIRS
  - BS 216.5 PROPOSED ELEVATION BOTTOM OF STAIRS
  - TW 216.5 PROPOSED ELEVATION TOP AND BOTTOM OF WALL
  - BW 213.0

SCALE: 1/8" = 1' 0 5 10 15 20 25 30 35 40 45 50 FT.





SAMPLE : REQUEST for VARIANCE WORKSHEET

Date	No.	Type (Architectural, Mechanical or Electrical)	Status (Approved / Not Approved)	UBC Tech Guideline Waiver Needed	Capital Cost Savings	Tech Guideline Reference	Details of Proposed Variance and Comments	Operating Cost Impact	Maintenance Cost Impact
17/06/2019	1	Mechanical		YES	N/A	20 00 05 - 2.2.8 All rooftop equipment (including fans) shall be accessible for service without the use of ladders.	The rooftop unit will be accessible from a ladder and hatch from inside the building. The hatch is 30" wide by 36" long. Maintenance of the roof top unit will be performed within the surrounding screen/barrier enclosure and not from a ladder. The hatch specification is as follows: Maxam Metal Products model Max-14 Insulated (for ladder access).	No impact	No impact
17/06/2019	2	Architectural		YES	N/A	11 81 29 - 2.2.3.1 Buildings or Surfaces greater than 10' but less than 25' above Grade: A fall protection system design is required for use by employees for the purpose of fall restraint and fall arrest.	The modular building itself is approximately 11' in height, marginally above the height requirement noted in the Technical Guidelines, however the initial temporary location is a sloping site, adding approximately 5' of additional height at the most extreme location. The small size and limited extents of the variation required were reviewed with the UBC Building Operations architectural technical department and deemed acceptable.	No impact	No impact

**DATA SHEET  
SUBMITTAL REVIEW**



q Approved      q Approved with Changes Noted  
q Revise and Resubmit   q Rejected \_\_\_\_\_

Submittal was reviewed for design conformity and general conformance to contract documents only. Metric Modular is responsible for confirming and correlating dimensions at job site for tolerance, clearance, quantities, fabrications processes and techniques of construction, coordination of this work with other trades and full compliance with contract documents

Client: \_\_\_\_\_ Date: \_\_\_\_\_



**1837300-SD-077200-001**

1 No. Roof access hatch, "Maxam" MAX-14, 36" x 30" c/w steel curb insulated w/ 1" rigid insul.

1 No. Ladder "Maxam" Ladder, 16" wide (clear) x 11'-6" long c/w wall and floor mounted brackets , turned out. Fasten with lag screws to blocking in wall & floor, grey oxide primer finish.



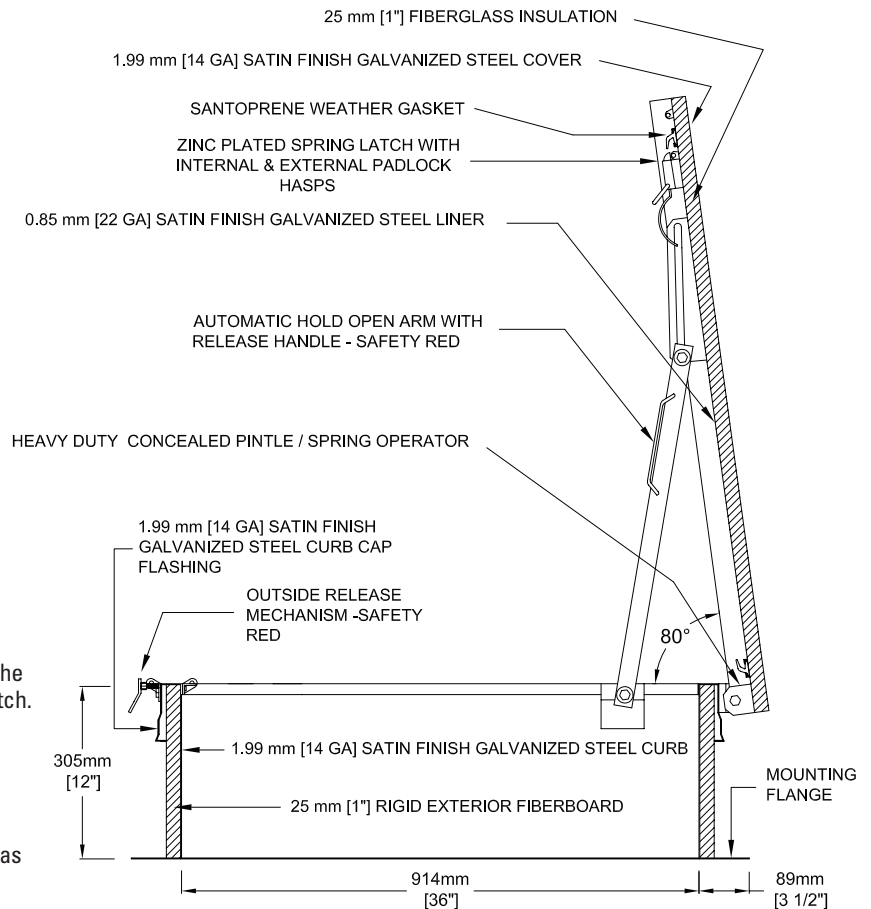
## STEEL CURBED ROOF HATCH

### MODEL MAX-14 Insulated – For Ladder Access

Size: 914mm x 762mm (3' - 0" x 2' - 6")



- Sturdily constructed from 1.99mm (14ga) steel to withstand rough handling.
- Operable from the inside by a handle and the outside with a weather proof push button release mechanism.
- The spring hinge design allows for a larger free area when the roof hatch is in the open position.
- Heavy-duty concealed spring hinges counterbalance the cover, allowing for easy opening and closing of the hatch.
- Weather gasketing, 25mm (1") rigid exterior fiberboard insulation on the curb, and 25mm (1") fiberglass inner cover insulation ensure weather tightness and energy efficiency.
- The lid has no exposed hardware, thus eliminating areas where water penetration and corrosion could occur.
- The external padlock hasp is designed to have the lock secured under the lid to protect it from the elements.
- Designed for ladder access.



#### Cover

1.99mm (14ga) satin finish galvanized steel, designed to be operable internally and externally

#### Cover Insulation

25mm (1") fiberglass

#### Cover Liner

0.85mm (22ga) satin finish galvanized steel

#### Latch

Zinc plated spring latch with padlock hasps

#### Curb Frame

305mm (12") high, 1.99mm (14ga) satin finish galvanized steel

#### Curb Cap Flashing

1.99mm (14ga) satin finish galvanized steel with all exposed joints welded to ensure watertight construction

#### Curb Insulation

25mm (1") rigid exterior fiberboard

#### Mounting Flange

Width 89mm (3 1/2") complete with 11mm (7/16") mounting holes

#### Cover Operator

Heavy duty concealed pintle/spring operators with 2.75mm (12ga) galvanized steel hinge bracket assembly.

#### Automatic Hold Open Arm

Painted safety red with release handle

#### Weather Gasket

Extruded santoprene: 100% recovery at 50% deflection

#### Locking Mechanism

Internal and external padlock hasps

#### Finish

Grey primer, electrostatically applied

#### Ordering

The second number is the hinge side. Frame into the size of the roof hatch ordered. Contact us at MAXAM for more details.

#### Guarantee

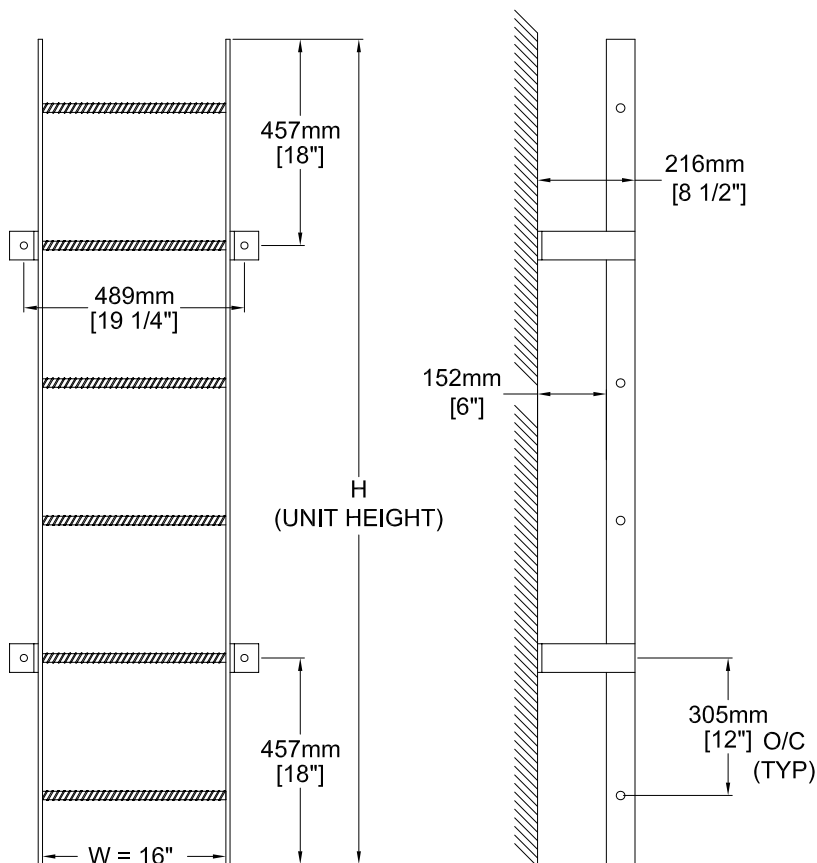
Manufacturer shall guarantee roof hatch against defects in material or workmanship for five years from date of shipping.

#### Accessories

Safety Grab Handle  
Ladder  
Safety Post

# MAXAM LADDER SUBMITTAL SHEET

Generic and manufactured  
to your specifications.



## SPECIFICATIONS

**RUNGS:** 19mm (3/4") Ø steel (with raised surface for added foot grip on 305mm (12") vertical centres.

**RISERS:** 9.5mm X 64mm (3/8" X 2-1/2" steel flat bars.

**BRACKETS:** 9.5mm X 64mm (3/8" X 2-1/2" steel flat bars c/w 16mm (5/8") Ø mounting holes.

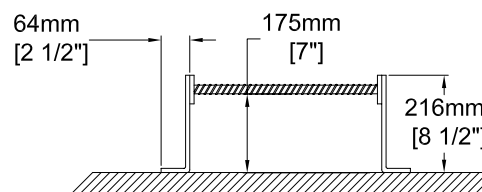
**FINISH:** Grey oxide primer.

**NOTE:** Other lengths available.  
Rungs are certified weldable.

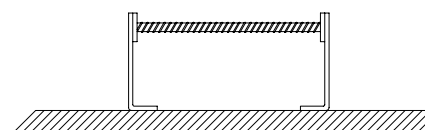
## OPTIONS (CHECK OFF REQUIRED OPTIONS)

### FLOOR MOUNTED

- ☐ BRACKETS TURNED OUTWARD
- ☐ BRACKETS TURNED INWARD
- ☐ HOT DIPPED GALVANIZED FINISH



**WALL MOUNTED  
BRACKETS TURNED  
OUTWARD**



**WALL MOUNTED  
BRACKETS TURNED  
INWARD**

ENTER DESIRED  
DIMENSIONS

H = \_\_\_\_\_

W = 16"



Maxam Metal Products Ltd.  
British Columbia, Canada

Tel: 604-433-4243

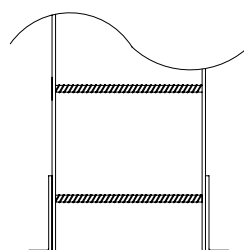
Fax: 604-433-4148

Toll Free Tel: 1-866-446-2926

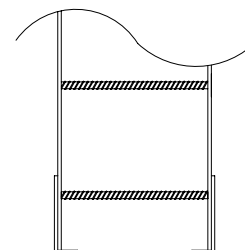
Toll Free Fax: 1-866-436-2926

Website: [www.maxammetal.com](http://www.maxammetal.com)

Email: [info@maxammetal.com](mailto:info@maxammetal.com)



**FLOOR MOUNTED  
BRACKETS TURNED  
OUTWARD**



**FLOOR MOUNTED  
BRACKETS TURNED  
INWARD**

PROJECT:			
CONTRACTOR:			
ARCHITECT:			
DRAWN BY: KJK / RMS	DATE: 01/01/03 08/06	QUANTITY:	TITLE: GENERIC LADDER

\* Specifications subject to change without notice.