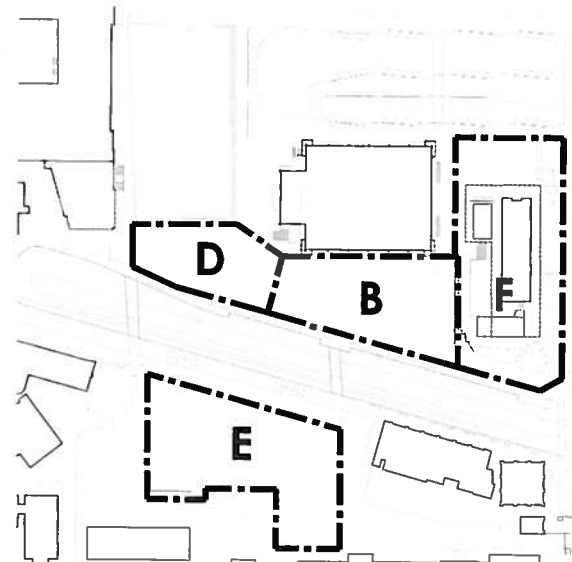


**APPROVED**

Campus & Community Planning  
University of British Columbia

By: YMC  
Date: May 4/15



Key Plan Showing Sites

**Project Statistics**

Site Coverage: N/A (Note: Extent of work boundary shown on drawing DP1.01)

Building Height: 6 storeys  
Highest building face: west elevation 72 ft (21.95m)  
Highest roof datum: 365 ft (111.25m), exclusive of elevator overrun.

Setbacks:  
South - 25 ft (7.6m) setback from existing street curb provided (sidewalk width 31 ft at grade level)  
East - Building face aligns to east face of WMG and service access laneway  
North - 40 ft min. setback to SW corner base of WMG; 75 ft setback to SE corner base of WMG.  
West - Building extends to underground services corridor adjacent to proposed underground bus parking structure.

**Building Data**

**Apartment Building (Rental) - Unit Breakdown**

Unit Type	# of br	sf/unit	# of units						Total # of units	Unit Mix
			L2	L3	L4	L5	L6	L7		
A	studio	350-495	15	15	15	15	15	60	61%	
B	1 Br	525-677	2	2	2	2	1	9	9%	
C	2 Br	739-798	1	2	2	2	10	17%		
D	3 Br	961-1180	1	3	3	3	2	12	12%	
Sub total			19	22	22	22	13	98	100%	

**Building Area**

Commercial Area (sf)	Levels 1+2		L1	L2	T Area	Comm. Efficiency *
	L1	L2				
CRU-1	2,290	745			3,035	
CRU-2	1,400				1,400	
CRU-3	1,007				1,007	
CRU-4	1,140				1,140	
CRU-5	1,384				1,384	
CRU-6	1,700				1,700	
Circulation	700				700	
<b>Total Commercial Area **</b>	<b>9,621</b>	<b>745</b>			<b>10,366</b>	<b>100.0%</b>

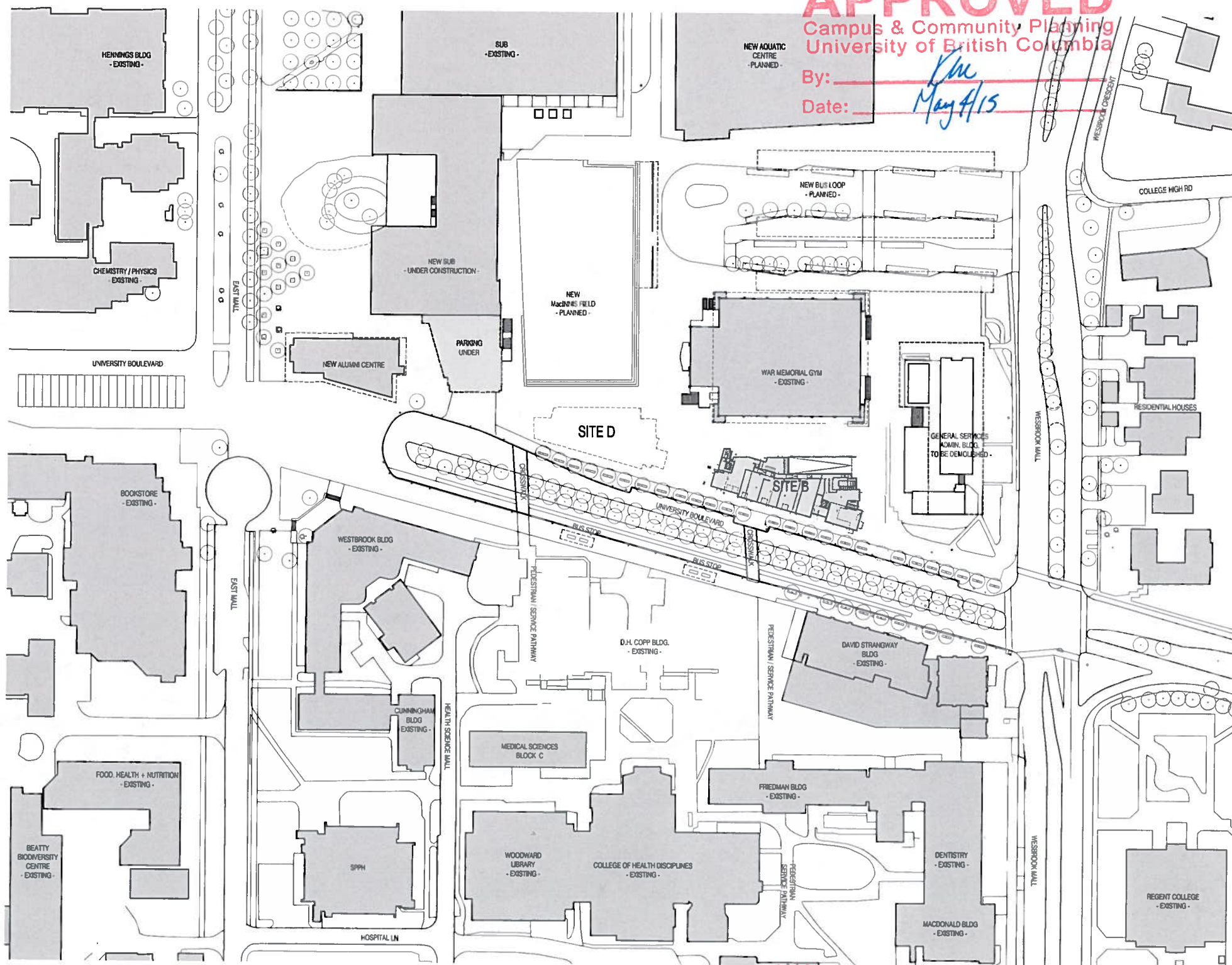
Residential Area (sf)	Levels 1-6						T Area	Res. Unit Area	Res. Efficiency *
	L1	L2	L3	L4	L5	L6			
Units	9,260	12,253	12,253	12,253	10,403		56,422	576	
Circulation	1,180	1,954	1,922	1,922	1,922	1,880	10,780	800	
Amenity	800						800		
<b>Total Res Floor Area</b>	<b>11,980</b>	<b>14,207</b>	<b>14,175</b>	<b>14,175</b>	<b>14,175</b>	<b>12,283</b>	<b>68,002</b>		<b>84.0%</b>

Gross Bldg Area (sf) * All Areas Levels 1-6	Levels 1-6						T Area	Bldg. Efficiency *
	L1	L2	L3	L4	L5	L6		
	11,601	11,959	14,175	14,175	14,175	12,283	78,368	85.1%

Floor Area Exclusions (sf)	Levels 1-6						T Area
	L1	L2	L3	L4	L5	L6	
Amenity	800						800
In-Suite Storage		285.0	434.0	434.0	434.0	482.0	2,069
<b>Total Area - Exclusions</b>	<b>800</b>	<b>285.0</b>	<b>434.0</b>	<b>434.0</b>	<b>434.0</b>	<b>482.0</b>	<b>2,869</b>
<b>Res Bldg Area w/ Exclusions</b>	<b>11,800</b>	<b>14,207</b>	<b>13,741</b>	<b>13,741</b>	<b>13,741</b>	<b>11,801</b>	<b>65,133</b>
<b>Total Bldg Area w/ Exclusions</b>	<b>12,601</b>	<b>16,166</b>	<b>18,175</b>	<b>18,175</b>	<b>18,175</b>	<b>14,282</b>	<b>90,002</b>

Parking Summary	Provided		Requirement		UBC Development Handbook sect 7-3 Reference
	Residential	Commercial	Residential	Commercial	
Vehicle Stalls	40	98	Min.	Min.	Max 1.0 space per dwelling (no minimum requirement) Min. 2 stalls per establishment Min. 0.1 spaces per dwelling
HC stalls***	4	10	Min.	Min.	Min. 0.1 spaces per dwelling

Bicycle Stalls	Provided		Requirement		UBC Development Handbook sect 7-3 Reference
	Residential	Commercial	Residential	Commercial	
Class 1 (long term)	147	147	1.5 stalls x T units	1.5 stalls x T units	(See also Campus Plan Design Guidelines pg 42)
Class 2 (short term)	45	45	16 stall rack / 35 units x T units	16 stall rack / 35 units x T units	
(at grade)	20	20	2 stalls per 1076 sf QG min.	4 stalls per establishment	
<b>Total Stalls</b>	<b>212</b>	<b>212</b>			



UBC Campus Plan  
(Showing New Aquatic Centre + New McInnis Field)

**RAMSAY WORDEN ARCHITECTS LTD.**  
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V6T 1A7  
T: 604 736-8800  
E: info@rwad.ca

UBC Properties Trust Ltd.  
101-555 Great Northern Way  
Vancouver, BC

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DOR
2	ISSUED FOR ABCP	2014.11.25	DOR
3	ISSUED FOR OP Board Meeting	2015.01.21	DOR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DOR

University Boulevard - Site B  
Site B, University Boulevard, UBC  
Vancouver, BC

REGISTERED ARCHITECT  
BRIAN DOUGLAS  
UBC Campus Plan  
Statistics

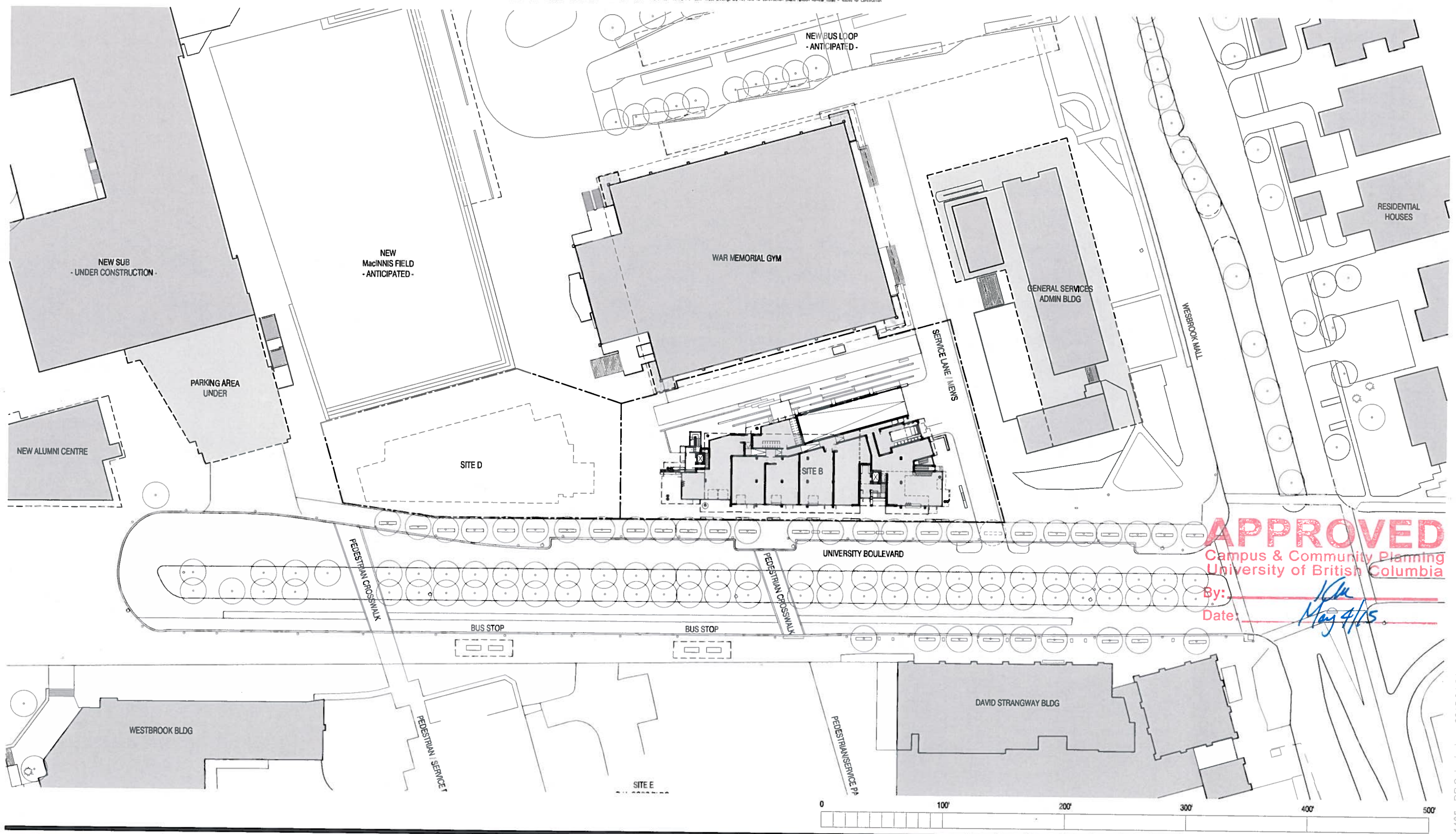
REVISIONS	DATE	SHEET NO.
1		



DP1.00



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 Campus & Community Planning  
 University of British Columbia

By: [Signature]  
 Date: May 4/15

**RAMSAY WORDEN ARCHITECTS LTD.**  
 205 Kingsway  
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CLIENT:  
**UBC Properties Trust Ltd.**  
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 Vancouver, BC

CONSULTANT:

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DOR				
2	ISSUED FOR AUP	2014.11.25	DOR				
3	ISSUED FOR DP Board Meeting	2015.01.21	DOR				
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DOR				

PROJECT TITLE:  
**University Boulevard - Site B Site Plan**  
 Site B, University Boulevard, UBC  
 Vancouver, BC

REVISIONS:  
 NORTH ARROW  
 DATE: --  
 DRAWN BY: --  
 JOB NUMBER: 1405  
 REVISION NO.: --  
 SCALE: 1" = 32'

SHEET NO.  
**DP1.01**

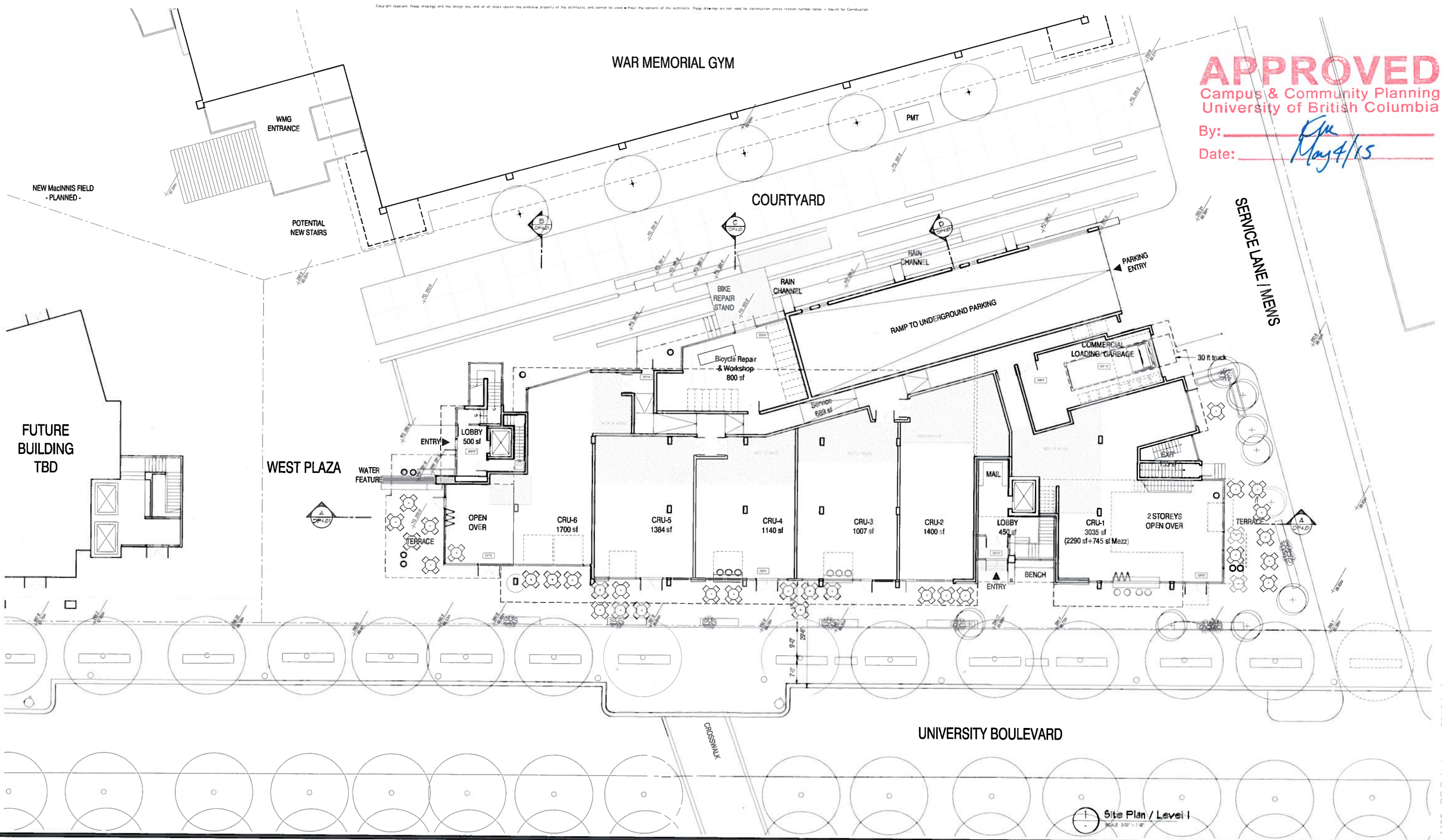
1405 - DP Submission - 2015.04.24



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 University of British Columbia

By: \_\_\_\_\_  
 Date: May 4/15



Site Plan / Level 1  
 SCALE 3/32" = 1'-0"

1405 - DP Submission - 2015.04.24

**RAMSAY  
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 Vancouver, B.C.  
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 E: info@rw.ca

CLIENT  
**UBC Properties Trust Ltd.**  
 101-555 Great Northern Way  
 Vancouver, BC

CONSULTANT:

NO	DESCRIPTION	DATE	BY	NO	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DDP				
2	ISSUED FOR ADUP	2014.11.25	DDR				
3	ISSUED FOR DP Board Meeting	2015.01.21	DDR				
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DDR				

PROJECT TITLE  
**University Boulevard - Site B**  
 Site B, University Boulevard, UBC  
 Vancouver, BC

DRAWING TITLE  
**Site Plan / Level 1**

REVISIONS

NO.	DATE	DESCRIPTION
1		

DRAWN BY: \_\_\_\_\_  
 JOB NUMBER: 1405  
 REVISION NO.: \_\_\_\_\_  
 SCALE: 3/32" = 1'-0"

**DP2.01**





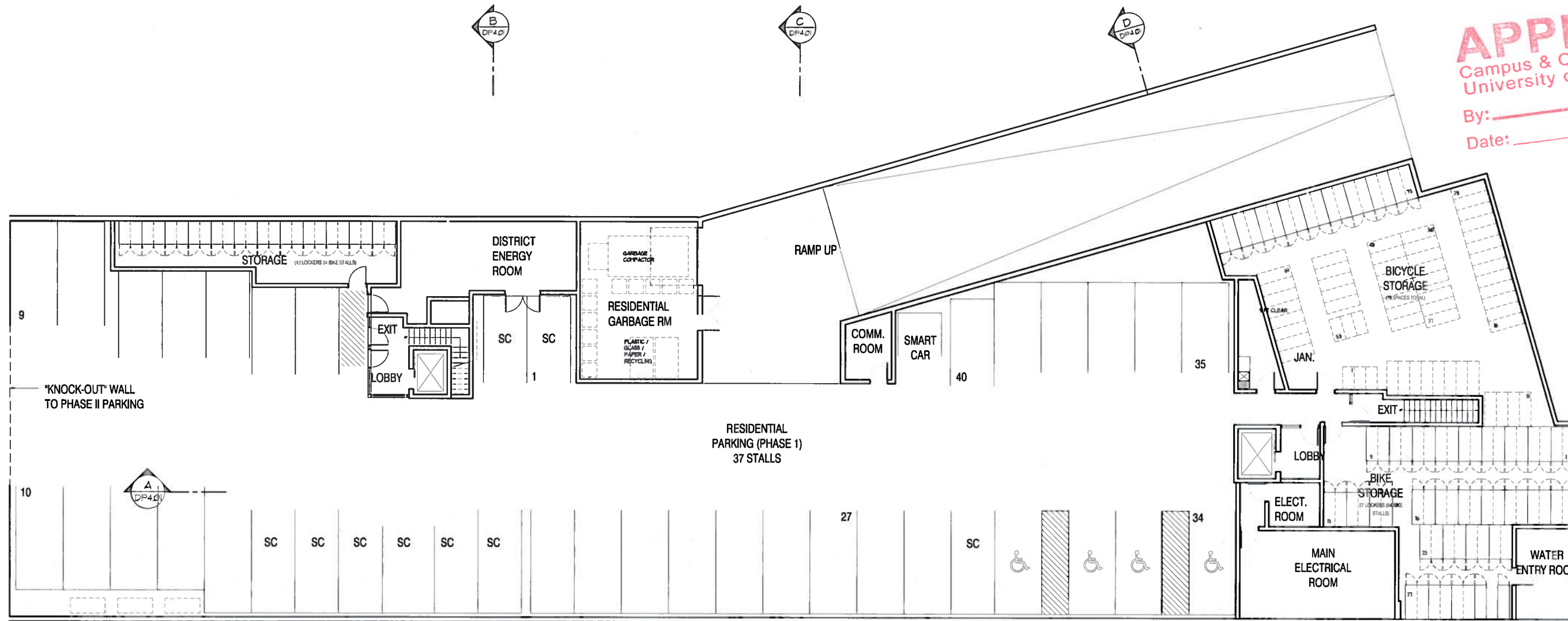








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 Campus & Community Planning  
 University of British Columbia  
 By: \_\_\_\_\_  
 Date: May 4/15



**P1 Parking Plan**  
 SCALE: 3/32" = 1'-0"

1405 - DP Submission - 2015.04.24



CLIENT:  
**UBC Properties Trust Ltd.**  
 101-555 Great Northern Way  
 Vancouver, BC

CONSULTANT:

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DDR
2	ISSUED FOR AUDP	2014.11.25	DDR
3	ISSUED FOR DP Board Meeting	2015.01.21	DDR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DDR

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DDR
2	ISSUED FOR AUDP	2014.11.25	DDR
3	ISSUED FOR DP Board Meeting	2015.01.21	DDR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DDR

PROJECT TITLE:  
**University Boulevard - Site B**  
 Site B, University Boulevard, UBC  
 Vancouver, BC

DRAWING TITLE:  
**Parking Plan**  
 Level P1

REVISIONS:

NO.	DATE	BY
1		

DRAWN BY: \_\_\_\_\_  
 JOB NUMBER: 1405  
 REVISION NO.: \_\_\_\_\_  
 SCALE: 3/32" = 1'-0"

**DP2.10**





1 South Elevation  
SCALE 1/8" = 1'-0"



1 East Elevation  
SCALE 1/8" = 1'-0"

**APPROVED**  
Campus & Community Planning  
University of British Columbia  
By: Dave  
Date: May 4/15

1405 - DP Submission - 2015 04 24

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NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DDR
2	ISSUED FOR AUSP	2014.11.25	DDR
3	ISSUED FOR DP Board Meeting	2015.01.21	DDR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DDR

PROJECT TITLE  
**University Boulevard - Site B**  
Site B, University Boulevard, UBC  
Vancouver, BC

DRAWING TITLE  
**Building Elevations**

REVISIONS	DATE	SHEET NO.
NORTH ARROW		
DRW BY: -		
JOB NO: 1405		
REVISION NO: -		
SCALE: 3/32" = 1'-0"		

**DP3.01**





- Roof 357'-10"
- Level 6 348'-10"
- Level 5 338'-10"
- Level 4 328'-10"
- Level 3 318'-10"
- Level 2 308'-10"
- Entry Lobby 295'-7"

1 North Elevation  
SCALE: 1/8" = 1'-0"



- Roof 357'-10"
- Level 6 348'-10"
- Level 5 338'-10"
- Level 4 328'-10"
- Level 3 318'-10"
- Level 2 308'-10"
- Entry Lobby 291'-6"

2 West Elevation  
SCALE: 1/8" = 1'-0"

**APPROVED**  
Campus & Community Planning  
University of British Columbia  
By: *[Signature]*  
Date: *May 4/15*

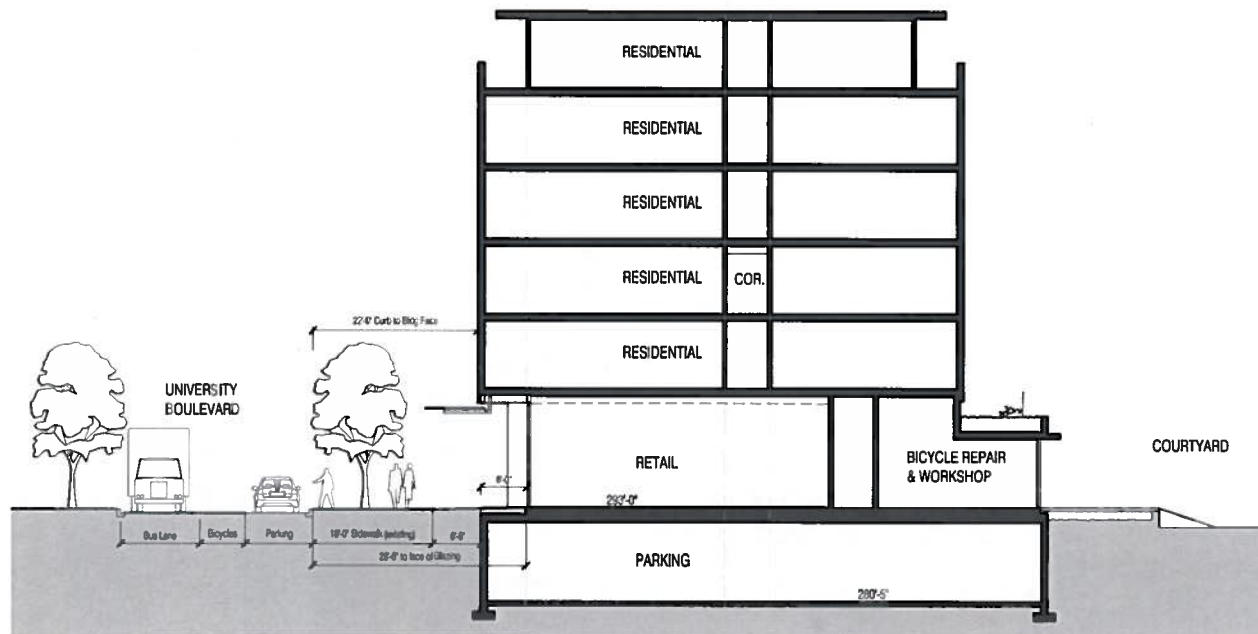
1405 - DP Submission - 2015.05.20

NO.	DESCRIPTION	DATE	BY
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2	ISSUED FOR ALUP	2014.11.25	DOR
3	ISSUED FOR DP Board Meeting	2015.01.21	DOR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DOR

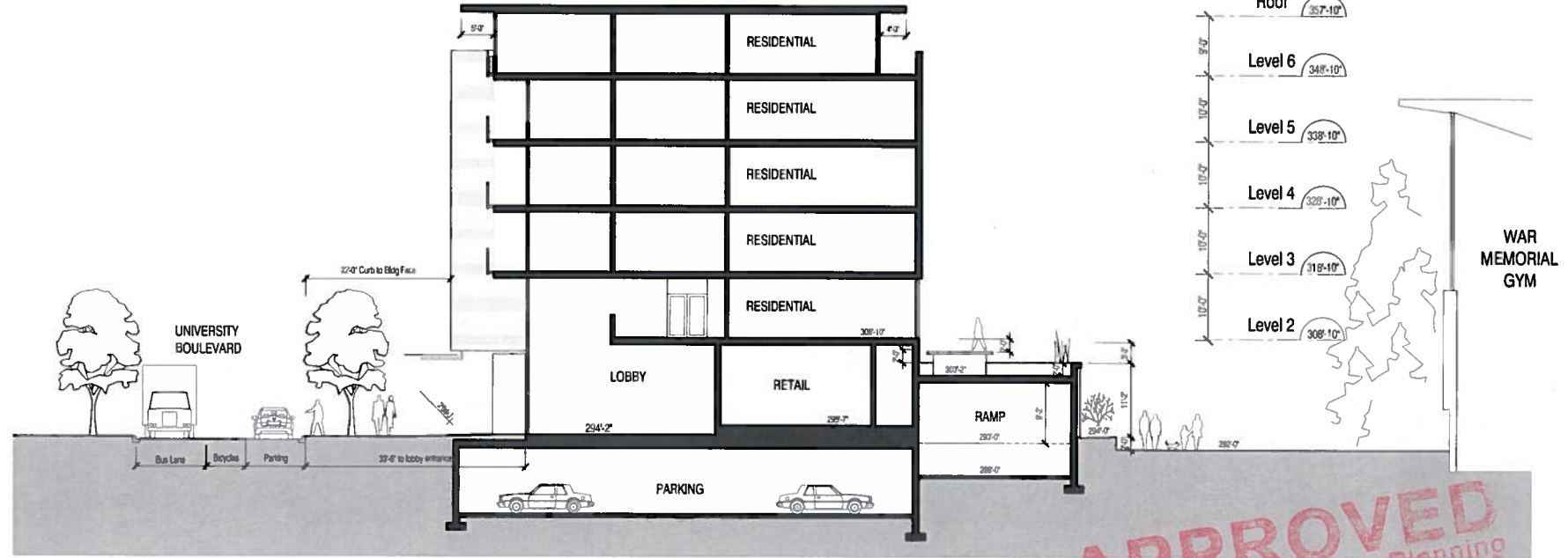
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2	ISSUED FOR ALUP	2014.11.25	DOR
3	ISSUED FOR DP Board Meeting	2015.01.21	DOR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DOR

REVISION	DATE	SHEET NO.
NORTH ARROW		
DRAWN BY		
JOB NUMBER	1405	
REVISION NO.		
SCALE	3/32" = 1'-0"	



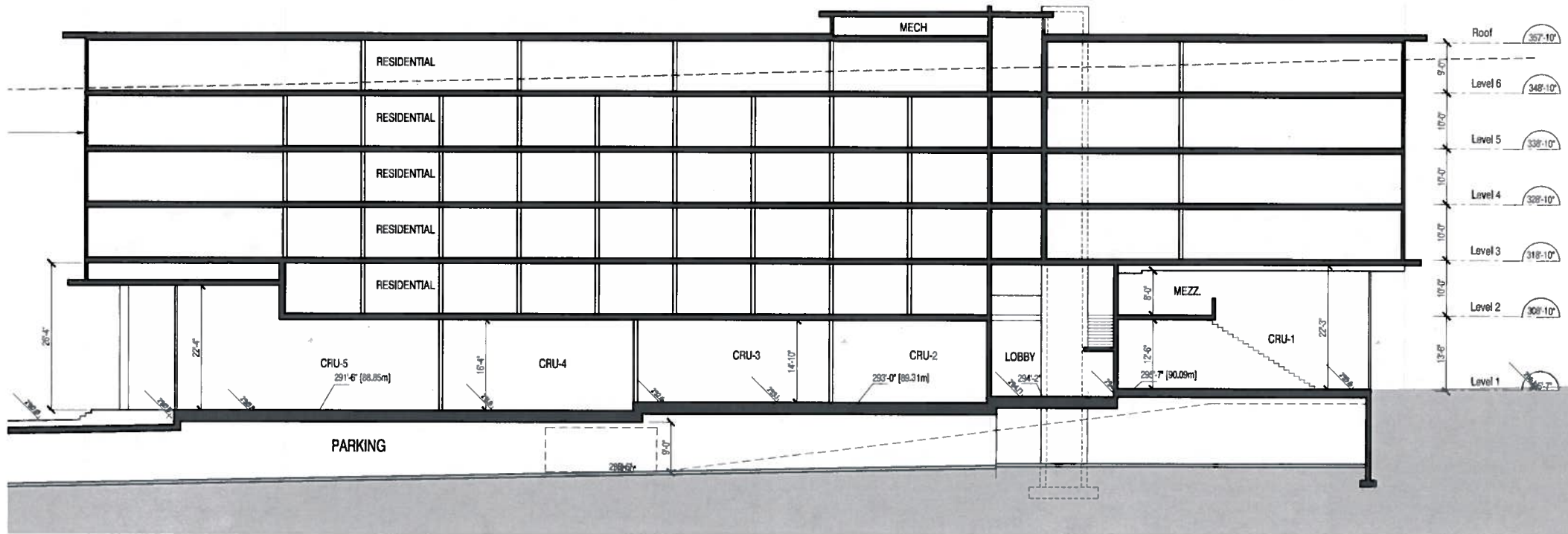


Section C  
SCALE 1/8" = 1'-0"

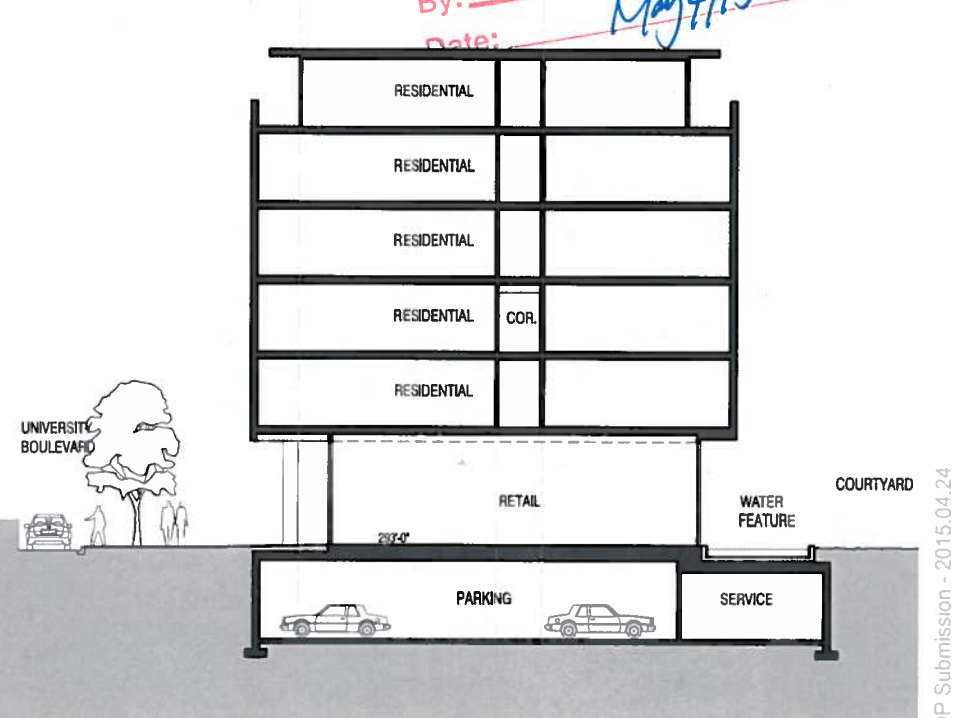


Section D  
SCALE 1/8" = 1'-0"

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 Campus & Community Planning  
 University of British Columbia  
 By: *[Signature]*  
 Date: *May 4/15*



Section A  
SCALE 1/8" = 1'-0"



Section B  
SCALE 1/8" = 1'-0"



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**UBC Properties Trust Ltd.**  
 101-555 Great Northern Way  
 Vancouver, BC

CONSULTANT

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DDR
2	ISSUED FOR ALDP	2014.11.23	DDR
3	ISSUED FOR DP Board Meeting	2015.01.29	DDR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DDR

PROJECT TITLE

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DDR
2	ISSUED FOR ALDP	2014.11.23	DDR
3	ISSUED FOR DP Board Meeting	2015.01.29	DDR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DDR

PROJECT TITLE  
**University Boulevard - Site B**  
 Site B, University Boulevard, UBC  
 Vancouver, BC

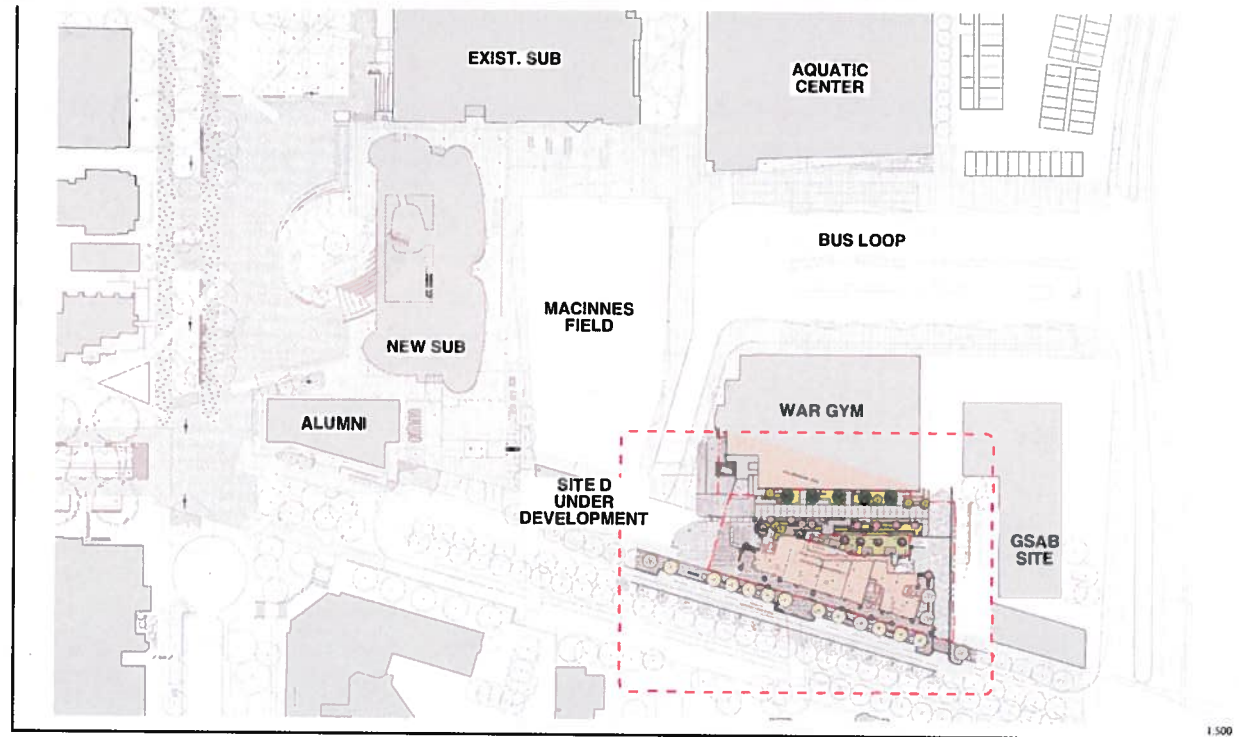
DRAWING TITLE

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2014.11.20	DDR
2	ISSUED FOR ALDP	2014.11.23	DDR
3	ISSUED FOR DP Board Meeting	2015.01.29	DDR
4	ISSUED FOR DEVELOPMENT PERMIT	2015.04.24	DDR

SCALE: 3/32" = 1'-0"

**DP4.01**





**SITE B-LANDSCAPE  
IN GREATER CONTEXT OF  
"COMMONS" PRECINCT**

**UBC Documents Incorporated/Aligned/Integrated w/ Landscape Design:**



- > Vancouver Campus Plan and Technical Guidelines,
- > U Blvd. Neighbourhood Plan
- > UBC Gage South Technical Masterplan



VCP Standard Bicycle Racks



VCP University Boulevard Standard Precast Module Paving



VCP Standard Freestanding Lights for Pedestrian Areas



CP/ipe Hardwood Benches



VCP University Boulevard Standard Precast Module Paving



VCP Standard Tree Grate



**Design Rationale**

**SITE B - UNIVERSITY BOULEVARD LANDSCAPE RATIONALE**

This is the second significant landscape to occur in the newly revitalized University Boulevard precinct opposite the Strangway Building completed in 2005. The introduction of the Site B Building will change both the pedestrian and vehicular circulation patterns, offering an additional opportunity to maximize the potential of the "streetscape realm" and overall vibrancy of the Campus's main arrival corridor.

The space between War Memorial Gym and the back of Site B has been maximized and will now be a very interesting "experiential walk-through" space with a row of smaller scale and low light level tolerant flowering trees which will anchor a linear oriented landscape and rain garden on the south against a more native "forest scape" at the foundation of War Memorial Gym. The roof garden on level two above the parkade entry ramp will absorb rain water within it's intensive roof planting zone, affording privacy between the "floating" unit terraces and additionally softening the Site B north facade. Three scuppers from the roof have been incorporated on the north facade and will take the run-off down to the ground level landscape and into the interestingly designed "scupper beds" prior to overflowing into the continuous east-west rain garden for greater ground water recharge and dispersal/retention opportunities, prior to ultimately discharging into the man-made drainage catchment system(below ground), planned for the greater community precinct to the north of our site.

Most of the mature trees will need to be removed during construction and demolition phases-either in conflict with the building directly and/or as dictated by the proposed upgrades to War Memorial Gym. It is important to note however, that many new and interesting plantings are planned to reinforce and strengthen the new pedestrian allée, while also offering seasonal visual interest. In addition, both the new landscape and "forest scape" will offer human scale to the space between the buildings being influenced largely by the 50-60 foot height of the adjacent architecture.

As per the Neighbourhood Plan, and recognizing this link as an important greenway and bike route the new landscape will seek to enhance the overall community and create a real sense of vibrancy and animation to the corridor both during day and evening hours for all users attending, passing by, as well as for the residents living above the ground floor retail spaces. Our landscape will integrate with the existing buildings surrounding Site B and will maintain and blend with the current character of the University Boulevard streetscape, while helping to create/enhance the greater arrival sequence to the Campus through simple unity of both the hard and soft landscape elements within the project site. We will specifically draw from the University's standards and palette of materials with respect to all our paving and site furniture standards, as outlined by the Vancouver Campus Plan's "Technical Guidelines".

The south side's sunnier retail spaces will have a family of unifying streetscape elements which will bring cohesiveness to the overall space. Items such as decorative planters; "custom" campus seating; hanging baskets; moveable smaller tree planters; and banners/signage elements will all be utilized. All will be wholly integrated with the retailer's individuality and options for their patio seating melding with the modern architecture to bring scale, order and life to the pedestrian and vehicular realm on the street surrounding the new 6 storey "hybrid" building design. The University Boulevard modular precast concrete paver treatment will flow into and through the building forecourt terminating at our E-W pedestrian access route. We have worked with Campus Planning staff to resolve and integrate the campus grid geometry of the War Memorial Gym to the north with the angular geometry of University Boulevard by switching materials to a simple score cut concrete paving design which is laid out to work with the rhythm of the architecture and blend with the greater Gage Precinct and pathways hierarchy, as established in similar passageways to the north of our site. The continuous rain garden is aligned with the architecture and paving designs and is carefully terminated in a way to appear as if "one" with the maintained recirculating water feature wrapping around the west lobby and north west stair tower. The "forest-scape" is further laid out within the rhythm of the columns of the War Gym facade. We will be using high quality architectural concrete and hardwoods such as Ipe in all the details of the custom seats, pedestrian walls, rain garden features and pavements so as to blend as one with the precinct. Where possible concrete slabs from the demolition of the "GSA B" site will be retained and re-used on our site as paving modules and potentially even walls (slabs turned on their sides).

The stainless steel bike racks are arranged as a landscape architectural feature and are laid out in rows reinforcing the linear nature of the space against the War Gym facade. These racks will be the University standard.

The full existing materiality of University Blvd streetscape will be respected and more importantly repeated with only suitable tones and colours of paving to be used when we change patterns in the rear court space. Only one of the existing Katsura Trees will be removed to allow for a new vehicular crossing. This tree can be transplanted or provided back to the UBC nursery for use elsewhere on campus or to replace another which becomes damaged (as instance).

Due to the northern exposure/shadier areas of the rear court space, we will utilize generally low light level, drought tolerant, and adaptive plant material throughout the project with an emphasis on native planting as possible. We expect to develop the irrigation strategy directly with Campus staff and are prepared to use "establishment irrigation" only to further the leading "sustainability initiatives" of the Point Grey Campus. We expect the rain garden to be well planted.



Streetscape Character



More Streetscape Character



Rain Gardens, Channels and Scupper Beds



**UBC Campus Design Standards**

**Overall Landscape Guidelines/Principles adhered to:**

- Open spaces should provide safe and attractive design, where the whole composition of trees, lighting, furniture and landscaping define the space and work together in keeping with existing campus guidelines.
- There will be a number of trees that will require removal during the course of the plan. Insofar as is possible, trees should be retained or relocated.
- All planting and trees to comply with Campus Guidelines and recommendations.
- Plants should be selected for the interest they exhibit throughout the seasons.
- Planting should be used to help bring a human scale to the public spaces as well as break up the hard surfaces.
- Planting should be used to define edges and routes.
- Planting should not block sightlines or significant views through the area.
- Elements should work together as a whole to create safe, memorable and intuitive public spaces. Design should connect the public realm to the activity and interior of the buildings.
- Paving should be utilized as a directional element to assist pedestrian wayfinding.
- Special areas can be highlighted with a more distinct paving pattern but should be within the same general campus colour and materials palettes.
- Paving, Site Furniture and Lighting-all now as per VCP and U Blvd. Neighbourhood Plan req'mnts. See Images-upper right.
- Streetscape vibrancy and activation within the CRU realm.
- Stormwater and Site Sustainability Initiatives are incorporated-rain garden, scupper elements.

**APPROVED**  
By: *[Signature]*  
Date: *[Date]*  
UBC PROPERTIES TRUST

Richard Findlay  
LANDSCAPE ARCHITECT INC.  
Suite 1101 - 1450 Creekside Drive Vancouver, BC V6H 3E3  
Tel: 604 720-7457 Fax: 604 720-4112 Email: rfindlay@rfa.ca Website: www.rfa.ca

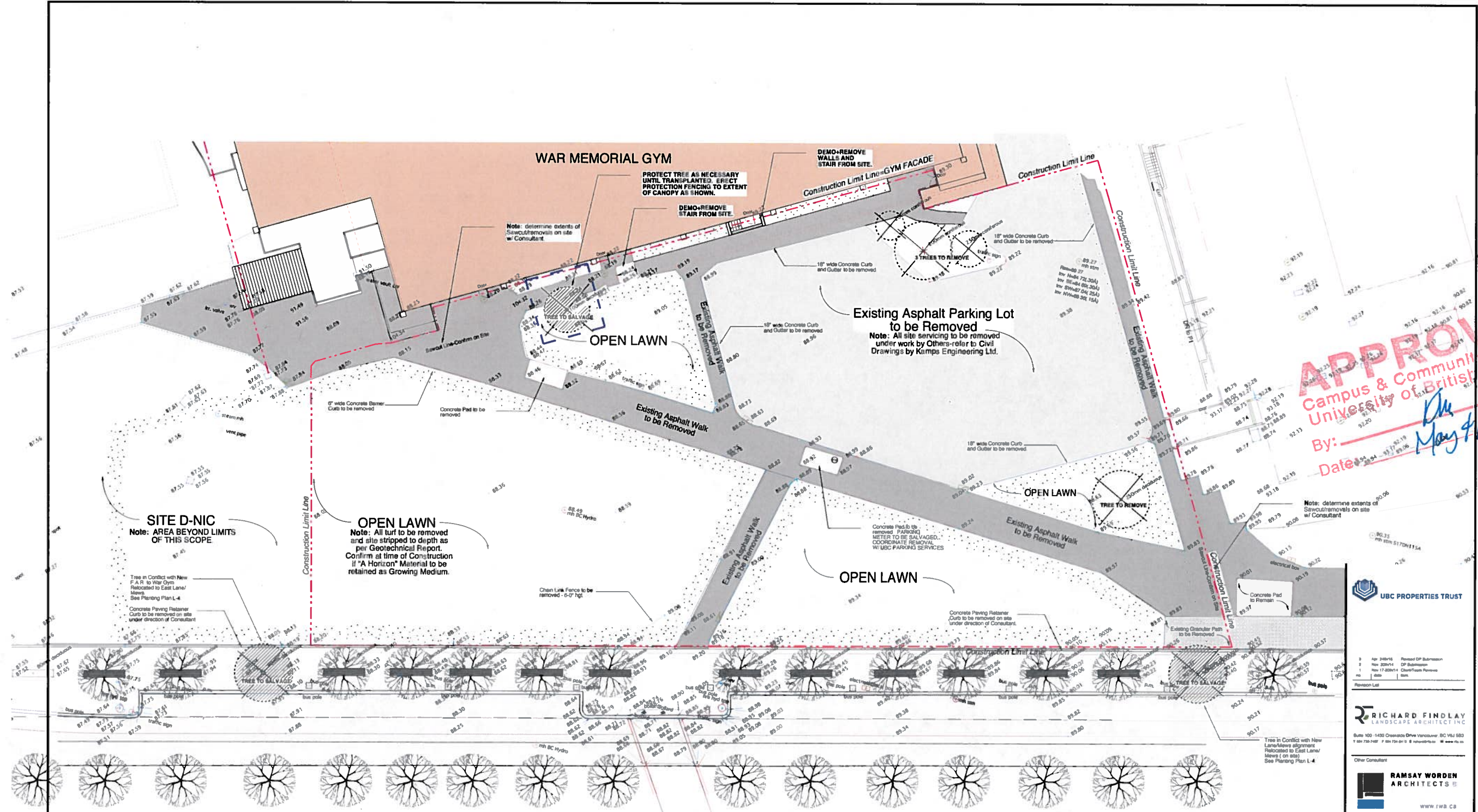
Ramsay Worden  
ARCHITECTS INC.  
WWW.RWB.CA

Permit Re-Submission-Apr. 24th, 2015

Project: Site B-University Boulevard  
UBC Properties Trust  
Drawn by: R.F. Date: Sept. 4th, 2014  
Checked by: R.F. Scale: As Shown  
Project No: 14.19  
Drawing Title: Landscape Images, Rationale and Day, Permit







**APPROVED**  
 Campus & Community Planning  
 University of British Columbia  
 By: *[Signature]*  
 Date: *May 4/15*

**SITE D-NIC**  
 Note: AREA BEYOND LIMITS OF THIS SCOPE

**OPEN LAWN**  
 Note: All turf to be removed and site stripped to depth as per Geotechnical Report. Confirm at time of Construction if "A Horizon" Material to be retained as Growing Medium.

**Existing Asphalt Parking Lot to be Removed**  
 Note: All site servicing to be removed under work by Others prior to Civil Drawings by Kamps Engineering Ltd.

- Tree Protection Notes:**
1. Do not remove any trees without obtaining Tree Permit.
  2. Do not light any fires within drip-line of any tree.
  3. Exercise caution so as not to remove bark from any salvaged/transplanted trees.
  4. Use approved spade and/or hand-dig rootball of any trees to be salvaged/transplanted.
  5. Do not alter grades around existing trees to be salvaged/transplanted by more than 50mm (2") inside an area 1.0m (3') from existing trunk. Consult with arborist if add'l change in grade tolerance is required.
  6. No construction on this site shall commence until Tree Protection Barrier has been erected as per plan. Call Consultant for review and approval of Tree protection Barrier.
  7. Tree Protection Barrier shall be min. 1.2m (4') hgt. snow fence on metal t-rail stakes and/or secured to min. 38x89mm dimensional lumber.
  8. Do not stockpile any construction materials/debris near Tree Protection Barrier and/or within.
  9. Care for and water all trees within Tree Protection Barrier until safely transplanted to UBC Nursery Operations.
  10. Contact Mr. Collin Vamer-UBC Arborist to coordinate timing of salvage/relocation and moving of 3 trees designated this site for salvage. Phone: 604-341-6020.

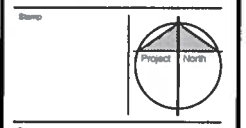
**Tree Management Legend:**

Symbol	Qty.	Description
	N/A	Tree Protection Barrier
	All (Outside Limits)	Trees to Remain Undisturbed-beyond limits of Construction and Protected by Site Control Fencing-no additional tree protection required.
	4	Trees to be Removed from this site due to conflict with Servicing and/or Building Footprint. Refer to Civil Drawings by Kamps Engineering Ltd. and/or Architectural Drawings by RWA.
	2 (1 Outside Limits)	Trees to be Salvaged from this site due to conflict with Servicing and Or Building Footprint/alignment. 2 (Oak) to be Re-used on East Lane( 2 Katsura) and 1 (Oak) to be given to Nursery Operations for re-use elsewhere on Campus. Protect with Snow Fence until Transplanted.

UBC PROPERTIES TRUST

RICHARD FINDLAY  
 LANDSCAPE ARCHITECT INC

RAMSAY WORDEN  
 ARCHITECTS



Project: Site B-University Boulevard UBC Properties Trust

Drawn by: R.P. Date: Nov 14th, 2014  
 Checked by: R.P. Scale: 1:200

Project No: 14.19-2

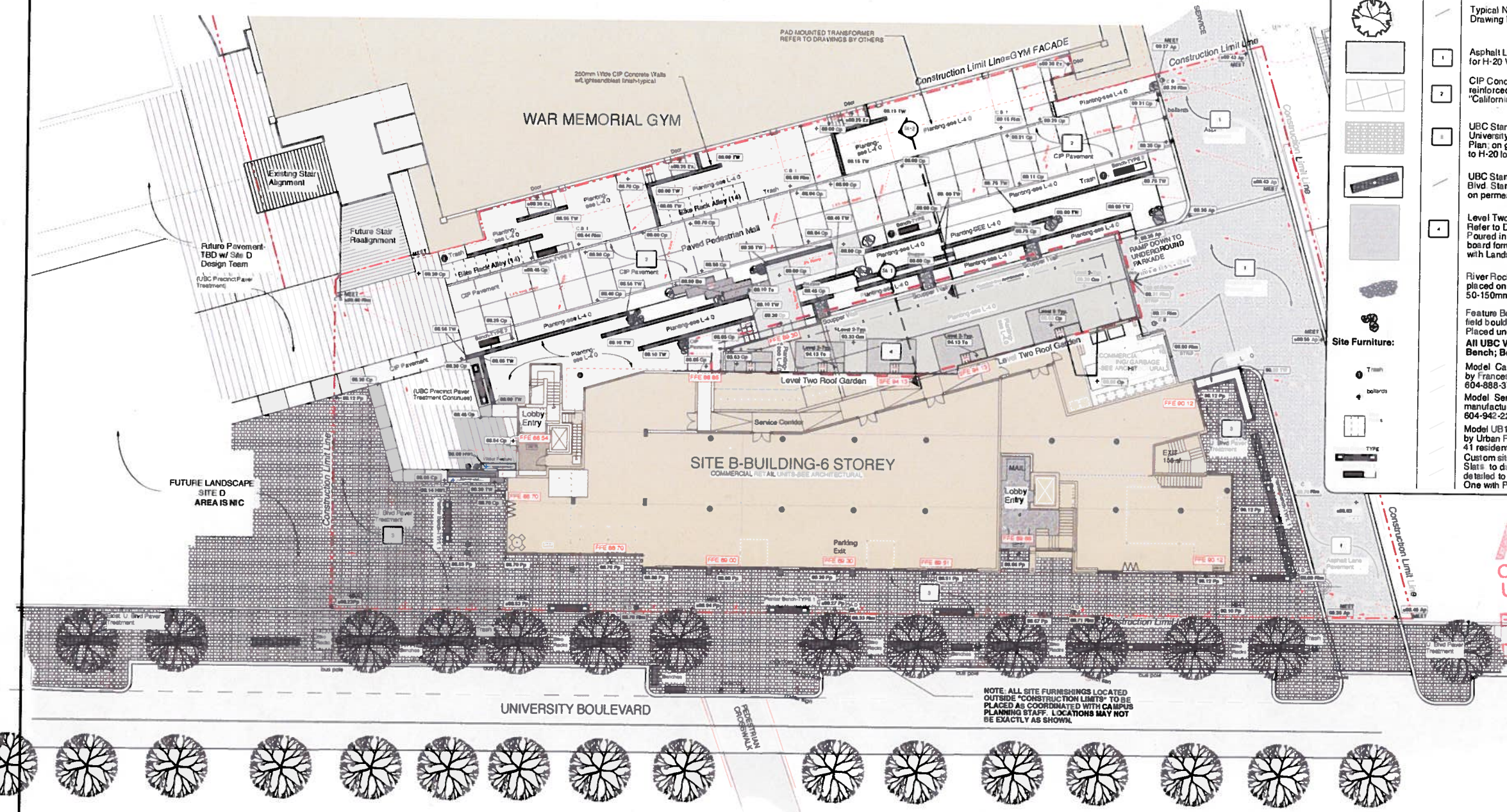
Drawing Title: Existing Conditions and Tree Management Plan

Drawing No: L-2.0 of 4

Development Permit Re-Submission-Apr. 24th, 2015



# Future Corridor Alignment on GSA B-TBD



### Materials Legend:

Symbol	Key	Description
		Construction Limit Line-Moduloc Steel Site Fence to be erected for Duration of Construction.
		Trees to Remain Undisturbed-beyond limits of Construction and Protected by Site Control Fencing-no additional tree protection required.
		Typical New Tree this Site-Refer to Drawing L-4 Planting Plan and Plant List
	1	Asphalt Laneway Pavement-Dual base build-up for H-20 Vehicular Loading-Typ.
	2	CIP Concrete Paving-typical 150mm th. slab reinforced where necessary on granular base. "California finish" or pre-approved equal.
	3	UBC Standard Precast Concrete Unit pavers to University Blvd Standards as per Vancouver Campus Plan, on granular base as required; dual base build-up to H-20 loading as required in vehicular realms (as req'd)
	4	UBC Standard Tree Pit Paving Detail to University Blvd Standards as per Vancouver Campus Plan, on permeable granular base as required.
		Level Two-Precast Concrete 'Plank Paving'; Refer to Drawings by RWA Architects. Poured in place Concrete w/ horizontal board form finish-to be detailed/coordinate with Landscape Architect.
		River Rock-inside Rein Garden as "groundcover", placed on needle punched geo-fabric to be specified. 50-150mmØ (2-6") rock size. Uniform coverage.
		Feature Boulders-native salt N' pepper grey granite field boulders, ranging in size from 600mm Ø-1.2mØ. Placed under direction of Consultant.
		All UBC Vancouver Campus Standards: except Bench; Bench is Custom adhering to VCP Std.'s
		Model Carrage Lane Series 31-1MS as manufactured by Frances Andrew Site Furnishings Ltd. Contact Ph 604-888-3712; Powdercoat UBC std. gray (RAL 7043)
		Model Sentry 2668 Series; Stainless Steel as manufactured by Inter-Lite sales Ltd. Contact Ph. 604-942-2232.
		Model UB1000-USX; Stainless Steel as manufactured by Urban Racks-contact-1-888-717-8881-20 commercial 41 residential req'd.
		Custom site cast Concrete Benches w/ Ipe Hardwood Slats to directly "sync" with VCP Standards. To be detailed to UBC Campus Planning approval. 2-Styles: One with Planter incorporated, and one without.

**APPROVED**  
 UBC Properties Trust  
 Campus & Community Planning  
 University of British Columbia  
 By: [Signature]  
 Date: [Signature]

### Grading Legend:

Symbol	Description
	Typical Existing Grade-Refer to Survey and to Existing Conditions Plan L-2.0 this set.
	Typical Proposed Spot Elevations in Decimal metres
	Typical Catch Basin. Refer to Subsurface Drainage Plan by Others (Kamps) for Inverts and for model numbers. To be Coordinated.
	Typical Rain Dispersal Basin. Refer to Subsurface Drainage Plan by Others (Kamps) for Inverts and for model numbers. To be Coordinated.
	Typical Area Drain (smaller drain structure) Refer to Subsurface Drainage Plan by Others (Kamps) for Inverts and for model numbers. To be Coordinated.
	Typical Surface Swale to Drain. Construct on site under Review of Consultant. Must be "maintainable" by mower.
	Typical slope arrows indicate direction of fall; 2.0% Slope Min. where not shown.

Development Permit Re-Submission-Apr. 24th, 2015

**RICHARD FINDLAY**  
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**RANSAY WORDEN**  
 ARCHITECTS  
 1000-1000

Project: Site B-University Boulevard UBC Properties Trust

Drawn by: [Signature] Date: [Signature]

Project No: 14-19-2

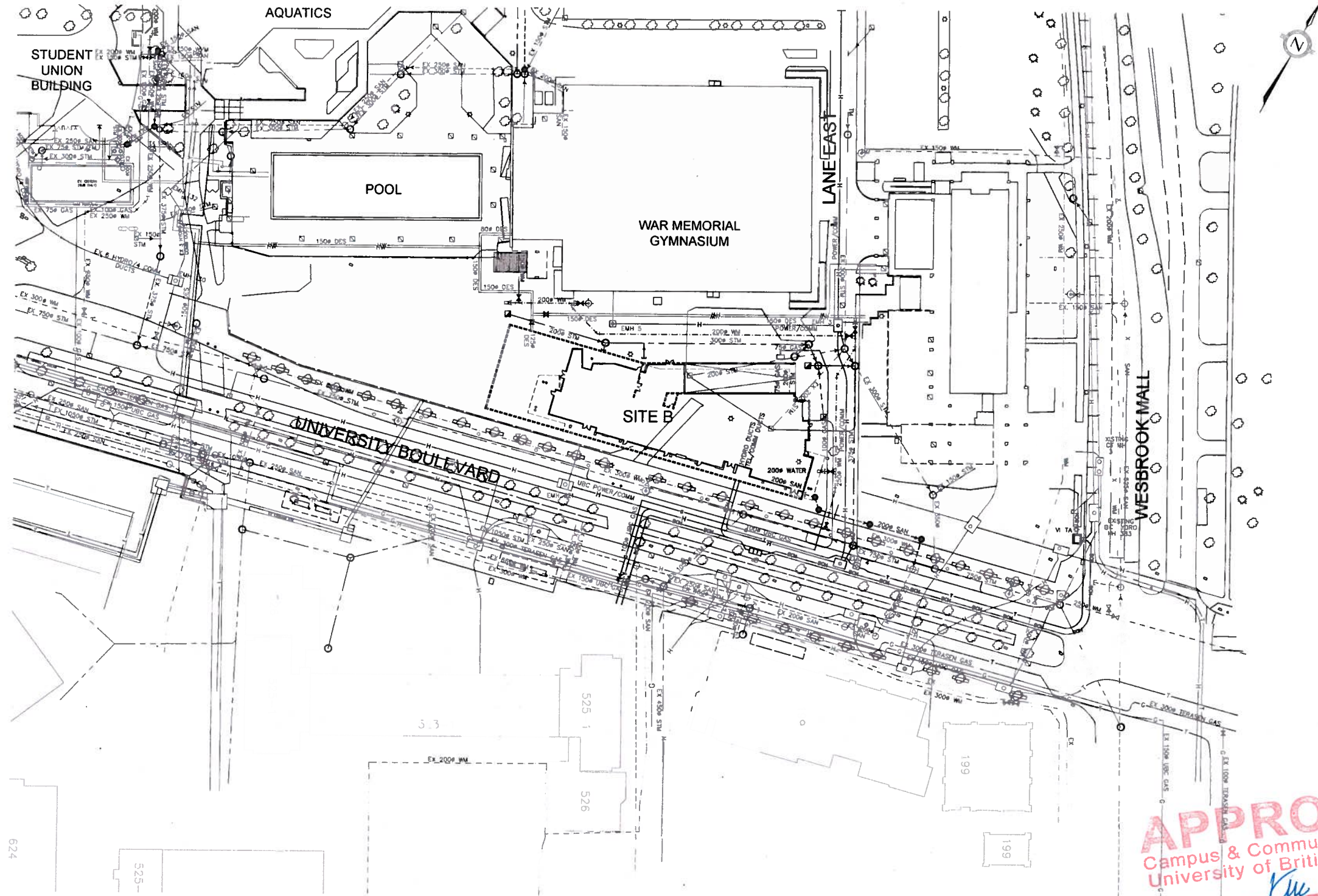
Drawing Title: Landscape Materials and Site Grading Plan

Drawing No: L-3.0 of 4









**APPROVED**  
 Campus & Community Planning  
 University of British Columbia  
 By: *Kline*  
 Date: *May 4/15*

REVISIONS No. DESCRIPTION MO/DAY/YR	6		<b>KAMPS ENGINEERING LIMITED</b> 604-682-2020 kamps@ropers.com 	CLIENT	UBC PROPERTIES TRUST	BUILDING/FACILITY	PROJECT TITLE			
	5			<b>UBC PROPERTIES TRUST</b>	DRAWING TITLE	SITE SERVICING PLAN		SITE B - GAGE SOUTH		
	4				DRAWN	J.N.	SCALE	HORZ: 1:500m	PROJECT No.	8116
	3				DESIGN	M.K.	DATE	AUG 2014	DRAWING No.	200
	2				CHECKED				REV.	1
	1	UPDATED SERVICING			04/30/15					