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**PROJECT GOALS:**

1. Reinforce & complete the creation of a vibrant community in this precinct of Wesbrook Village through the following:
- Creation of affordable rental housing & providing an opportunity for neighbourhood serving retail & services

• Respond positively to the adjacent uses & character(s) surrounding the site
2. Create engaging & lasting architecture
- Clarity of form

• A concise & consistent vocabulary of texture, proportion & layering

• Expand the greenway to the podium level to create a ‘hanging garden’ edge

• Provide transparency & vibrancy at grade
3. Encourage a sense of community within the building
- Foster social interaction through a diversity of indoor & outdoor amenity spaces

• Daylighting circulation spaces

• Provide a diversity of dwelling types & commercial configurations

in this booklet...

We have reviewed the comments received from the previous Advisory Urban Design Panel (May 2015). Understanding that these are interrelated, we have provided our response arranged under the following 4 categories:

• Clarity of Parti

• Use of Materials

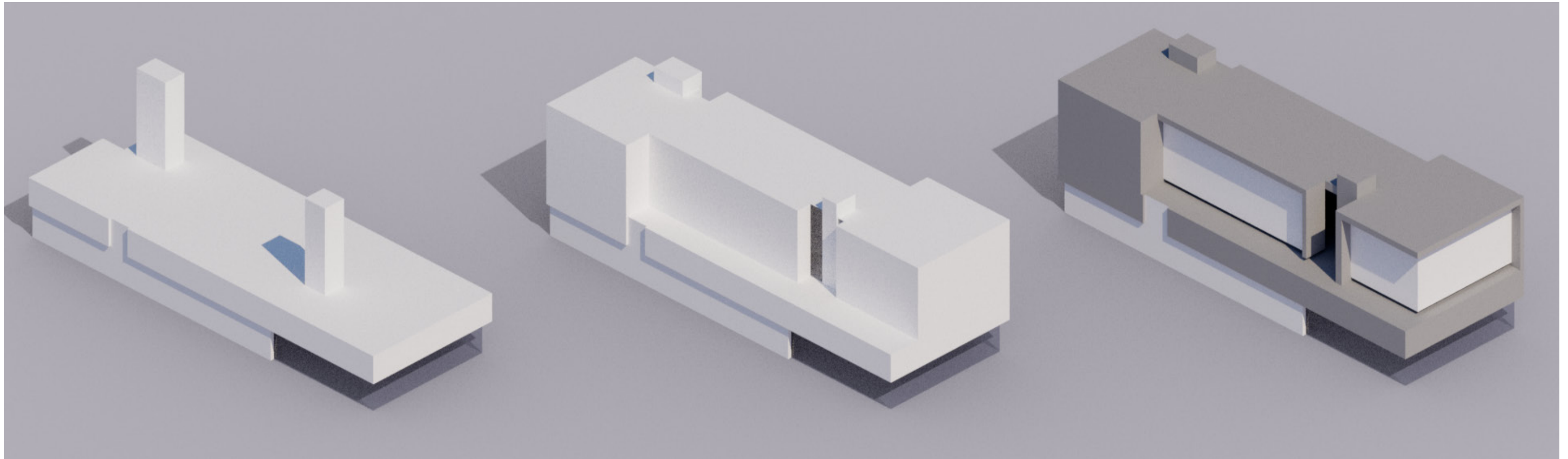
• Planning Considerations

• Landscape Design

**PROJECT DESCRIPTION**







#### PODIUM

- commercial & residential uses complement & strengthen the immediate context
- lower level of podium is recessed, following the pattern set by all other neighbouring buildings

#### THREE PART MASSING

- creates gateway gestures at the southeast corner of the Commercial Plaza and at the west end of the Greenway
- the massing offsets denote entries, vertical circulation and circulation system.

#### WEATHER PROTECTION

- An “open cube” motif further defines and strengthens the overall massing while at the same time providing appropriate weather protection through generous roof overhangs to the majority of the building envelope
- The massing concept is echoed by the secondary rectilinear forms at the commercial level.

## CLARITY OF PARTI

- The massing has been clarified to create a consistent relationship between the components and a balance between the North and South faces of the building.



Completed Model

## CLARITY OF PARTI

**AUDP SUBMISSION**  
MIXED USE BUILDING - LOT E - SOUTH CAMPUS  
June 4, 2015





*wood soffits and accents*



*white fibre cement siding w/ metal trims*

**NOTE: Architect has sourced new fibre cement panel system in lieu of typical lapped siding**



*storefront glazing  
metal & glass canopy  
blade / pedestrian signage  
sandwich boards*



*private residential entries  
balcony w glazing guardrail  
metal screen  
vinyl residential windows*



*masonry*



*dark brick or stone*



*storefront glazing w/ glass stencil  
blade / pedestrian signage  
wood soffit  
bench seating*



*operable storefront  
outdoor cafe seating*

## MATERIALITY

### PRECEDENT MATERIALS

## AUDP SUBMISSION

### MIXED USE BUILDING - LOT E - SOUTH CAMPUS

**June 4, 2015**





Detail of North Facade

The use of materials has been refined to clearly support the massing concept.

The podium level includes the white “stone” townhouse base and transparent retail storefront at the ground level, which is recessed from the second level, creating a tension between the ground plane and the massing above. This follows the pattern established by immediate context of Granite Terrace III, Community Centre & the YU building which forms the opposite face of the greenway.

## MATERIALITY

-

**AUDP SUBMISSION**  
MIXED USE BUILDING - LOT E - SOUTH CAMPUS  
June 4, 2015





Detail of South Elevation

The use of materials has been refined to clearly support the massing concept.

The podium level includes the white “stone” townhouse base and transparent retail storefront at the ground level, which is recessed from the second level, creating a tension between the ground plane and the massing above. This follows the pattern established by immediate context of Granite Terrace III, Community Centre & the YU building which forms the opposite face of the greenway.

## MATERIALITY

-

**AUDP SUBMISSION**  
MIXED USE BUILDING - LOT E - SOUTH CAMPUS  
June 4, 2015



Texture, rhythm and vibrancy in the retail façade.

- Signage is pedestrian oriented
  - Blade signs, Banners, Stand-Off Letters, Sandwich Boards & Window Decals
- Careful Canopy Design
  - Canopy designed for height of 10 to 12 feet above sidewalks. Canopy drainage integrated into shopfront design



East Elevation - Commercial Storefront at Shrum Lane

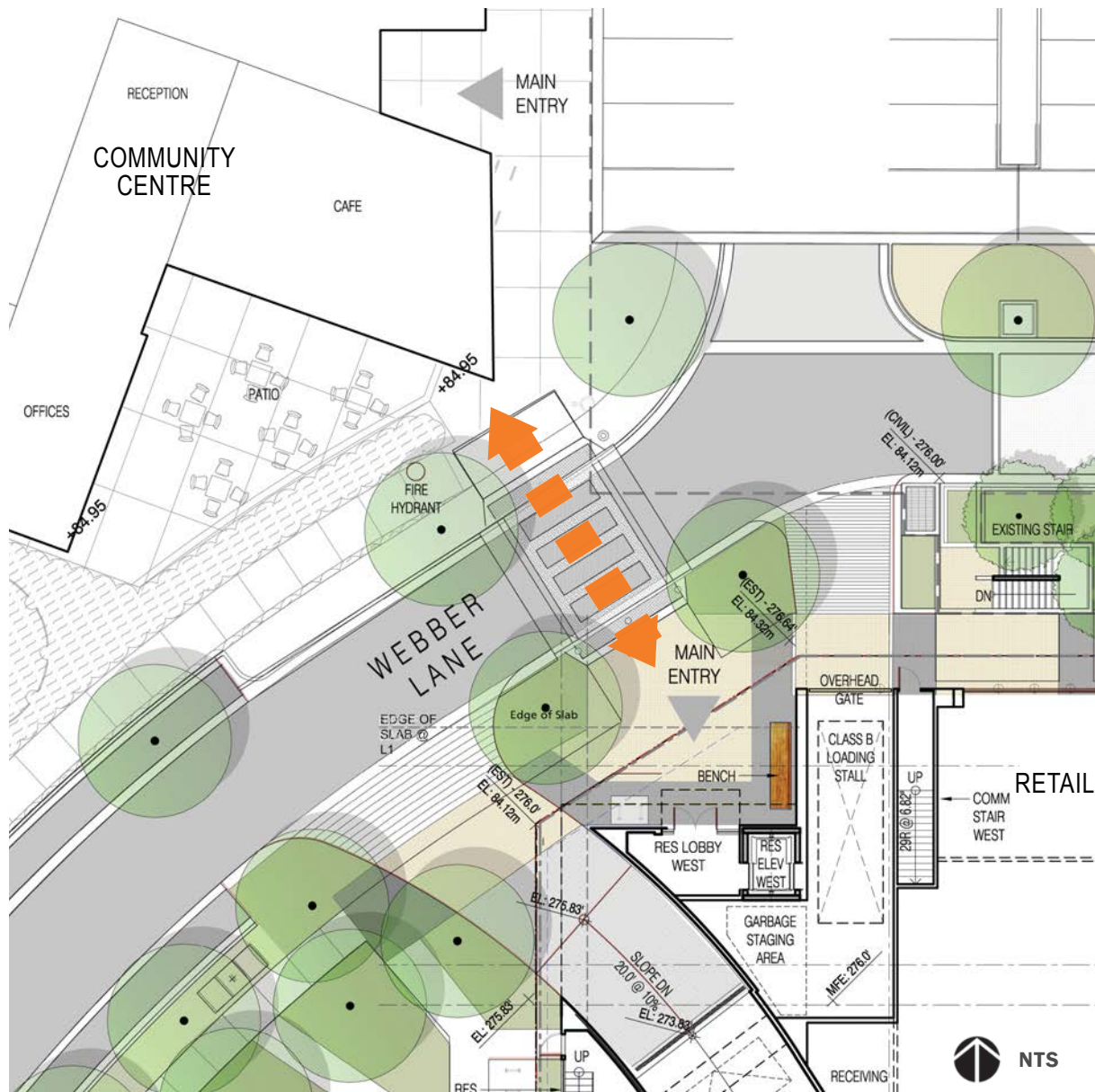


North Elevation - Commercial Storefront at Webber Lane

**MATERIALITY**  
STOREFRONT / SIGNAGE

**AUDP SUBMISSION**  
MIXED USE BUILDING - LOT E - SOUTH CAMPUS  
June 4, 2015





View from Webber Lane



View from Community Centre

### NORTHWEST CORNER

The northwest corner of the building has been revised to address concerns brought up at the last AUDP meeting as listed below:

- parkade entry / ramp has been shifted to the south, away from the pedestrian crossing to the north.
- west residential entry has been relocated to the area between the parkade entry and the loading bay allowing for better resolution of the northwest corner, including the deletion of the angled corner

## PLANNING CONSIDERATIONS

NORTHWEST CORNER @ COMMUNITY CENTRE

## AUDP SUBMISSION

MIXED USE BUILDING - LOT E - SOUTH CAMPUS

June 4, 2015