



Rositch Hemphill Architects

120 Powell Street, Unit 10  
Vancouver, BC Canada  
V6A 1G1

t 604.669.6002  
f 604.669.1091

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ISSUED:		DATE:
1	AUDP Pre-Application	NOV.26.2015
2	AUDP Application	JAN.05.2016
3	DP Application	JAN.07.2016

ISSUED FOR  
**DPA**  
January 7, 2016

NO. REVISION:      DATE:  
  
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ARCHITECTURAL SEAL:

CLIENT:



PROJECT:  
**SAVANT at LOT 23**  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
**MATERIALS**

DATABASE : 1530-A4.0.dwg  
SCALE : NTS  
PLOTDATE : JAN.04.2016  
DRAWN : JB  
CHECKED :

PROJECT NO. 1530



DWG. NO.  
**A4.0**

D.P. No :  
B.P. No :



MATERIAL LIST

- 1 ROOF FASCIA  
(TO MATCH HARDIE PANEL IRON GRAY)
- 2 LONG BOARD  
(MAHOGANY ID # 1802/02-706)
- 3 STONE CLADDING  
(BLACK DENALI GRANITE - AEON STONE)
- 4 HARDIE PANEL  
(NAVAJO BEIGE)
- 5 HARDIE PANEL  
(IRON GRAY)
- 6 HARDIE PANEL  
(ARCTIC WHITE)
- 7 ALUMINUM GUARDRAIL  
WITH CLEAR GLASS PANEL - STOCKED BLACK
- 8 FRITTED GLASS
- 9 WOOD TRIM  
(TO MATCH HARDIE PANEL ARCTIC WHITE)
- 10 DOUBLE GLAZED THERMALLY BROKEN  
VINYL WINDOWS
- 11 GLU-LAM COLUMNS  
- NATURAL STAINED
- 12 WOOD SOFFIT  
- NATURAL CEDAR STAINED
- 13 TOWNHOUSE MAIN ENTRY DOORS  
- NATURAL CEDAR STAINED
- 14 METAL DOORS PAINTED
- 15 LANAI DOOR SWING DOORS  
- NATURAL CEDAR STAINED
- 16 EXTERIOR LIGHT FIXTURE
- 17 SIGNAGE





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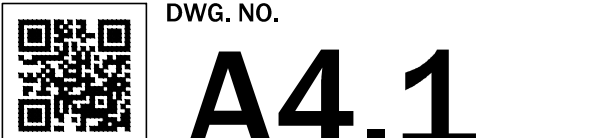
 **ADERA**  
LIVE WEST COAST

PROJECT:  
**SAVANT at LOT 23**  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
**ELEVATIONS**

DATABASE: 1530-A4.0.dwg  
SCALE: 3/32"=1'-0"  
PLOTDATE: JAN.04.2016  
DRAWN: JB  
CHECKED:

PROJECT NO. **1530**



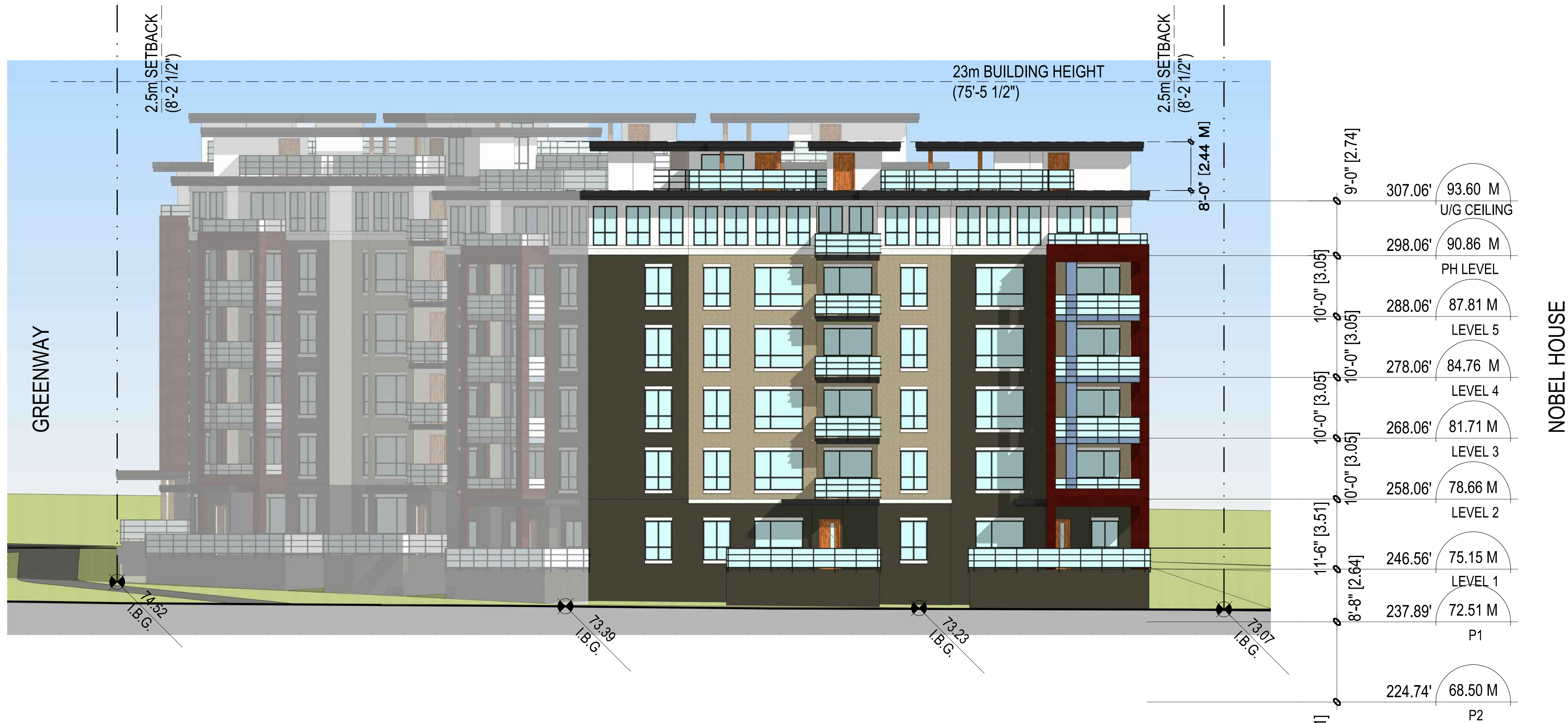
D.P. No :  
B.P. No :



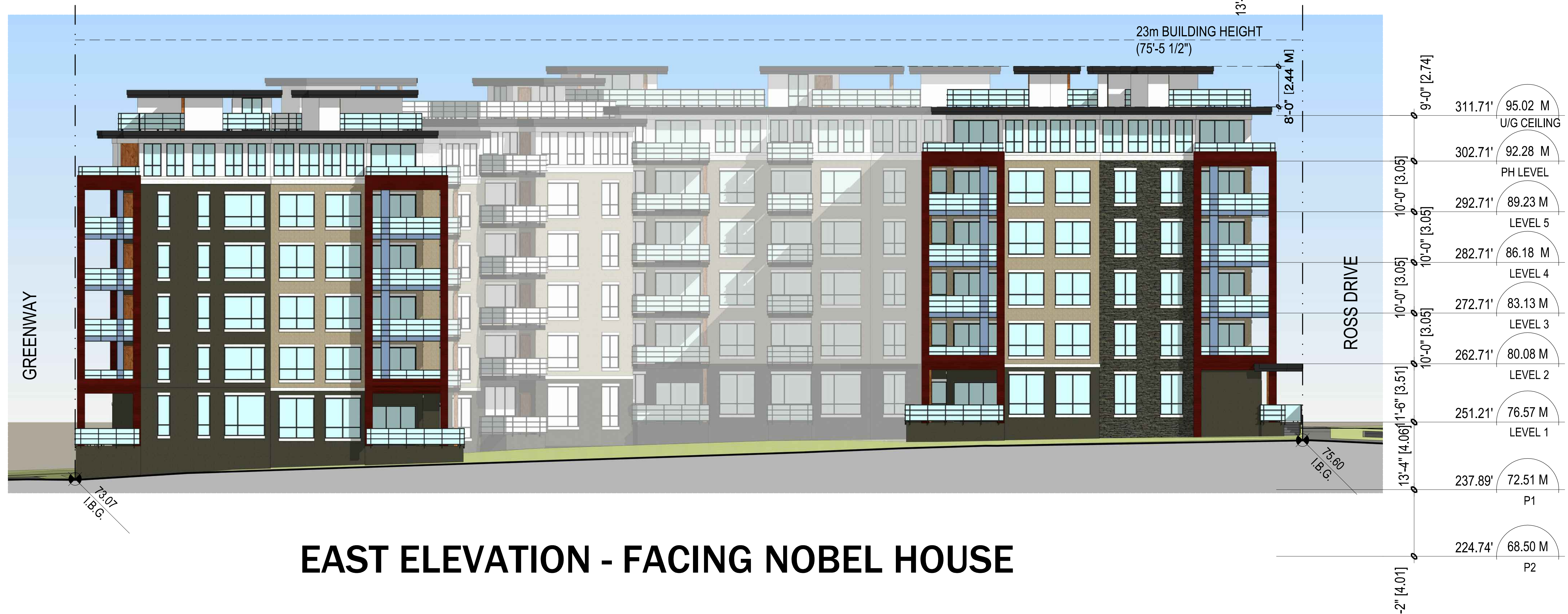
E:\ACADJOB\2015\1530 - LOT 23 ROSS DRIVE



E:\ACADJOB\2015\1530 - LOT 23 UBC\1530 A4.0.DWG



## SOUTH ELEVATION - FACING COMMUNITY GARDENS



## EAST ELEVATION - FACING NOBEL HOUSE



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ADERA LIVE WEST COAST

PROJECT:  
SAVANT at LOT 23  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
ELEVATIONS

DATABASE: 1530-A4.0.dwg  
SCALE: 3/32"=1'-0"  
PLOTDATE: JAN.04.2016  
DRAWN: JB  
CHECKED:

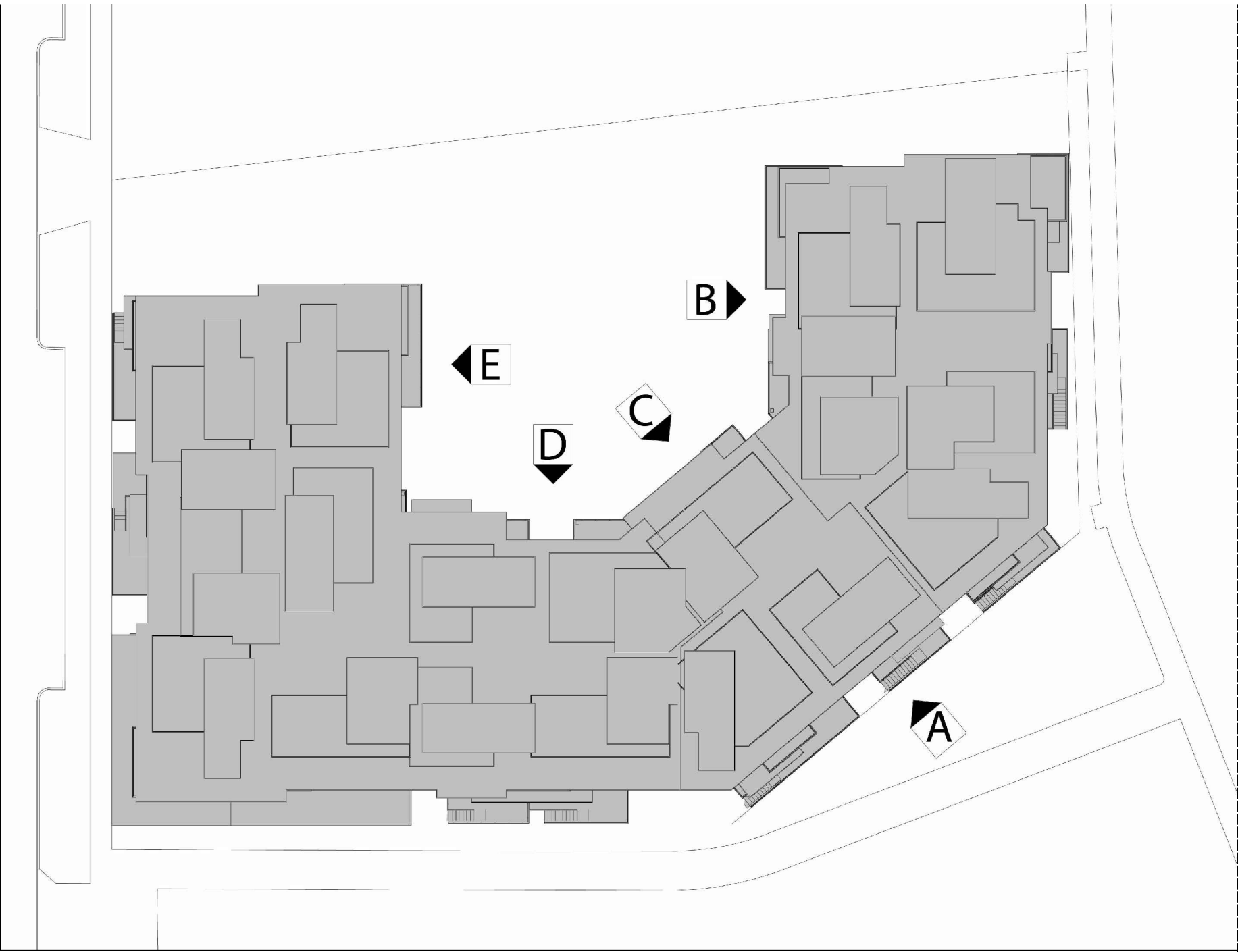
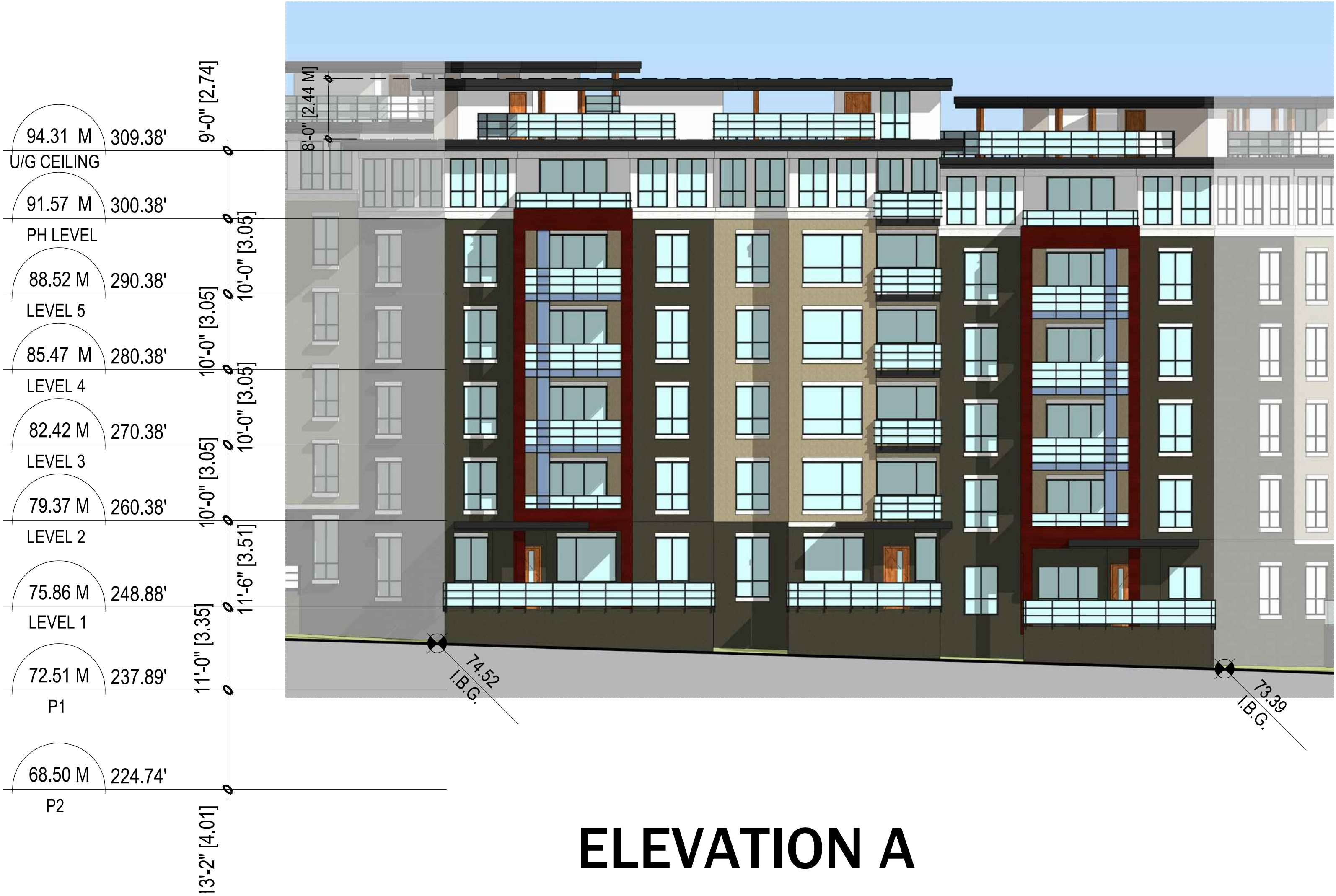
PROJECT NO. 1530

DWG. NO.  
A4.2

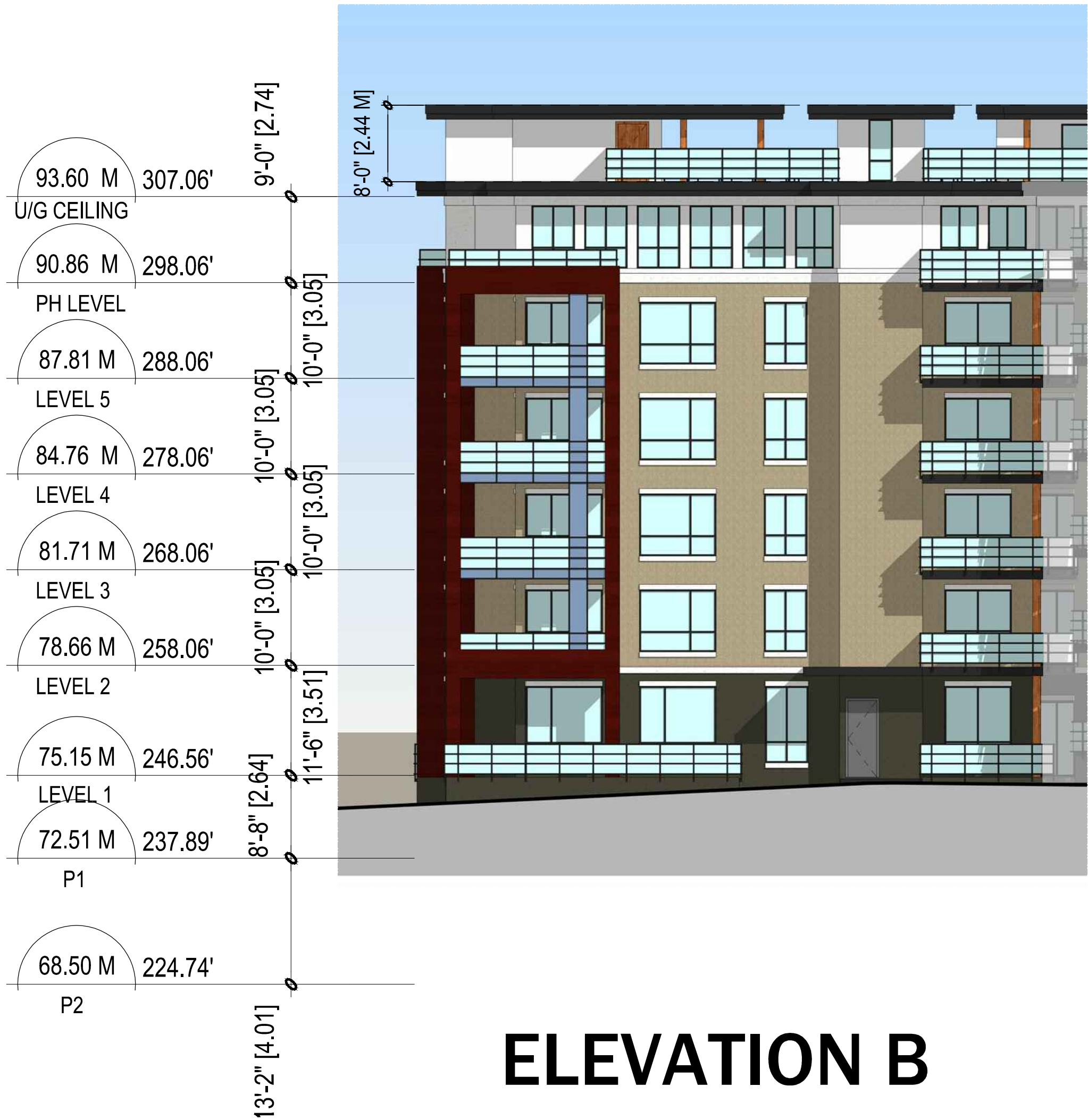
D.P. No.:  
B.P. No.:



E:\ACADJOB\2015\1530 - LOT 23 UBC\1530 A4.0.DWG



KEYPLAN



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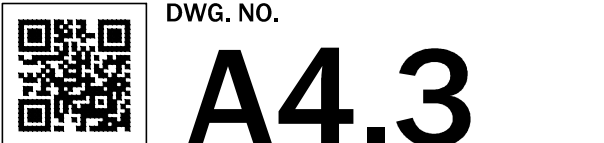


PROJECT:  
**SAVANT at LOT 23**  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
**ELEVATIONS**

DATABASE : 1530-A4.0.dwg  
SCALE : 3/32"=1'-0"  
PLOTDATE : JAN.04.2016  
DRAWN : JB  
CHECKED :

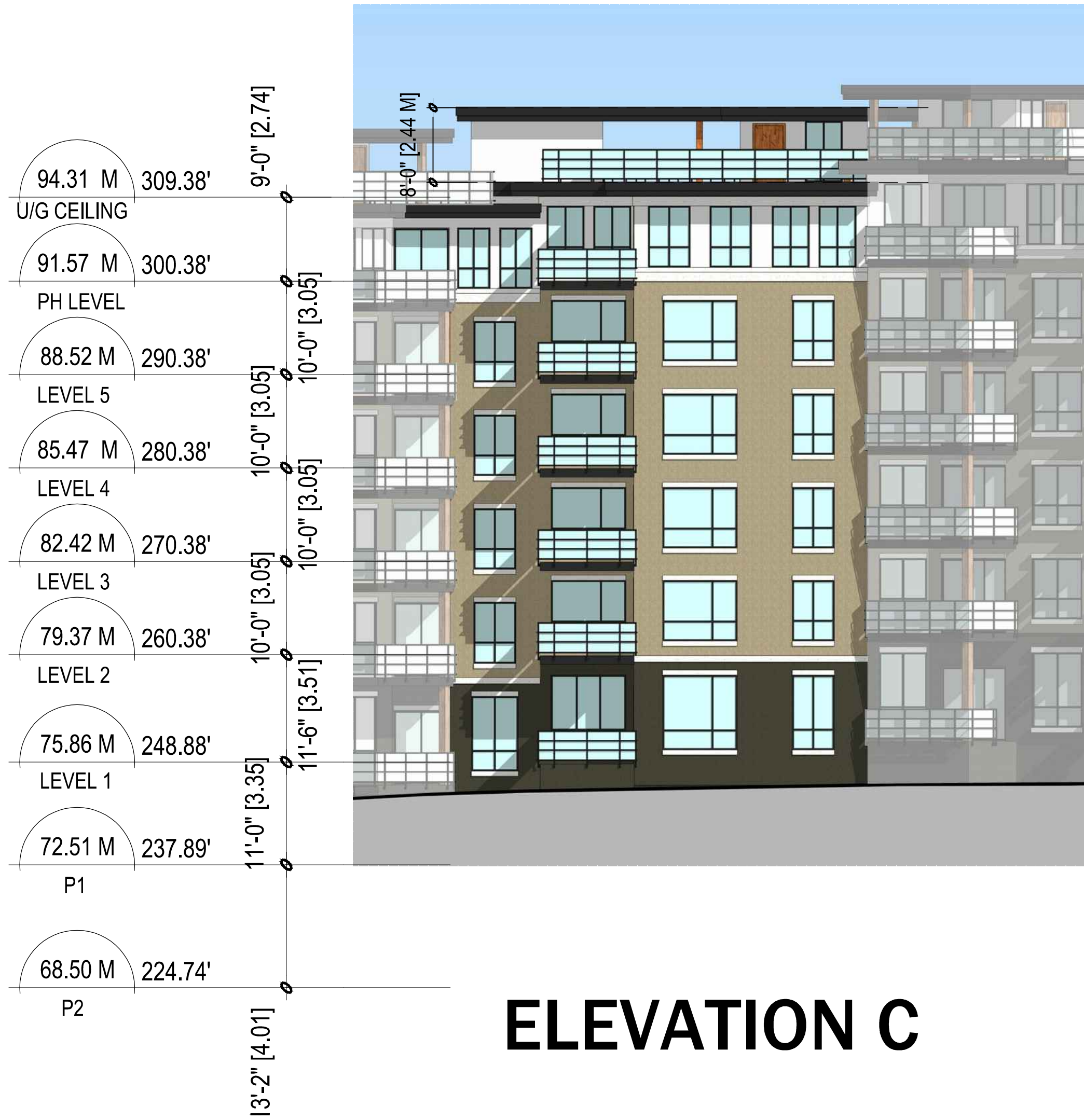
PROJECT NO. **1530**



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B.P. No :



E:\ACADJOB\2015\1530 - LOT 23 UBC\1530 A4.0.DWG



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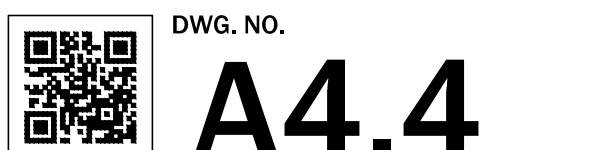


PROJECT:  
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UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
**ELEVATIONS**

DATABASE : 1530-A4.0.dwg  
SCALE : 3/32"=1'-0"  
PLOTDATE : JAN.04.2016  
DRAWN : JB  
CHECKED :

PROJECT NO. **1530**



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B.P. No :



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ARCHITECTURAL SEAL:



PROJECT:  
**SAVANT at LOT 23**  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
**BUILDING SECTIONS**

DATABASE : 1530-A5.0.dwg  
SCALE : 1/16"=1'-0"  
PLOTDATE : JAN.04.2016  
DRAWN : SB  
CHECKED :

PROJECT NO.  
**1530**

DWG. NO.  
**A5.0**

D.P. No :  
B.P. No :





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CLIENT:
<b>ADERA</b> LIVE WEST COAST

PROJECT:
<b>SAVANT at LOT 23</b> UBC South Campus Ross Drive, Vancouver, BC

DRAWING TITLE:
<b>SITE PLAN</b> <b>FIRE FIGHTER ACCESS</b>

DATABASE:	1530-A6.0.dwg
SCALE:	1/16"=1'-0"
PLOTDATE:	JAN.04.2016
DRAWN:	AY
CHECKED:	

PROJECT NO.	1530
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DWG. NO.	<b>A6.0</b>
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B.P. No:





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ARCHITECTURAL SEAL:

**CLIENT:**



PROJECT:  
**SAVANT at LOT 23**  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
**SITE PLAN - UTILITES**  
**WATER**  
**HYDRANT LOCATIONS**

DATABASE : 1530-A6.0.dwg  
SCALE : 1/16"=1'-0"  
PLOTDATE : JAN.04.2016  
DRAWN : AY  
CHECKED :

PROJECT NO. **1530**

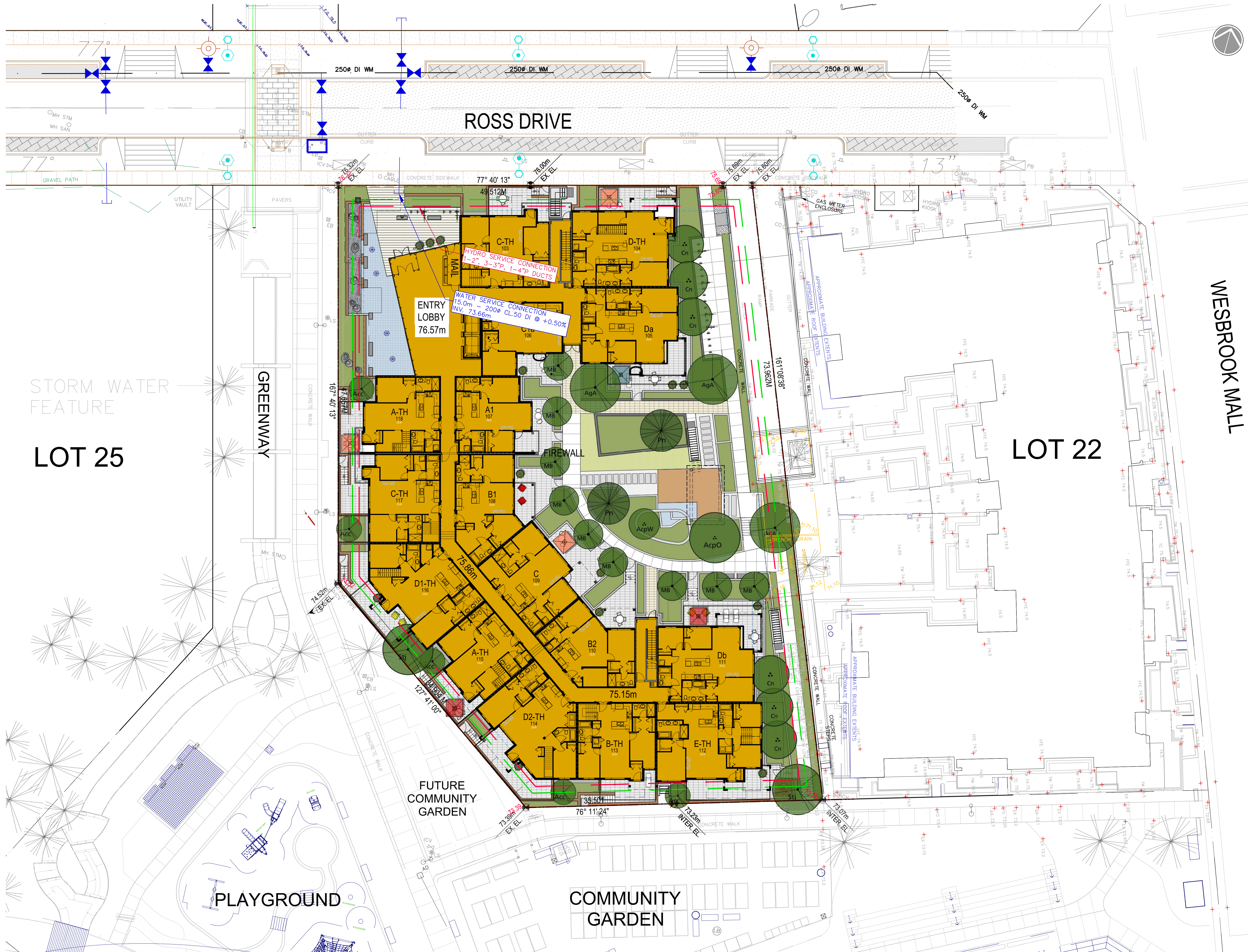


DWG. NO

## A6.1

D.P. No :  
B.P. No :

**B.P. No :**





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**CLIENT:**



PROJECT:  
**SAVANT at LOT 23**  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
**SITE PLAN - UTILITIES**  
**SANITARY**

DATABASE: 1530-A6.0.dw

SCALE : 1/16"=1'-0"

PLOTDATE: JAN.04.2016

DRAWN: AY

PROJECT NO. **1530**

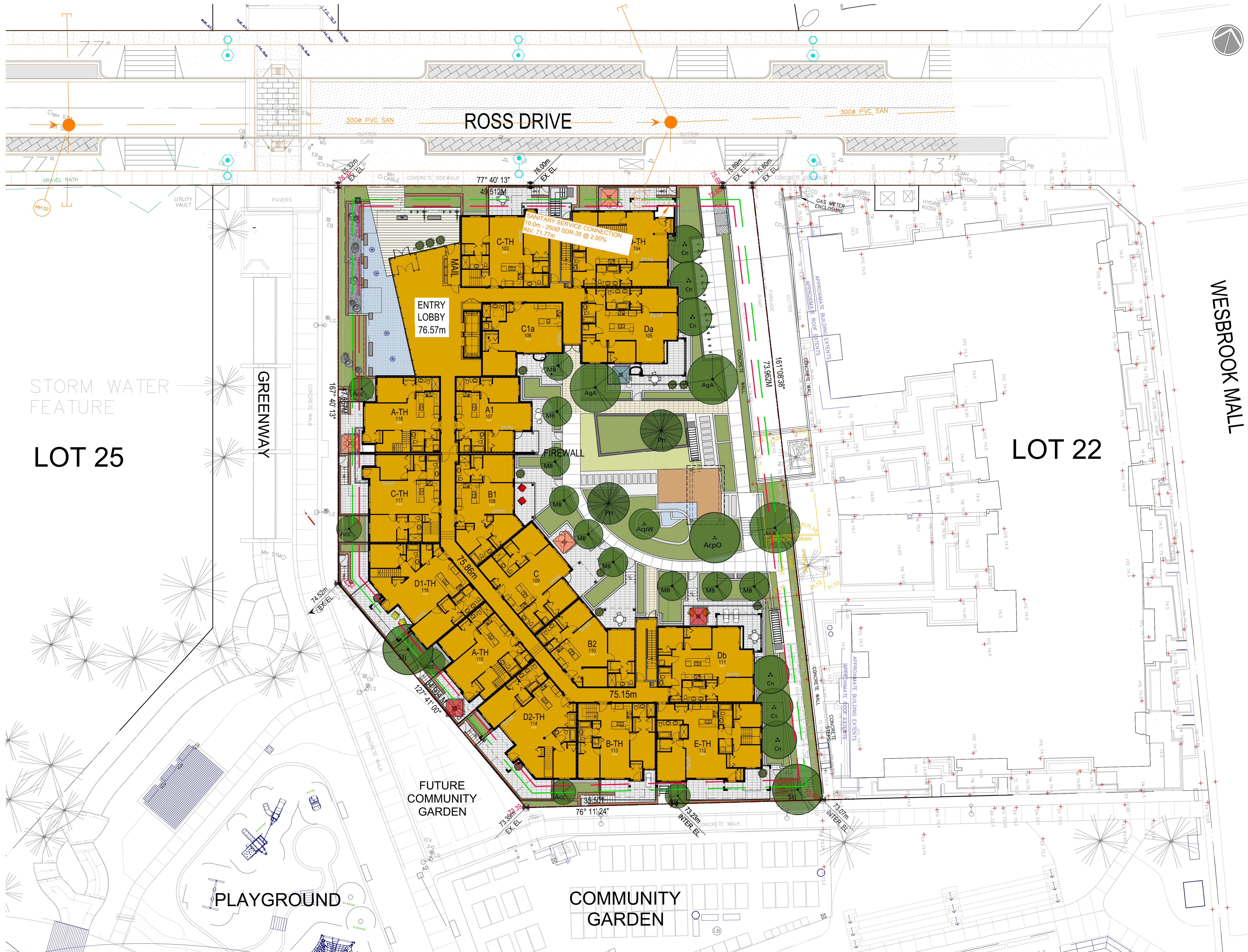


DWG. NO

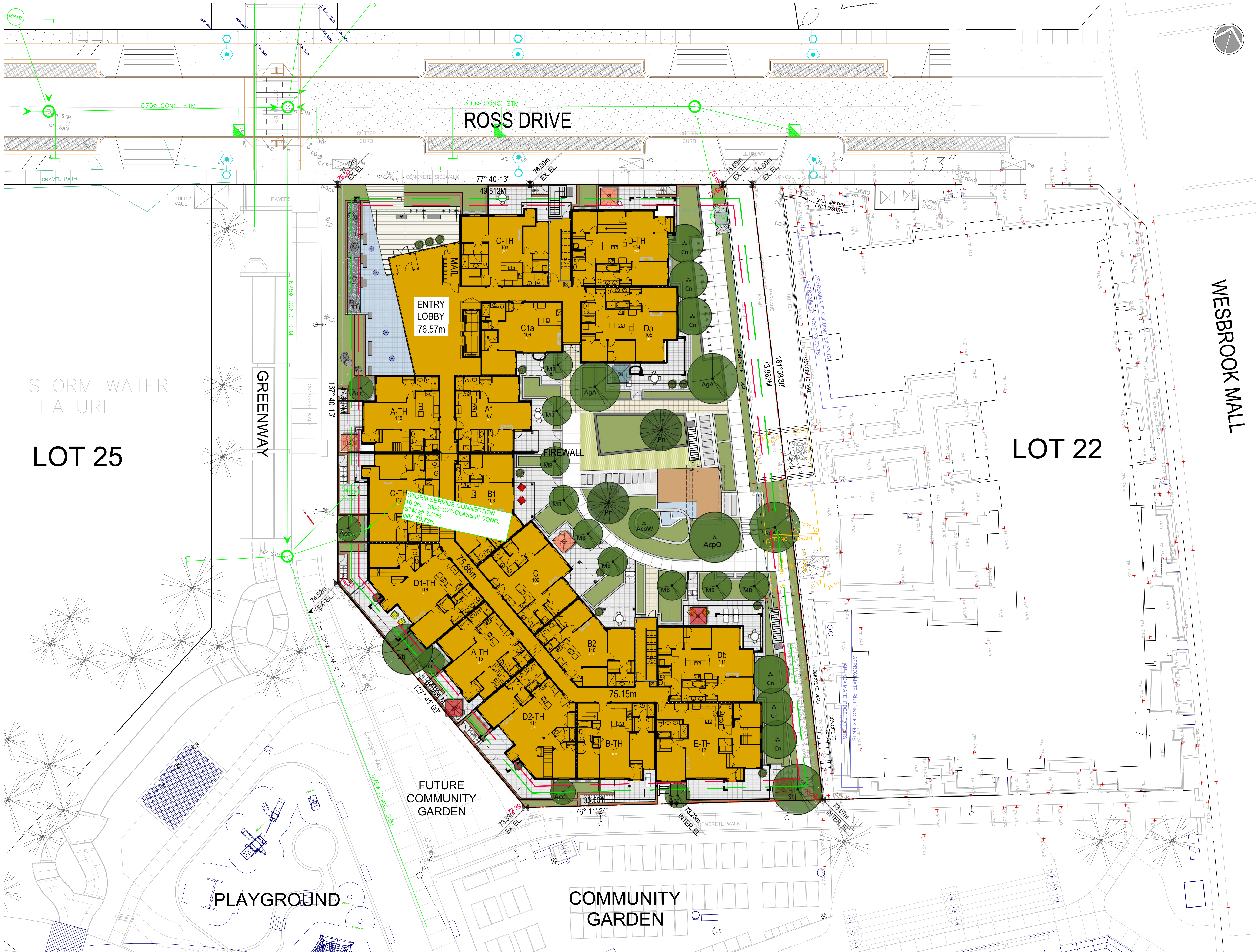
## A6.2

D.P. No :  
B.P. No :

**B.P. No :**







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ARCHITECTURAL SEAL:

CLIENT:
ADERA LIVE WEST COAST

PROJECT:
SAVANT at LOT 23 UBC South Campus Ross Drive, Vancouver, BC

DRAWING TITLE:
SITE PLAN - UTILITIES STORM

DATABASE:	1530-A6.0.dwg
SCALE:	1/16"=1'-0"
PLOTDATE:	JAN.04.2016
DRAWN:	AY
CHECKED:	

PROJECT NO.	1530
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DWG. NO.	A6.3
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D.P. No:	
B.P. No:	





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ARCHITECTURAL SEAL:

CLIENT:
ADERA LIVE WEST COAST

PROJECT:
SAVANT at LOT 23 UBC South Campus Ross Drive, Vancouver, BC

DRAWING TITLE:
SITE PLAN - UTILITIES ELECTRICAL STREET LIGHTING

DATABASE:	1530-A6.0.dwg
SCALE:	1/16"=1'-0"
PLOTDATE:	JAN.04.2016
DRAWN:	AY
CHECKED:	

PROJECT NO.	1530
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DWG. NO.	A6.4
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D.P. No:  
B.P. No:





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**CLIENT:**



PROJECT:  
**SAVANT at LOT 23**  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
**SITE PLAN - UTILITIES**  
**GAS**  
**TELEPHONE**

DATABASE: 1530-A6.0.dwg  
SCALE: 1/16"=1'-0"  
PLOTDATE: JAN.04.2016  
DRAWN: AY  
CHECKED:

PROJECT NO. **1530**



DWG. NO

## A6.5

D.P. No  
B.P. No

**B.P. No**





E:\ACADJOB\2015\1530 - LOT 23 UBC\1530 A6.6.DWG



1 SEPT 21, 10AM



2 SEPT 21, 12 PM



3 SEPT 21, 2PM



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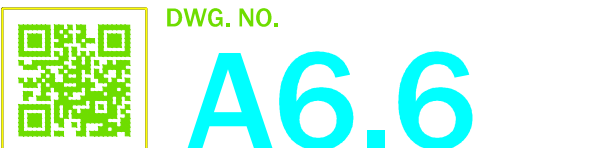


PROJECT:  
SAVANT at LOT 23  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
SHADOW DIAGRAM

DATABASE : 1530-A6.6.dwg  
SCALE : NTS  
PLOTDATE : JAN.04.2016  
DRAWN : JB  
CHECKED :

PROJECT NO. 1530



D.P. No :  
B.P. No :



E:\ACAD\JOB\2015\1530 - LOT 23 UBC\1530 A0.7.DWG

UBC Residential Environmental Assessment Program  
REAP 3.0

Project Information

Developer: Adera Development Corp  
Architect: RHA  
REAP Consultant: Wayne Vale  
Project Name: Savant  
Neighbourhood:  
Lot No.: 23  
Street Address:  
Project Stage: Design / BP  
UBC DP Reference No.:  
Date of Review: Dec 21/2015  
Date of Submission:

CREDITS	Mandatory	Max	Score
Sustainable Sites (SS)	-	10	2
Water Efficiency (WE)	-	18	6
Energy & Atmosphere (EA)	-	52	15
Materials & Resources (MR)	-	18	5
Indoor Environmental Quality (IEQ)	-	8	4
Construction (CON)	-	4	2
Innovation & Design Process (ID)	-	24	14
Subtotal		134	48

TOTAL 134 48

REAP Rating:	48 GOLD(45-60 pts)
45-60 pts	Gold
61-75 pts	Gold Plus
76-100pts	Platinum
101-134 pts	Platinum Plus

Savant - REAP 3.0 BP Submission Checklist 2015.12.21

12/21/2015

Performance Category: Sustainable Sites (SS)			10 Points		
The intent of the Sustainable Sites category is to reduce the negative impacts of development, maintain the natural landscape, vegetation and environmental attributes of the site and provide new landscaping that enhances the microclimate.					
			Score:	2	
SS		MANDATORY			
SS	M1	<b>Storm Water Management Plan</b> Develop a plan that integrates the on-site stormwater management system with the neighbourhood-wide stormwater management principles and strategies, including controlling of rate and/or quantity of run-off as required.	M		
SS	M2	<b>Adapted and Ecologically Sound Planting</b> Demonstrate that landscape design has minimized the need for pesticides and irrigation through the selection of adaptive and drought-tolerant plants and consideration of the principles of Integrated Pest Management and xeriscaping.	M		
SS	M3	<b>Bicycle Storage</b> Provide covered storage facilities for securing bicycles in accordance with the <i>UBC Development Handbook</i> .	M		
SS	M4	<b>Contribution to Community Car Sharing</b> Contribute to the development of a community car-sharing network by funding the equivalent of one community vehicle per 100 residential units.	M		
SS	M5	<b>Light Pollution Reduction</b> Do not exceed Illuminating Engineering Society of North America (IESNA) illuminance requirements as stated in the <i>Recommended Practice Manual: Lighting for Exterior Environments</i> .	M		
SS	M6	<b>Recycling Collection</b> Provide for collection of domestic paper, plastic, glass and metal recyclables by contracting with a waste management company for the service. Recycling storage space shall be designed in accordance with Metro Vancouver's Technical Specifications for Recycling Amenities.	M		
SS	M7	<b>Compost Collection</b>  Provide a space in the building for the collection compost and provide for the compost collection through a contract with UBC Waste Management or another waste management service provider. Design the space in the building in accordance with Metro Vancouver's <i>Technical Specifications for Recycling Amenities</i> .	M		
SS	OPTIONAL				
SS	1.1	<b>In-Suite Recycling and Compost Separation</b>  Provide a space <b>and</b> system for simplified separation and collection of recycling and compostables in each suite or unit.	2	0	
SS	2	<b>ALTERNATIVE TRANSPORTATION</b>			
	2.1	<b>Additional Bicycle Facilities</b> In addition to the requirements for bicycle parking in the <i>UBC Development Handbook</i> , provide an additional 0.25 Class 1 bicycle storage/bedroom and a bicycle repair station within the building.	2	0	
	2.2	<b>Electric Vehicle Charging – Visitor</b> Provide one dedicated parking spot per 100 residential units for visitors of residents/owners, fully equipped with Level 2 charging station.	2	0	
	2.3	<b>Electric Vehicle Charging - Resident</b> Install necessary conduit and transformer capacity to accommodate Level 2 Charging Stations for the following percentage of owners'/residents' parking (Max = 4 Points): 10% of owners'/residents' parking – 2 Points 20% of owners'/residents' parking – 2 Points	4	2	
<b>Performance Category: Water Performance Category: Water Efficiency (WE)</b>			18 Points		
The intent of the Water Efficiency category is to encourage strategies that reduce the amount of potable water used for landscape irrigation and building operations.					
			Score:	6	
WE	MANDATORY				
WE	M1	<b>Efficient Irrigation Technology and Rainwater Use</b> Design and install a water-efficient irrigation system that includes an automated controller, rain or soil sensors and pressure regulator and for non-grass areas use a micro- or drip-feed irrigation <b>or</b> install a temporary irrigation system.	M		
	M2	<b>Low-Flush Toilets</b> Specify and install high efficiency 4.8 L per flush (1.28 gal) single flush toilets or 3.4/6 L per flush (0.9gal/1.6gal) dual flush toilets for all water closets.	M		
	M3	<b>Low-Flow Faucet Aerators</b> Specify and install low-flow faucets with aerators in all bathroom sinks (max. 3.8 L per minute) <b>and</b> in all kitchen sinks (max. 6.8 L per minute).	M		
	M4	<b>Low-Flow Showerheads</b>  Specify and install water-saving showerheads with a maximum flow rate of 8.5 L per minute in each shower.	M		
	M5	<b>Energy Star Clothes Washers and Dishwashers</b>  Specify and install Energy Star-labelled clothes washers and dishwashers in each unit, or specify and offer only Energy Star models if these appliances are optional.	M		

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12/21/2015



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3 DP Application	JAN.07.2016

ISSUED FOR  
DPA  
January 7, 2016

NO. REVISION:	DATE:
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ARCHITECTURAL SEAL:

CLIENT:



PROJECT:  
SAVANT at LOT 23  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
REAP CREDITS

DATABASE : 1530-A0.7.dwg  
SCALE : 1/16"=1'-0"  
PLOTDATE : JAN.04.2016  
DRAWN : AY  
CHECKED :

PROJECT NO.  
1530



DWG. NO.

A7.0

D.P. No :  
B.P. No :



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WE		OPTIONAL			
WE	1	WATER EFFICIENT LANDSCAPING			
	1.1	<b>Reduce Potable Water Use</b> Reduce potable water use for site irrigation needs by 50% from the calculated mid-summer baseline.	3	3	
	1.2	<b>Eliminate Potable Water Use</b> Eliminate potable water use for site irrigation needs.	3	0	
WE	2	WATER USE REDUCTION			
	2.1	<b>Low-Flow Showerheads</b> Specify and install water-saving showerheads (maximum of 5.7 L per minute) in each shower.	2	0	
	2.2	<b>Water Efficient Dishwasher</b> Specify and install water-efficient dishwashers that use ≤ 11 L (2.91 gal) per normal wash cycle or if dishwashers are available only as an option, specify and offer only models complying with this credit.	1	0	
	2.3	<b>Most Efficient Clothes Washers</b> Specify and install Energy Star clothes washers listed as " <b>Most Efficient</b> " for <b>current year</b> , or if washers are available only as an option, specify and offer only models <b>complying to this standard</b> .	2	0	
	2.4	<b>Water Use Reduction Package</b> Additional credit for achieving credits: WE 1.1, WE 2.1, WE 2.2 and WE 2.3.	2	0	
WE	3	WATER METERING			
	3.1	<b>Domestic Hot Water metering</b> In units with central hot water, provide individual hot water metering.	3	3	
	3.2	<b>Domestic Cold-Water metering</b> Provide for individual cold water meters for all units.	2	0	
Performance Category: Energy & Atmosphere (EA)			52 Points		
The intention of the energy and atmosphere category are to reduce depletion of non-renewable energy resources and to reduce the environmental impacts of energy use, particularly emissions of local, regional and global air pollutants and greenhouse					
			Score: 15 -		
EA		MANDATORY			
EA	M1	<b>Minimum Roof Insulation</b> Design the roof assembly with a minimum insulation value of R-40 h·ft²·°F/Btu (7.04 °K·m²/W) for buildings with attic space and R-28 h·ft²·°F/Btu (4.93 °K·m²/W) for cathedral ceilings/flat roofs.	M		
	M2	<b>Minimum Exterior Wall Insulation</b> Design the exterior insulated wall area with a minimum thermal resistance of effective (overall) R-15.6 h·ft²·°F/Btu (2.75 °K·m²/W) for above grade non-glazed wall areas, and R-7.5 h·ft²·°F/Btu (1.32 °K·m²/W) "continuous insulation" for below grade walls.	M		
	M3	<b>Minimum Floor Insulation</b> Design floors above non-heated parkade areas with a minimum insulation value of R-30 h·ft²·°F/Btu (5.28 °K·m²/W) for framed floors and R-15.6 h·ft²·°F/Btu (2.75 °K·m²/W) for slab floors.	M		
	M4	<b>Energy Efficient Windows</b> Specify and install Energy Star-rated windows or windows with a maximum overall U-value of 0.35 Btu/hr·ft²·°F (2.0 W/m²·°K for non-metal framed windows or a maximum overall <b>U-value of 0.45 Btu/hr·ft²·°F (2.55 W/m²·°K) for metal framed windows</b> .	M		
	M5	<b>Minimum Boiler Efficiency</b> Specify and install boilers with a minimum thermal efficiency of 84% /AFUE of minimum 90% or heat using District Energy.	M		
	M6	<b>Domestic Hot Water</b> Specify and install gas DHW boilers with a minimum efficiency of 84% (mid-efficiency boiler) or heat domestic hot water using District Energy.	M		
	M7	<b>Energy Star Dishwashers and Refrigerators</b> Specify and install Energy Star-labelled dishwashers and refrigerators in each unit.	M		
	M8	<b>Programmable Thermostats</b> Specify and install programmable thermostats for at least the largest heating zone in each unit.	M		
	M9	<b>Common Area Lighting</b> Specify and install only non-incandescent lighting, such as fluorescent, compact fluorescent or LED, in common areas.	M		
	M10	<b>Parkade and Corridor Lighting Controls</b> Specify and install parkade and corridor lighting controls to automatically reduce the overall lighting level by at least 30% in a lighting zone when the zone is unoccupied.	M		
EA		MANDATORY			
	ENERGY EFFICIENCY TARGETS				
		<b>EA GOLD-Mandatory</b> Design the building to meet a maximum EUI of 160 kwh/m2/yr, demonstrated using the UBC Energy Modeling Guidelines. This credit is mandatory and required for achievement of REAP Gold.	6	6	
		<b>EA Gold Plus</b> Design the building to meet a maximum EUI of 140 kwh/m2/yr, demonstrated using the UBC Energy Modeling Guidelines. This credit is mandatory and required for achievement of REAP Gold Plus.	8	0	

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		<b>EA Platinum</b> Design the building to meet a maximum EUI of 120 kwh/m2/yr, demonstrated using the UBC Energy Modeling Guidelines. This credit is mandatory and required for achievement of REAP Platinum.	10	0	
		<b>EA Platinum Plus</b> Design the building to meet a maximum EUI of 105 kwh/m2/yr, demonstrated using the UBC Energy Modeling Guidelines. This credit is mandatory and required for achievement of REAP Platinum Plus.	10	0	
EA	1	<b>ENERGY METERING</b>			
	1.1	<b>Thermal Energy Sub-Metering</b> Provide separate metering in individual units for measuring thermal energy consumption used for space heating.	1	1	
EA	2	<b>RENEWABLE ENERGY</b>			
	2.1	<b>Future Renewable Electricity</b> Pre-wire buildings and provide installation space for future use of photovoltaic technologies or other renewable electricity generation.	1	1	
	2.1	<b>Renewable Electricity Utilization</b> Utilize photovoltaic technologies or other renewable electricity generation for a portion of the building's electrical supply	3	0	
	2.3	<b>Low-Carbon District Energy Utilization</b> Utilize low carbon, renewable energy through connect to the District Energy System for the building's thermal energy supply (or be District Energy compatible).	5	5	
EA	3	<b>COMMISSIONING</b>			
	3.1	Contract a third party Commissioning Authority to develop and implement a commissioning plan for all major building energy systems and verify they are installed, calibrated and perform according to design intent.	4	0	
EA	4.1	<b>AIRTIGHTNESS</b>	2	0	
		The building envelope shall be constructed so that the air change rate is not greater than 3.5ACH50 when measured in accordance with CAN/CGSB-149.15-M86 (Determination of the airtightness of Building envelopes by the Fan Depressurization Method.)			
EA	5.1	<b>Energy Modeling Workshop</b>	2	2	
		Model the energy performance of the building and hold a workshop with the design team, a representative from Campus sustainability and contractor to evaluate the results and optimize the design of the building.			
<b>Performance Category: Materials &amp; Resources (MR)</b>			<b>18 Points</b>		
The intent of the Materials & Resources category is to encourage design strategies that reduce and reuse material resources, reduce construction waste, and to select building materials that are environmentally preferable.					
			<b>Score: 5</b>		
MR		<b>OPTIONAL</b>			
MR	1	<b>RECYCLED CONTENT AND REUSED MATERIALS</b>			
	1.1	<b>Reused Building Materials</b> Use salvaged, refurbished, or reused materials for at least 5% of the total cost of building materials.	2	0	
	1.2	<b>Reused Building Materials</b> Use salvaged, refurbished, or reused materials for at least 10% of the total cost of building materials.	2	0	
	1.3	<b>Recycled Content Materials</b>  Specify and use building materials with the following recycled content levels:  Common area carpet with minimum 25% recycled content (N) Drywall with minimum 15% recycled content (Y) Batt insulation with minimum 40% recycled content (Y) Doors contain minimum 15% recycled material (Y) Concrete with min. 20% fly ash content, excluding suspended slabs (Y) Concrete with min. 40% fly ash content, excluding suspended slabs (N) Cabinetry with minimum 20% recycled content (Y)  MDF products with minimum 50% recycled content (N)  <b>Minimum four recycled content items on list above 1 point</b>  All eight recycled content items on list above 2 points	2	1	
MR	2	<b>REGIONAL MATERIALS</b>			
	2.1	<b>Regionally Manufactured Building Materials</b>  Use a minimum of 20% (by value) of building materials and products that are manufactured within a radius of 800 km (500 miles).	1	1	
	2.2	<b>Regionally Sourced Building Materials</b>  Of the materials from Credit MR 2.1, use a minimum of 50% (by value) of building materials and products that are extracted, harvested or recovered (as well as manufactured) within a radius of 800 km (500 miles).	1	1	
MR	3	<b>CERTIFIED AND NON-ENDANGERED FOREST PRODUCTS</b>			
	3.1	<b>Dimensional Lumber</b>	3	2	

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CLIENT:



PROJECT:

**SAVANT at LOT 23**  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:

**REAP CREDITS**

DATABASE : 1530-A0.7.dwg

SCALE : 1/16"=1'-0"

PLOTDATE : JAN.04.2016

DRAWN : AY

CHECKED :

PROJECT NO.

**1530**



DWG. NO.

**A7.1**

D.P. No :  
B.P. No :



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		Demonstrate that a minimum of 50% of the total value of dimensional lumber and plywood is certified in accordance with either: CSA Z809 – 2 Points Or Forest Stewardship Council (FSC) – 3 Points			
	3.2	Or Forest Stewardship Council (FSC) 3 points Specify and install bamboo floors or hardwood floors certified in accordance with the Forest Stewardship Council or CSA Z809. If floors are offered only as an option, specify and offer only bamboo or renewable products with third-party certification. CSA Z809 – 2 Points Or Forest Stewardship Council (FSC) – 3 Points	3	0	
MR	4	BUILDING PRODUCT INGREDIENTS			
	4.1	Transparency of Ingredients  Install ten different building products from three different manufacturers that demonstrate the chemical inventory of the product to and accuracy of 0.1% for each product. For each product selected provide either: Health Product Declaration Manufacturer Inventory of all ingredients by CAS number, of Declare Label (Living Building Institute)	2	0	
	4.2	Optimization of Ingredients  Demonstrate that a minimum of 10% (by value) of building materials are optimized for ingredient content by demonstrating optimization in one of the following ways: • GreenScreen v1.2 benchmark 4 minimum • Red List free • Free of ingredients listed on REACH Authorization and Candidate List	2	0	
Performance Category: Indoor Environmental Quality (IEQ)			8 Points		
The intent of the Indoor Environmental Quality category is to achieve enhanced indoor environmental quality through the thoughtful selection and application of materials and effective ventilation strategies.					
			Score: 4 -		
IEQ	MANDATORY				
	M1	Adhesives and Sealants Specify and use adhesives, sealants and sealant primers that do not exceed the VOC limits of the Canadian Environmental Choice/EcoLogo program or do not exceed the VOC limits specified in the State of California's South Coast Air Management District Rule #1168.	M		
	M2	Paints and Coatings Specify and use paints and coatings that carry an EcoLogo label or those rated at a minimum GPI-1 by the Master Painter's Institute on the interior of the building.	M		
	M3	Floor Coverings Specify and install carpet and carpet cushion that carry the following certifications: Carpet and Rug Institute Green Label Plus or the EcoLogo.	M		
	M4	Ventilation Effectiveness Prepare and implement an effective air management strategy that meets the requirements of the current versions of CAN/CSA F326 or ASHRAE-62.1 or 62.2 as applicable to the building configuration.	M		
IEQ	OPTIONAL				
IEQ	1	LOW-EMITTING MATERIALS			
	1.1	Low VOC Paints and Coatings Specify and use paints and coatings rated at a minimum GPS-2 by the Master Painter's Institute on the interior of the building.	2	2	
	1.2	Low-Emitting Composite Wood Products Specify and install interior composite wood products, such as flooring, doors, trim, etc., that have no added urea formaldehyde. Cabinetry is excluded from this credit.	2	0	
	1.3	Low-Emitting Insulation Specify and install formaldehyde-free insulation on the interior of the building.	2	2	
	1.4	Low -Emitting Cabinetry Specify and install interior cabinetry doors and boxes that are urea formaldehyde-free.	2	0	
Performance Category: Construction (CON)			4 Points		
The construction process can impose significant and lasting impact on the ecology of both the site and beyond. The Construction credits acknowledge and reward contractors who have followed best practices.					
			Score: 2 -		
CON	MANDATORY				
	M1	Staging and Construction Prepare and implement a staging and construction plan, including alternate detour information and signage for pedestrians and cyclists.	M		
	M2	Vegetation Safeguards and Land-Clearing Debris	M		

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		Prepare a site plan showing the sizes and locations of vegetation to be removed, retained and salvaged, including plants located on adjacent public rights-of-way (see reference guide) <b>and</b> develop a plan to effectively handle debris from land clearing and divert it from landfill disposal.			
	M3	<b>Truck Management Plan</b> Prepare and implement a comprehensive truck management plan for the project that conforms to the <i>UBC Strategic Transportation Plan</i> and the <i>Neighbourhood Plan Development Guidelines</i> .	M		
	M4	<b>Wheel Wash</b> Provide a wheel wash for vehicles leaving the site <b>or</b> a street cleaning program and catch basin protection.	M		
	M5	<b>Erosion and Sedimentation Control</b> Prepare and implement a site sediment and erosion control plan that conforms to <i>Best Management Practices Guide for Stormwater: Appendix H – Construction Site Erosion and Sediment Control Guide</i> (GVS&DD, October 1999).	M		
	M6	<b>Waste Management Plan</b>  Prepare and implement a waste management plan that diverts 75% (by weight) of construction, demolition and land clearing waste from landfill.	M		
CON OPTIONAL					
CON 1 CONSTRUCTION IAQ MANAGEMENT PLAN					
	1.1	<b>Indoor Air Quality Management Plan</b>  Prepare and implement an Indoor Air Quality (IAQ) Management Plan for the construction and pre-occupancy phases of the building.	2	2	
	1.2	<b>Flushout</b>  Conduct a minimum two-week continuous building flushout with new filtration media at 100% outside air after construction ends and prior to occupancy <b>or</b> conduct a baseline indoor air quality test.	2	0	
Performance Category: Innovation & Design Process (ID)			24 Points		
The intent of the Innovation & Design Process category is to provide incentive and credit for general design and other innovative practices that improve the overall sustainability and environmental performance of the project.					
Score: 14 -					
ID MANDATORY					
	M1	<b>Goal-Setting Workshop</b> Hold a goal setting workshop including the developer, design consultants and contractor to review the <i>Residential Environmental Assessment Program</i> , set goals for the project and assign responsibilities.	M		
	M2	<b>Educate the Homeowner</b> Develop a homeowner’s manual that promotes sustainable behavior and describes all of the sustainable features of the project instructing the homeowner on their proper use. This manual should be included in record drawings or some form that will be accessible beyond the first generation of owner/resident.	M		
ID OPTIONAL					
ID 1 INNOVATION IN MATERIALS					
	1.1	<b>Life-Cycle Assessment</b> Perform a Life-Cycle Assessment of the project’s structure and enclosure and demonstrate a minimum of 5% improvement from a reasonable baseline building for three environmental categories	4	0	
ID 2 INTEGRATIVE AND UNIVERSAL DESIGN					
	2.1	<b>Green Building Specialist</b> Engage an expert in green buildings and sustainable construction practices to provide advice on effective green building strategies to the design team.	1	1	
	2.3	<b>Design for Safety and Accessibility</b> Demonstrate that at least 25% of the units in the building have been designed to meet the SAFERhome standards ( <a href="http://www.saferhomesociety.com/">http://www.saferhomesociety.com/</a> ), which address issues of accessibility, children’s safety, seniors and aging in place.	1	1	
	2.2	<b>Design for Security and Crime Prevention</b> Demonstrate that the design has been reviewed by an accredited Crime Prevention Through Environmental Design (CPTED) practitioner .	2	2	
ID 3 MARKET TRANSFORMATION					
	3.1	<b>Educate the Sales Staff</b> Develop marketing materials based on the environmental performance of the project and ensure the sales staff is aware of and knowledgeable about the green building features.	1	1	
ID 4 ACADEMIC LINKS					
	4.1	<b>Enhance Research or Further Student Development</b>	5	5	UBC Seeds Program in conjunction with IDc4.2

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CLIENT:



PROJECT:  
SAVANT at LOT 23  
UBC South Campus  
Ross Drive, Vancouver, BC

DRAWING TITLE:  
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DATABASE : 1530-A0.7.dwg

SCALE : 1/16"=1'-0"

PLOTDATE : JAN.04.2016

DRAWN : AY

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PROJECT NO.

1530



DWG. NO.

A7.2

D.P. No :

B.P. No :



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		Collaborate with UBC students and/or faculty on a research project or other opportunities to enhance the academic mission of the University and integrate it with the community. The research project should be concurrent with, and applicable to, the <del>current project</del> .			
	4.2	<b>Energy Data Sharing</b> Incorporate a data sharing agreement into the sales contracts or strata constitution that allows building aggregate energy data to be collected for use by the UBC Campus Sustainability.	4	4	In conjunction with IDc4.1
ID	5	INNOVATIVE DESIGN			
	5.1	<b>Innovative Design or Exemplary Achievement</b> Demonstrate exceptional performance above the requirements set by one of the existing credits <b>or</b> the implementation of an innovative design strategy not specifically addressed by any of the existing credits.	2	0	
	5.2	<b>Innovative Design or Exemplary Achievement</b> Demonstrate exceptional performance above the requirements set by one of the existing credits <b>or</b> the implementation of an innovative design strategy not specifically addressed by any of the existing credits.	2	0	
	5.3	<b>Innovative Design or Exemplary Achievement</b> Demonstrate exceptional performance above the requirements set by one of the existing credits <b>or</b> the implementation of an innovative design strategy not specifically addressed by any of the existing credits.	2	0	

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PROJECT NO.  
1530



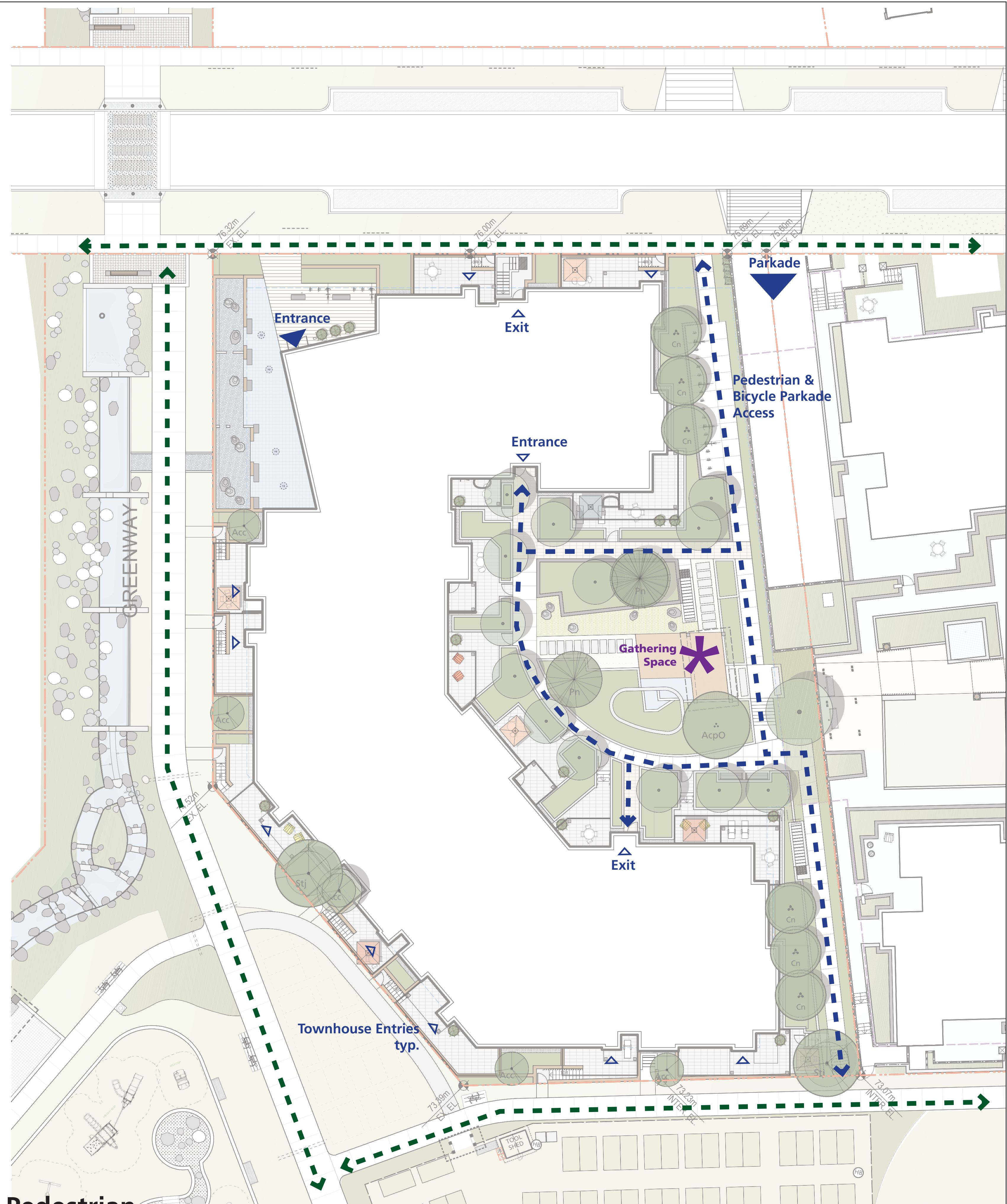
DWG. NO.

A7.3

D.P. No :  
B.P. No :



Community  
Circulation



Pedestrian  
Site Circulation

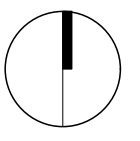
1 Issue for Development Permit	01/05/16
Revision No.	Date

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Client: **Adera**

Project Title: **Lot 23**

Drawing Title: **Circulation Plan**

Project North: 	Drawn By: <b>JW</b>
Scale: <b>as noted</b>	Checked By: <b>MP</b>
Sheet No.:	Job No.: <b>15-077</b>

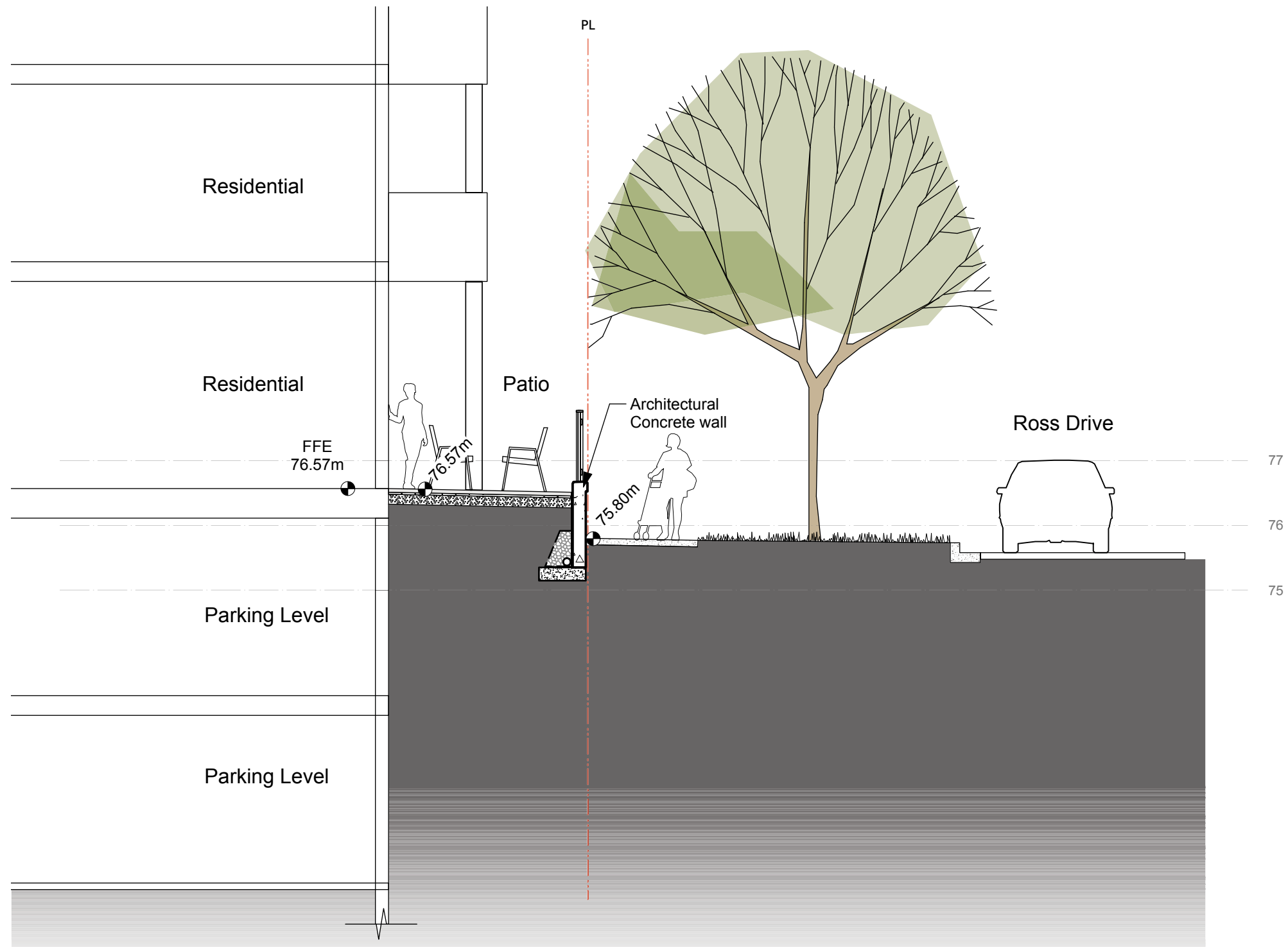




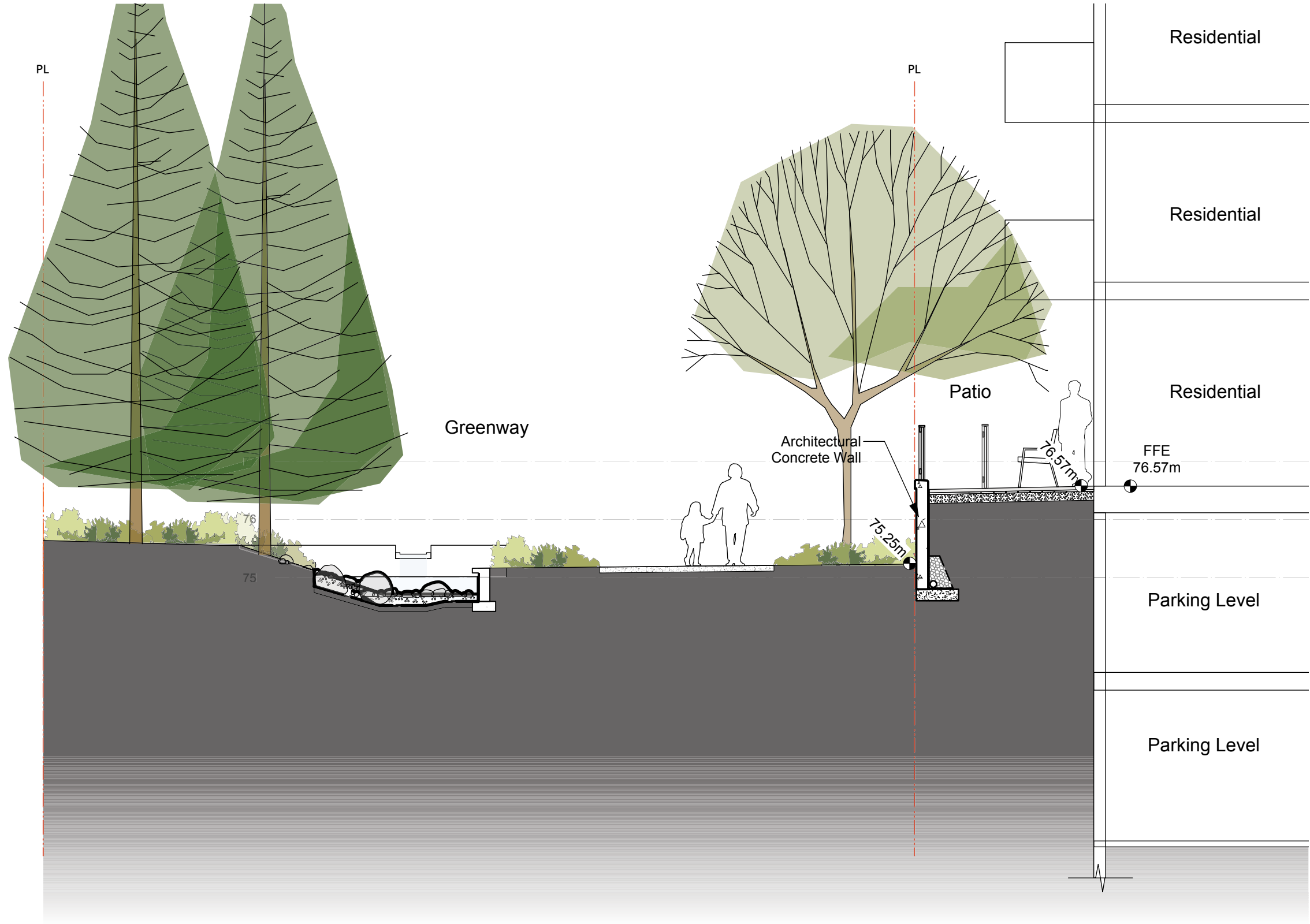




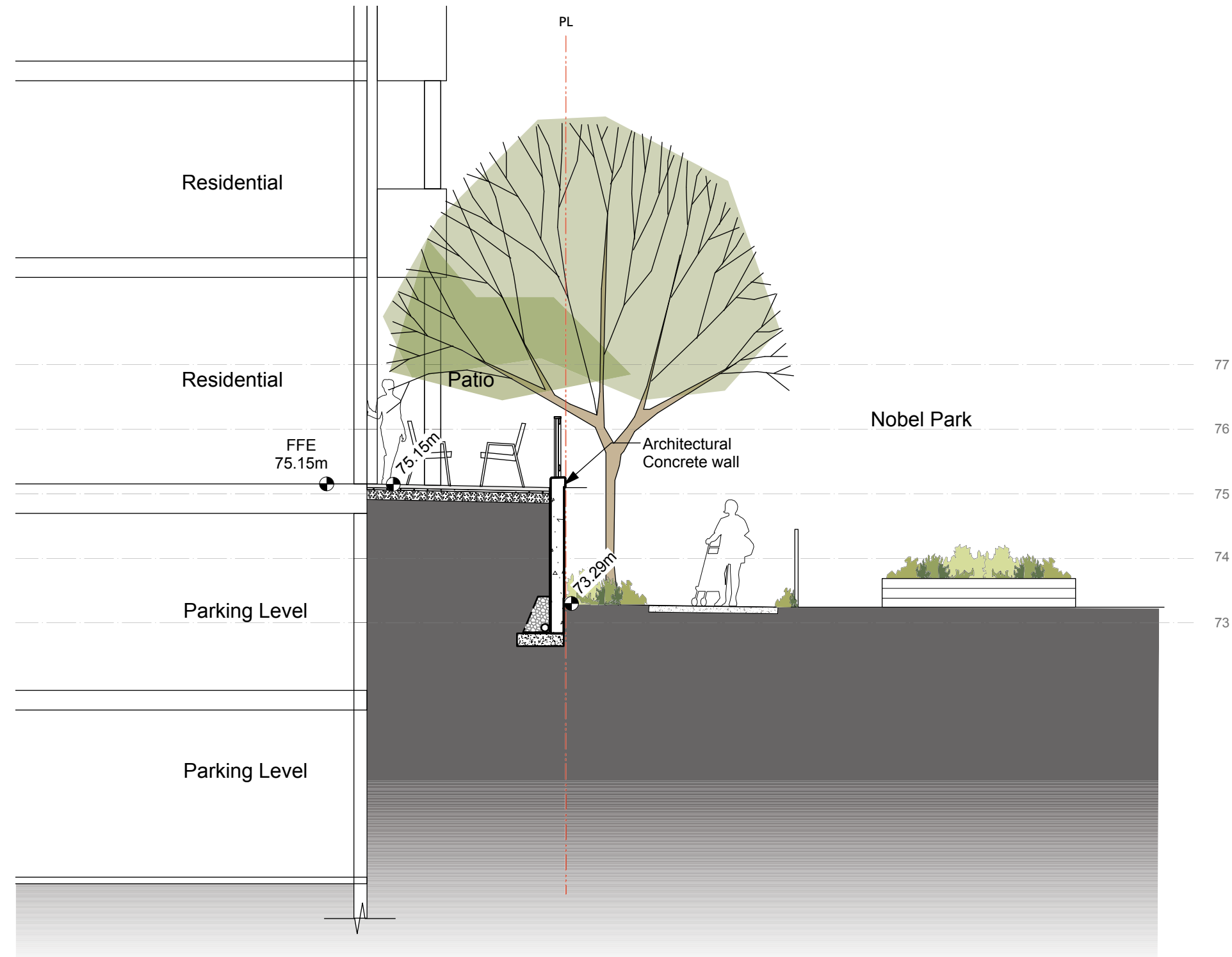




1 Section 1  
L3.0 1:75m



2 Section 2  
L3.0 1:75m



3 Section 3  
L3.0 1:75m

1 Issue for Development Permit	01/05/2016
Revision No.	Date

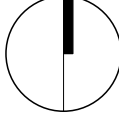
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Client:

**Adera**

Project Title:  
**Lot 23**

Drawing Title:  
**Sections**

Project North:	Drawn By:	JW
	Checked By:	MP
Scale:	Job No.:	15-077
as noted		
Sheet No.:		

**L3.0**



LANDSCAPE DESIGN RATIONALE

Site Plan

The project is located within the UBC South Campus neighbourhood. The north elevation of the project overlooks Ross Drive with ground floor connections for the unit patios directly to the sidewalk. To the east the project is adjacent the newly completed Nobel House, to the West is the Webber Lane Green street. The project is bounded to the south by Nobel Park and over looks the community garden. There is approximately 2m of grade change from the north west corner as the high point to the south east corner. The building massing is stepped to accommodate the grade change along the west elevation.

As per all of the south campus development sites the project is within easy walking distance to parks, schools, community center, shopping, dining and the Save on Foods grocery store.

Street/Project Edge

The primary pedestrian arrival to the project is located off Ross Drive at the north west corner of the site adjacent the Webber Lane Green street. The vehicular entry is via a shared parkade ramp with Nobel House at the north east corner of the site. At the main entry a feature signage wall will provide address for the project and will act to screen the class 2 covered bike parking behind. A shallow, water efficient, water feature will extend from the west side of the entry lobby and spill over an infinity edge in a series of cascades with an overflow connection possibly linking to the storm water greenway in Webber lane. The project edge along Ross Drive will be defined by low architectural concrete planter walls articulated at unit entries with columns, gate and stairs to each of the units. This same pattern will occur along the Webber lane Greenway and the Noble Park edge. Each of the ground floor units is provided a generous patio with direct access to the public realm.

Courtyard

The courtyard design has been revised to respond to, and incorporate, the existing geometries of the Nobel House courtyard to facilitate a more integrated design. The design allows for filtered views into each courtyard from the ground level and provides a larger area for overlook from the upper floors. Resident common access into the courtyard is provided from the entry lobby. The courtyard is also accessed from the NE corner from Ross Drive and from the SE corner from Nobel Park. The ground floor units that face the courtyard are provided with generous patios and direct access into the shared portion of the courtyard.

The courtyard is designed as a quiet reflective garden space providing opportunities for strolling, gardening, seating and gathering. Key elements of the design include a covered pavilion for flexible use, stonewall and paving, a small mountain and water feature. Materials and textures are important elements of this design as is fragrance and colour in the choice of plant materials.



PAVING



FURNISHING



OVERHEAD STRUCTURE



WATER FEATURE



PLANTING CONCEPT



PLANTING

1	Issue for Development Permit	01/05/16
Revision No.		Date

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Client: **Adera**

Project Title: **Lot 23**

Drawing Title: **Context and Precedents**

Project North:	Drawn By:
	<b>JW</b>
	Checked By:
	<b>MP</b>

Scale:	Job No.:
<b>as noted</b>	<b>15-077</b>

Sheet No.: **L4.0**