

**DESIGN GOALS**

1. Recognize the surrounding west coast forest.
2. Landscape expression transitions along a gradient of form and plant selection; from the west coast forest (east) to the park (like developed landscape (west)).
3. Circulation defines spaces.
4. Stone faces walls reinforce the smaller scale landscape room.
5. Water as a visual foreground element.
6. Edge landscape sympathetic to Khorana park and Westbrook Greenway.

**DESIGN RATIONALE**

The landscape for Westbrook Village Lot 6 at UBC illustrates the duality of landscape character found in this emerging neighbourhood at UBC. The natural, west coast rain forest and the urban green are the two landscapes that merge at Lot 6. There is a tension that is created as the fingers of recreated west coast forest push into the residential site and transition into the highly designed urban green character of the Lot 6 landscape and the adjacent Khorana Park.

The core of the landscape that surrounds the built elements including the tower and the townhouses follows the idea of the urban green. It is highly refined using strong geometric forms and carefully selected plant material that is sympathetic to the character of adjacent developments and open space. The front entry to the tower is simple and elegant making use of low stonewalls to define entry precinct. Special paving marks the entry, lighting and bollards are used interest as well as for safety and security. A water feature on the southeast corner of the tower creates a point of interest for the interior amenity rooms. Stonewalls form the edge of the water feature on three sides and contrast with large stone slabs that contain the southern edge. As with the soft landscape the water feature illustrates the main theme of duality in the landscape. The water creates a dramatic foreground to the native planted berm beyond. The exercise room opens out onto a generous patio and lawn space that could be used for active ventures or quite relaxation. The townhouse units all have front and rear patios that incorporate planting for interest and privacy.

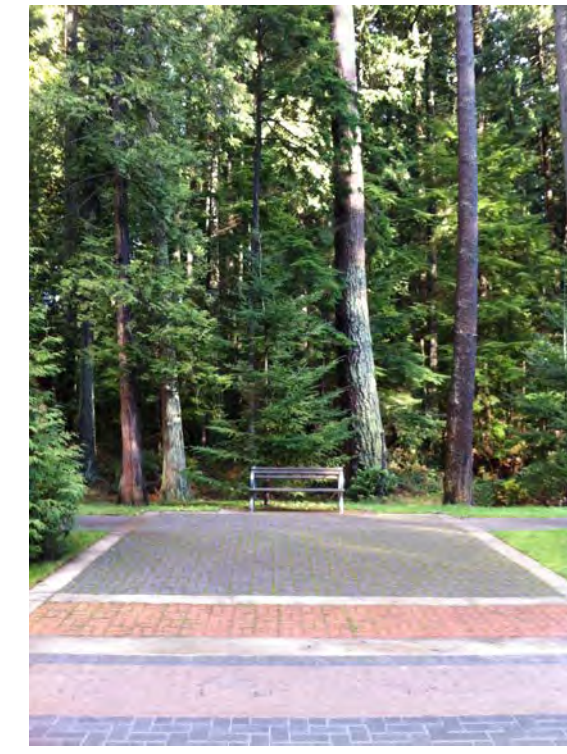
Fingers or native planting on the north and south side of the tower push their way west toward the townhouse blocks interrupting the urban green and providing not only drama in the landscape but points of interest and habitat.

REAP goals include an irrigation strategy that reduces the water usage by a minimum of 50%, adaptive planting that is drought tolerant where possible, growing medium with high capacity to hold storm water and materials that are locally manufactured and durable.



FOREST FINGER CONCEPT DIAGRAM

VIEW LOOKING EAST ACROSS BINNING ROAD



EXISTING SITE LOOKING NORTH



KHORANA PARK AT THE EDGE OF THE SITE



**EXISTING NEIGHBOURHOOD IMAGES**

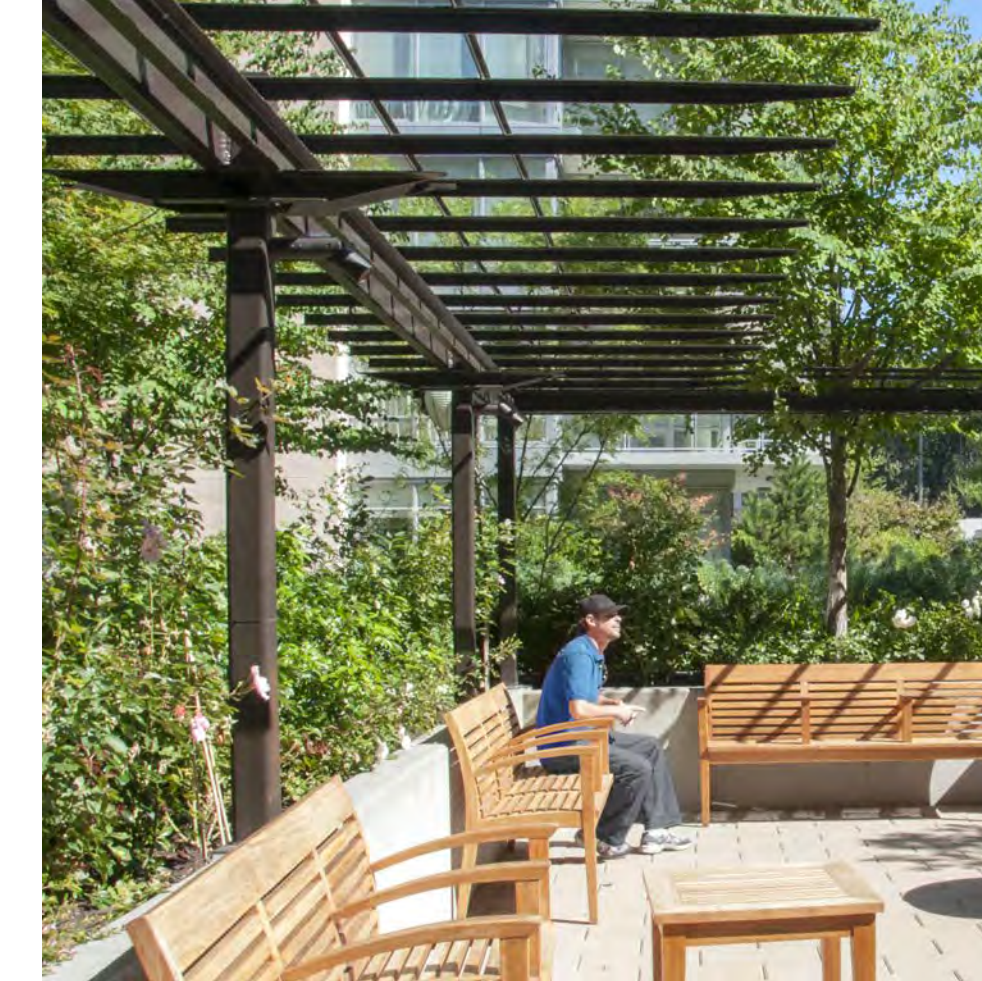
WATER FEATURE



PEDESTRIAN PATH



METAL TRELLIS



YOGA LAWN



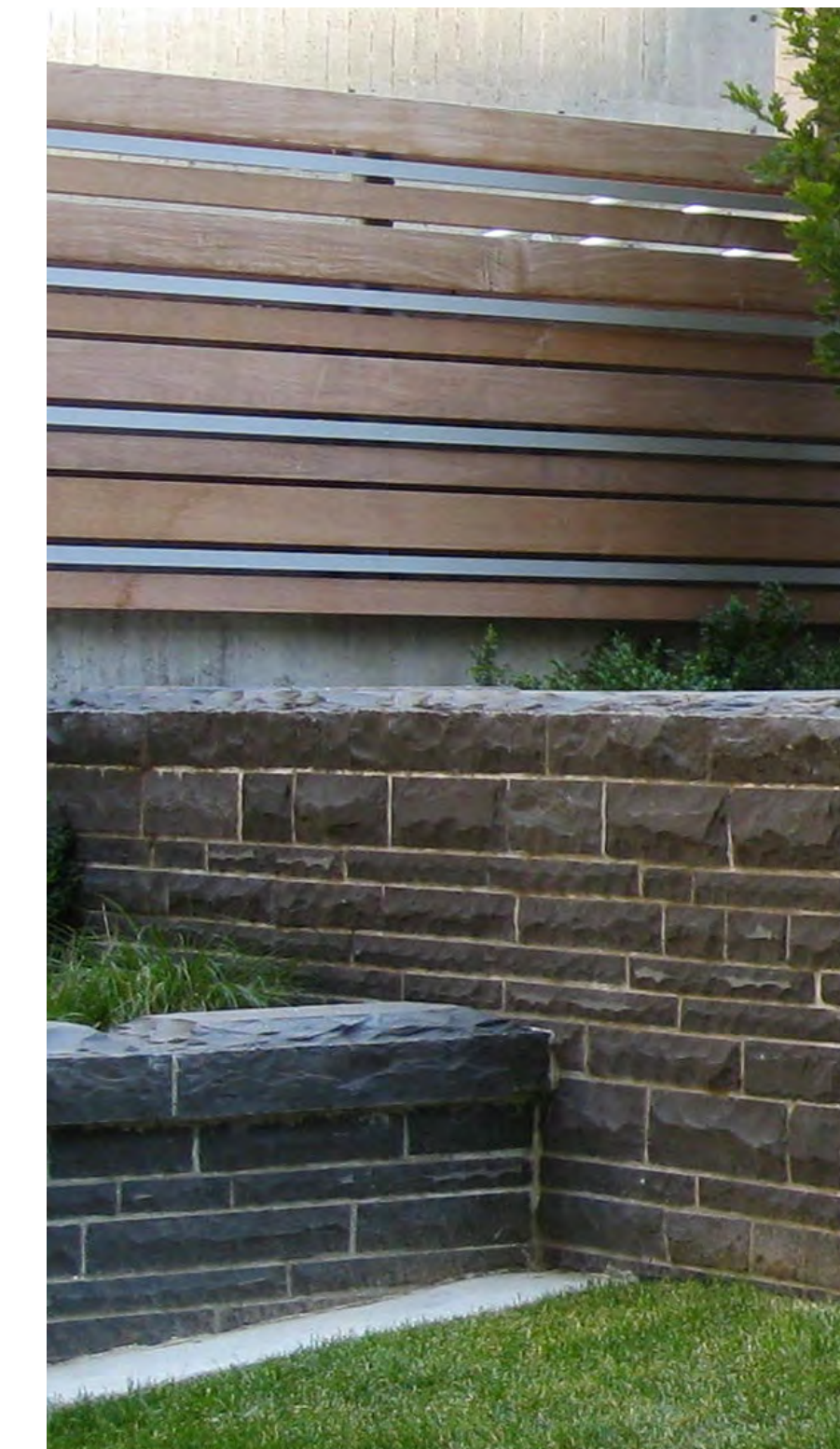
STONE SLABS



WATER SPOUT



STONE-FACED WALLS



CIP CONCRETE SLABS



INSPIRATIONAL IMAGE: FOREST STREAM



WATER FEATURE



WATER FEATURE



TAI CHI LAWN



WATER IRIS



PRIVACY SCREEN



NATURAL POOL



**PRECEDENT IMAGES**



**WALL FINANCIAL CORPORATION**

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2013/01/30	ISSUED FOR DEVELOPMENT PERMIT

**PROJECT**  
**UBC WESTBROOK NEIGHBORHOOD LOT 6**

**DRAWING TITLE**  
**IMAGE BOARD**

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NORTH	SCALE
	NTS

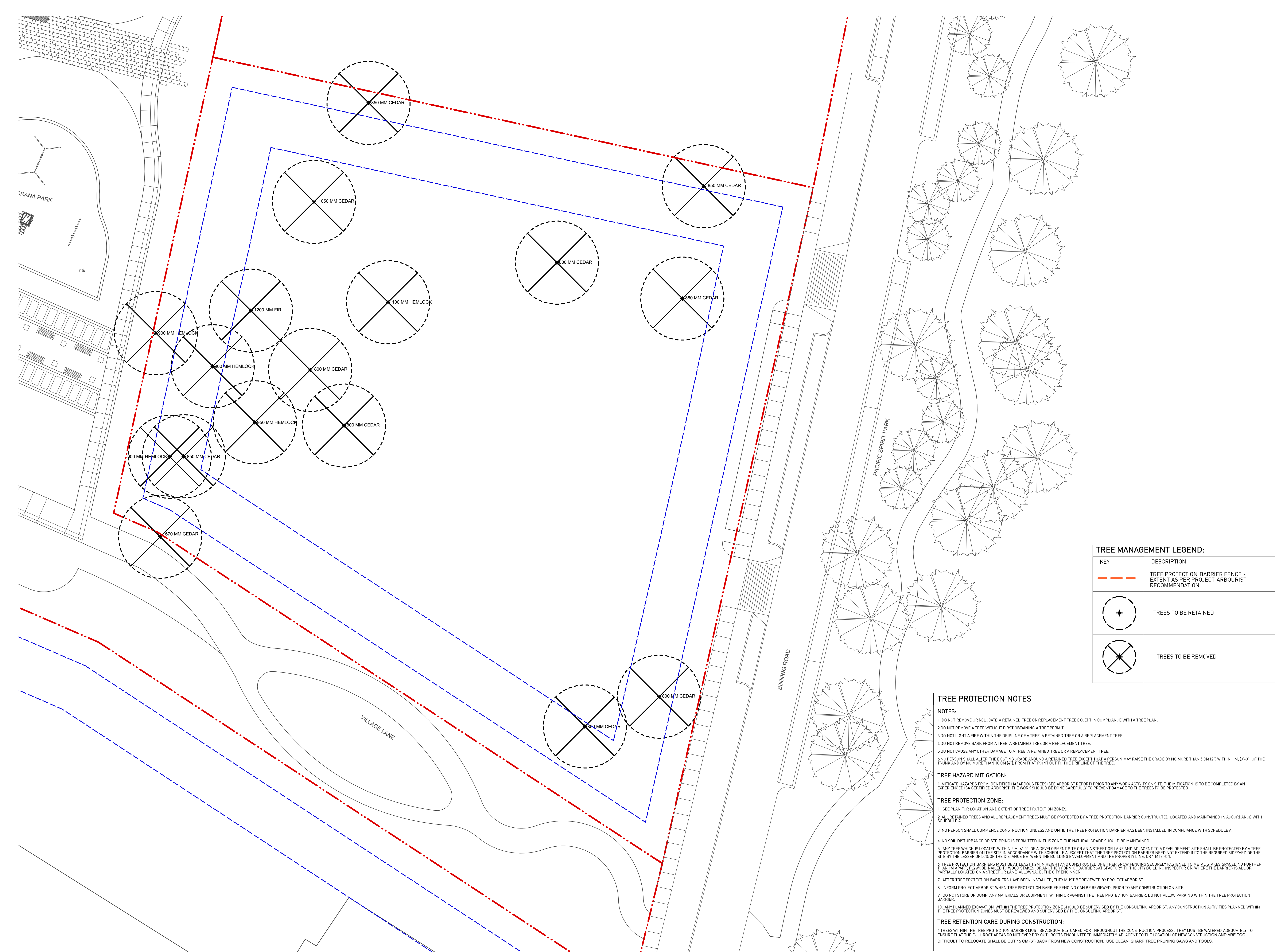
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TREE MANAGEMENT LEGEND:	
KEY	DESCRIPTION
	TREE PROTECTION BARRIER FENCE - EXTENT AS PER PROJECT ARBOURIST RECOMMENDATION
	TREES TO BE RETAINED
	TREES TO BE REMOVED

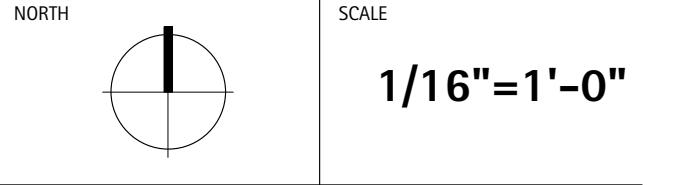
TREE PROTECTION NOTES

- NOTES:**
- DO NOT REMOVE OR RELOCATE A RETAINED TREE OR REPLACEMENT TREE EXCEPT IN COMPLIANCE WITH A TREE PLAN.
  - DO NOT REMOVE A TREE WITHOUT FIRST OBTAINING A TREE PERMIT.
  - DO NOT LIGHT A FIRE WITHIN THE DRIPLINE OF A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
  - DO NOT REMOVE BARK FROM A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
  - DO NOT CAUSE ANY OTHER DAMAGE TO A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
  - NO PERSON SHALL ALTER THE EXISTING GRADE AROUND A RETAINED TREE EXCEPT THAT A PERSON MAY RAISE THE GRADE BY NO MORE THAN 5 CM (2") WITHIN 1 M, 12' - 0" OF THE TRUNK AND BY NO MORE THAN 10 CM (4"), FROM THAT POINT OUT TO THE DRIPLINE OF THE TREE.
- TREE HAZARD MITIGATION:**
- MITIGATE HAZARDS FROM IDENTIFIED HAZARDOUS TREES (SEE ARBOURIST REPORT) PRIOR TO ANY WORK ACTIVITY ON SITE. THE MITIGATION IS TO BE COMPLETED BY AN EXPERIENCED ISA CERTIFIED ARBOURIST. THE WORK SHOULD BE DONE CAREFULLY TO PREVENT DAMAGE TO THE TREES TO BE PROTECTED.
- TREE PROTECTION ZONE:**
- SEE PLAN FOR LOCATION AND EXTENT OF TREE PROTECTION ZONES.
  - ALL RETAINED TREES AND ALL REPLACEMENT TREES MUST BE PROTECTED BY A TREE PROTECTION BARRIER CONSTRUCTED, LOCATED AND MAINTAINED IN ACCORDANCE WITH SCHEDULE A.
  - NO PERSON SHALL COMMENCE CONSTRUCTION UNLESS AND UNTIL THE TREE PROTECTION BARRIER HAS BEEN INSTALLED IN COMPLIANCE WITH SCHEDULE A.
  - NO SOIL DISTURBANCE OR STRIPPING IS PERMITTED IN THIS ZONE. THE NATURAL GRADE SHOULD BE MAINTAINED.
  - ANY TREE WHICH IS LOCATED WITHIN 2 M (6' - 0") OF A DEVELOPMENT SITE OR AN A STREET OR LANE AND ADJACENT TO A DEVELOPMENT SITE SHALL BE PROTECTED BY A TREE PROTECTION BARRIER ON THE SITE IN ACCORDANCE WITH SCHEDULE A, EXCEPT THAT THE TREE PROTECTION BARRIER NEED NOT EXTEND INTO THE REQUIRED SIDEWAY OF THE SITE BY THE LESSER OF 50% OF THE DISTANCE BETWEEN THE BUILDING DEVELOPMENT AND THE PROPERTY LINE, OR 1 M (3' - 0").
  - TREE PROTECTION BARRIERS MUST BE AT LEAST 1.3M IN HEIGHT AND CONSTRUCTED OF EITHER SNOW FENCING SECURELY FASTENED TO METAL STAKES SPACED NO FURTHER THAN 1M APART, PLYWOOD NAILED TO WOOD STAKES, OR ANOTHER FORM OF BARRIER SATISFACTORY TO THE CITY BUILDING INSPECTOR OR, WHERE THE BARRIER IS ALL OR PARTIALLY LOCATED ON A STREET OR LANE, ALLOWANCE, THE CITY ENGINEER.
  - AFTER TREE PROTECTION BARRIERS HAVE BEEN INSTALLED, THEY MUST BE REVIEWED BY PROJECT ARBOURIST.
  - INFORM PROJECT ARBOURIST WHEN TREE PROTECTION BARRIER FENCING CAN BE REVIEWED, PRIOR TO ANY CONSTRUCTION ON SITE.
  - DO NOT STORE OR DUMP ANY MATERIALS OR EQUIPMENT WITHIN OR AGAINST THE TREE PROTECTION BARRIER. DO NOT ALLOW PARKING WITHIN THE TREE PROTECTION BARRIER.
  - ANY PLANNED EXCAVATION WITHIN THE TREE PROTECTION ZONE SHOULD BE SUPERVISED BY THE CONSULTING ARBOURIST. ANY CONSTRUCTION ACTIVITIES PLANNED WITHIN THE TREE PROTECTION ZONES MUST BE REVIEWED AND SUPERVISED BY THE CONSULTING ARBOURIST.
- TREE RETENTION CARE DURING CONSTRUCTION:**
- TREES WITHIN THE TREE PROTECTION BARRIER MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS. THEY MUST BE WATERED ADEQUATELY TO ENSURE THAT THE FULL ROOT AREAS DO NOT EVER DRY OUT. ROOTS ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15 CM (6") BACK FROM NEW CONSTRUCTION. USE CLEAN, SHARP TREE PRUNING SAWS AND TOOLS.

PROJECT  
**UBC WESTBROOK NEIGHBORHOOD LOT 6**

DRAWING TITLE  
**TREE MANAGEMENT PLAN**

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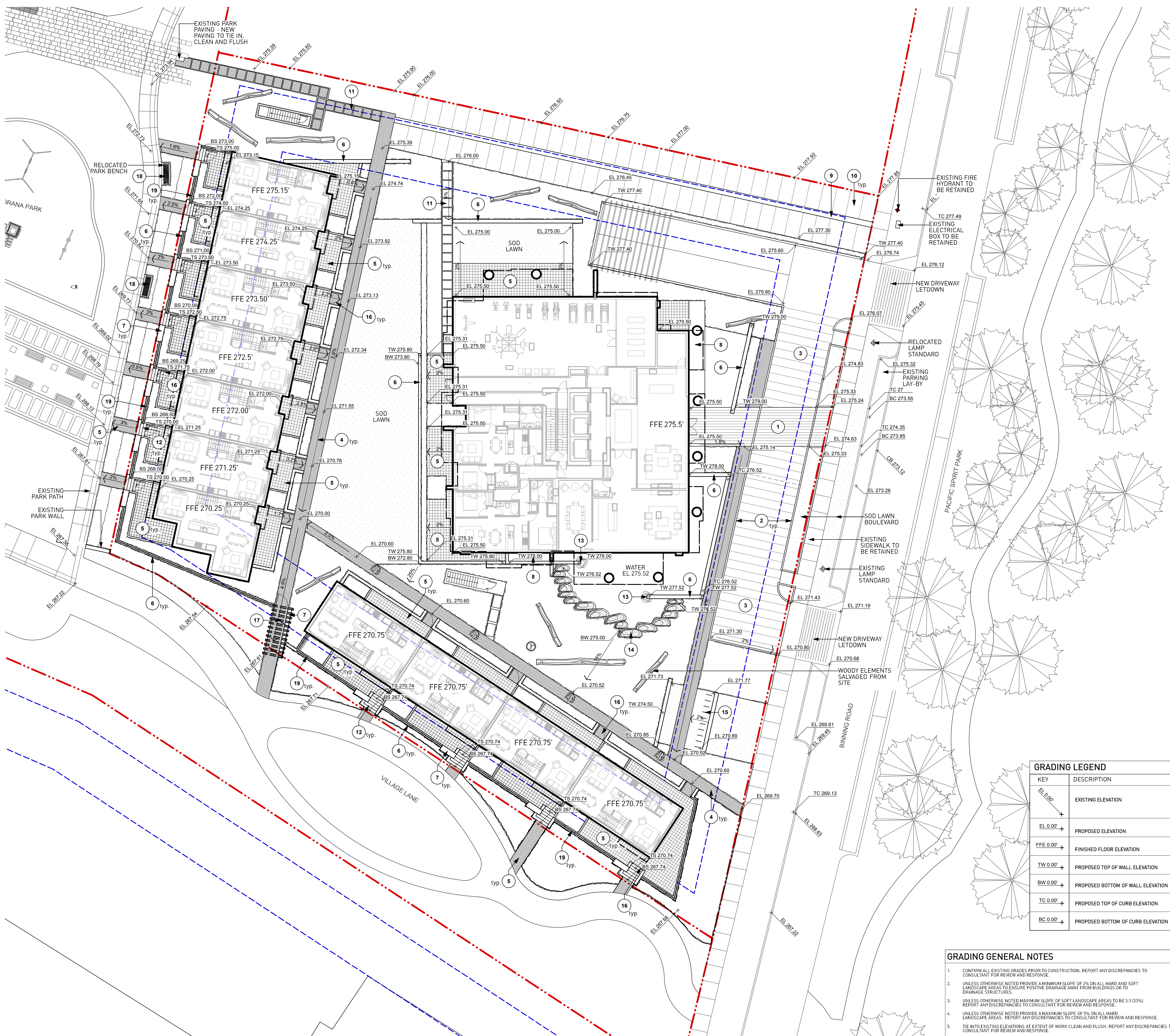
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MATERIALS LEGEND

KEY	DESCRIPTION
1	WALL CENTRE SALT AND PEPPER STONE SETTS
2	CIP CONCRETE CURB
3	CIP CONCRETE PAVING SANDBLAST FINISH SUB-BASE AND PAVING THICKNESS TO ACCOMMODATE VEHICULAR TRAFFIC
4	OVERSIZED UNIT CONCRETE PAVERS COLOUR: CHARCOAL
5	STANDARD UNIT CONCRETE PAVERS COLOUR: NATURAL GREY
6	STONE-FACED WALL
7	STONE-FACED ENTRY PIER
8	RIVER ROCK
9	STANDARD PERMEABLE UNIT CONCRETE PAVERS COLOUR: CHARCOAL
10	STANDARD PERMEABLE UNIT CONCRETE PAVERS COLOUR: NATURAL GREY
11	CIP CONCRETE SLABS SANDBLAST FINISH
12	CIP CONCRETE STAIRS WITH CUSTOM METAL HANDRAIL
13	WATER SPOUTS
14	GRIZZLY GRANITE STONE SLABS
15	10 BIKE RACKS (20 BIKES) ON CIP CONCRETE PAD
16	DECORATIVE METAL GATE
17	CUSTOM METAL TRELIS WITH SELF-CLOSING, SELF-LATCHING GATE
18	EXISTING PARK BENCH
19	DECORATIVE METAL GUARDRAIL

GRADING LEGEND

KEY	DESCRIPTION
EL 0.00'	EXISTING ELEVATION
EL 0.00'	PROPOSED ELEVATION
FFE 0.00'	FINISHED FLOOR ELEVATION
TW 0.00'	PROPOSED TOP OF WALL ELEVATION
BW 0.00'	PROPOSED BOTTOM OF WALL ELEVATION
TC 0.00'	PROPOSED TOP OF CURB ELEVATION
BC 0.00'	PROPOSED BOTTOM OF CURB ELEVATION

GRADING GENERAL NOTES

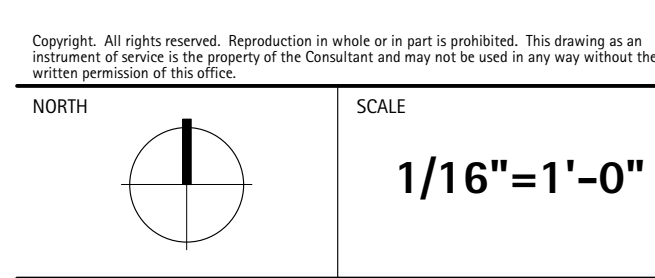
- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

PROJECT  
 UBC WESTBROOK  
 NEIGHBORHOOD LOT 6

DRAWING TITLE  
 MATERIALS AND  
 GRADING PLAN



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**IRRIGATION NOTES**

1. ALL PLANTING AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY, AUTOMATED SYSTEM

**PLANTING GENERAL NOTES**

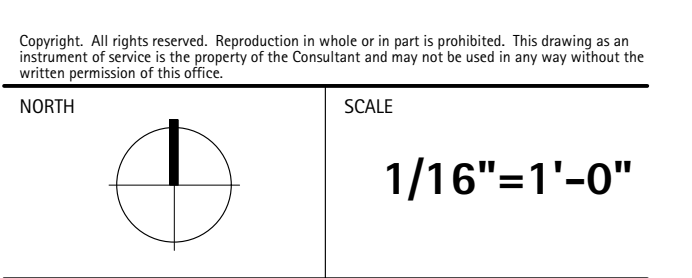
1. ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
2. SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
3. PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
4. PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
5. PLANTS WILL BE NURSERY GROWN UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
7. CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
9. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.

**Plant List**  
1285 UBC Lot 06

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
<b>Trees</b>						
ABT	3	Acer buergerianum	Trident Maple	6cm [2-1/2" caliper	As Shown	B&B Uniform branching, single leader
ACR	22	Acer circinatum	Vine Maple	3 m ht. [10'-0" ht.]	As Shown	B&B Nursery grown, minimum 3 stems
AJ	17	Acer japonicum 'Aconitifolium'	Full-moon Maple	6cm [2-1/2" caliper	As Shown	B&B. Specimen and densely branched, no included bark
ARA	7	Acer rubrum 'Armstrong'	Armstrong Red Maple	8cm cal. [3" cal.]	As Shown	B&B. Uniform branching, dense tree, 7' [2.1 m] std.
AWT	1	Acer tegmentosum 'White Tigress'	White Tigress Maple	6 cm cal. [2-1/2" cal.]	As Shown	B&B. Uniform branching, dense tree, 6' [1.8m] std.
CN	9	Cornus nuttallii	Pacific Dogwood	6cm [2-1/2" caliper	As Shown	B&B Well branched, dense tree
CD	14	Crataegus douglasii	Black Hawthorn	6cm [2-1/2" caliper	As Shown	B&B Uniform branching, dense tree, 5' [1.5 m] std.
DIN	7	Davidia involucrata	Dove Tree	6cm [2-1/2" caliper	As Shown	B&B. Uniform branching, dense tree, 7' [2.1 m] std.
ED	9	Evodia daniellii	Korean Evodia	6cm [2-1/2" caliper	As Shown	B&B. Uniform branching, single leader
PPI	3	Parrotia persica 'Inge's Ruby Vase'	'IRV' Persian Ironwood	5 cm cal. [2" cal.]	As Shown	B&B. Straight trunk, uniform branching, 5' [1.5 m] std.
PS2.5	10	Picea sitchensis - 2.5m ht.	Sitka Spruce	2.5 m ht. [8'-0" ht.]	As Shown	B&B Well branched, dense tree, nursery grown
PS3.5	4	Picea sitchensis - 3.5m ht.	Sitka Spruce	3.5 m ht. [10'-0" ht.]	As Shown	B&B Well branched, dense tree, nursery grown
PSC4	4	Picea sitchensis - 4m ht.	Sitka Spruce	4 m ht. [12'-0" ht.]	As Shown	B&B Well branched, dense tree, nursery grown
PM2.5	9	Pseudotsuga menziesii-2.5m ht.	Douglas Fir-2.5m ht.	2.5 m ht. [8'-0" ht.]	As Shown	B&B. Uniform, dense branching, nursery growth
PM3	6	Pseudotsuga menziesii-3m ht.	Douglas Fir-3m ht.	3.0 m ht. [10'-0" ht.]	As Shown	B&B. Uniform, dense branching, nursery growth
PM4	6	Pseudotsuga menziesii-4m ht.	Douglas Fir-4m ht.	4.0 m ht. [13'-0" ht.]	As Shown	B&B. Uniform, dense branching, nursery growth
PCH	3	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	7 cm cal. [2 1/2" cal.]	As Shown	B&B Well branched, dense tree, 6' [1.8 m] std.
SPS	10	Stewartia pseudocamellia	Japanese Stewartia	5 cm cal. [2" cal.]	As Shown	B&B Well branched, dense tree
TP2.5	6	Thuja plicata - 2.5m ht.	Western Red Cedar	2.5 m ht. [8'-0" ht.]	As Shown	B&B Well branched, dense tree, nursery grown
TP3.5	8	Thuja plicata - 3.5m ht.	Western Red Cedar	3.5 m ht. [10'-0" ht.]	As Shown	B&B Well branched, dense tree, nursery grown
TPL4	9	Thuja plicata - 4m ht.	Western Red Cedar	4 m ht. [12'-0" ht.]	As Shown	B&B Well branched, dense tree, nursery grown
<b>Shrubs</b>						
AEG	59	Abelia 'Edward Goucher'	Edward Goucher Abelia	#3 pot	60cm [24"]	Well established
AUC	97	Arbutus unedo 'Compacta'	Compact Strawberry Tree	#3 pot	60cm [24"]	Well established
BMW	71	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm [15"]	Well established
CIV	101	Ceanothus impressus 'Victoria'	Brilliant Ceanothus	#3 pot	60cm [24"]	Well established
CTR	78	Choisya ternata	Mexican Orange Blossom	#3 pot	60cm [24"]	Well established
CSR	278	Cornus sericea	Red-osier Dogwood	#2 pot	60cm [24"]	Well established, nursery grown
DM	104	Distylium myricoides	Myrtle-leaf Distylium	#3 pot	60cm [24"]	Well established
EAC	239	Euonymus alatus compactus	Dwarf Burning Bush	#3 pot	60cm [24"]	Well established
LA	33	Leucothoe axillaris	Coast Leucothoe	#3 pot	60cm [24"]	Well established
PC	190	Podocarpus x 'Chocolate Box'	Chocolate Box Podocarpus	#3 pot	60cm [24"]	Well established
RMP	27	Rosa 'Meidiland Pink'	Meidiland Pink Rose	#2 pot	60cm [24"]	Well established
RMV	114	Rosa 'Meidiland var. Meikrotal'	Scarlet Meidiland Rose	#2 pot	60cm [24"]	Well established
RWD	114	Rosa woodsii	Wood's Rose	#2 pot	60cm [24"]	Well established, nursery grown
SA	36	Salix arctica	Arctic Willow	#3 pot	60cm [24"]	Well established
SHH	64	Sarcococca hookeriana humilis	Himalayan Sarcococca	#3 pot	40cm [14"]	Well established
SJR	161	Skimmia japonica 'Rubella'	Red Flowered Japanese Skimmia	#3 pot	60cm [24"]	Well established
SRV	333	Skimmia reevesiana	Reeves Skimmia	#3 pot	45cm [18"]	Well established
SBA	174	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#3 pot	60cm [24"]	Well established
SDG	145	Spiraea douglasii	Douglas Spiraea	#3 pot	60cm [24"]	Well established, nursery grown
SYM	215	Symphoricarpos albus	Snowberry	#3 pot	60cm [24"]	Well established, nursery grown
TXM	537	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.2m	40cm [16"]	Well established, dense hedging plant / B & B
VGV	429	Vaccinium ovatum	Evergreen Huckleberry	#3 pot	60cm [24"]	Well established, nursery grown
VOT	87	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	60cm [24"]	Well established, nursery grown
VPR	69	Vaccinium parvifolium	Red Huckleberry	#3 pot	60cm [24"]	Well established, nursery grown
VTS	150	Viburnum tinus 'Spring Bouquet'	Spring Bouquet	#3 pot	60cm [24"]	Well established
<b>Ground Cover</b>						
AUU	379	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	25cm [10"]	15cm [6"] leads. Minimum 3 leads
EFE	52	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Wintercreeper	#1 pot	30cm [12"]	25cm [10"] spread. Minimum 3 leads
FCH	3383	Fragaria chilensis	Beach Strawberry	10cm pot	25cm [10"]	10cm [4"] height. Well established, nursery grown
FVS	90	Fragaria vesca	Woodland Strawberry	#1 pot	25 cm [10"]	Well established, nursery grown
LMB	379	Liriope muscari 'Big Blue'	Big Blue Lily-turf	#1 pot	30 cm [12"]	Well established
MRP	1470	Mahonia nervosa	Dwarf Oregon Grape	#1 pot	30cm [12"]	Well established, nursery grown
<b>Perennials</b>						
IV	113	Iris versicolor	Harlequin Blueflag Iris	#1 pot	30 cm [12"]	Well established
<b>Ferns</b>						
BSP	76	Blechnum spicant	Deer Fern	#1 pot	30 cm [12"]	Well established, nursery grown
PMU	1666	Polystichum munitum	Western Sword Fern	#1 pot	30 cm [12"]	Well established, nursery grown

PROJECT  
**UBC WESTBROOK NEIGHBORHOOD LOT 06**

DRAWING TITLE  
**PLANTING PLAN**



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