

FRANCL  
ARCHITECTURE



# THE LAUREATES

DEVELOPMENT PERMIT APPLICATION - JUNE 3, 2014



**CLIENT:**

POLYGON LAUREATES TOWER LTD.  
900 - 1333 West Broadway,  
Vancouver, BC V6H 4C2

**CONSULTANTS****ARCHITECTURE**

FRANCL ARCHITECTURE  
684 West 2nd Avenue  
Vancouver, BC V6J 1H4  
T 604 688 3252

**STRUCTURE**

JOHN BRYSON & PARTNERS  
#700 - 609 West Hastings Street  
Vancouver, B.C., V6B 4W4  
Tel: 604.685.9533

**LANDSCAPE**

PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.  
500-1201 West Pender Street,  
Vancouver, BC, V6E 2V2  
T. 604.688.6111

**MECHANICAL**

WILLIAMS ENGINEERING CANADA INC.  
#500 – 34077 Gladys Avenue,  
Abbotsford, BC V2S 2E8  
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**ELECTRICAL**

NEMETZ (S/A) & ASSOCIATES LTD.  
2009 West 4th Avenue  
Vancouver, BC V6J 1N3  
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**SUSTAINABILITY**

E3 ECO GROUP INC.  
Suite 1300-1500 West Georgia Street  
Vancouver, BC V6G 2Z6  
T: 604-874-3715

**ENERGY MODELING**

MORRISON HERSHFIELD LIMITED  
Suite 310,4321 StillCreek Drive  
Burnaby, BC V5C 6S7  
Tel: 604 454 0402

**CIVIL**

INTERCAD SERVICES LTD  
1111 West 8th Avenue  
Vancouver, B.C. V6H 1C5  
Tel (604) 739-7707

**GEOTECHNICAL**

GEOPACIFIC CONSULTANTS LTD.  
#215-1200 W. 73rd Avenue  
Vancouver, BC, V6P 6G5  
T 604-439-0922

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**PROJECT NAME**  
THE LAUREATES

**ADDRESS:**  
5628 BIRNEY AVE (HIGH-RISE)  
5638 BIRNEY AVE (LOW-RISE)

**LEGAL DESCRIPTION**  
LOT 13, DISTRICT LOT 6494, GROUP 1,  
NEW WESTMINSTER DISTRICT, PLAN BCP26848  
UNIVERSITY OF BRITISH COLUMBIA  
SOUTH CAMPUS



**SITE**

The 1.45 acre (63,586 sq ft) corner site fronts Birney Avenue along the North, Binning Road to the East and faces Scholars Greenway to the South. The long East-West site is bordered by the four-storey Keenleyside development to the West, while to the North there is an open lot to be developed in the future. The overall site is relatively flat with a downward slope of 6 feet from West to East.

**CONTEXT**

The Laureates is a residential development framed by four unique contexts of the developing Wesbrook Village. Along the North axis, it follows the group of high-rise developments, to the East it is framed by the Pacific Spirit Regional Park, to the South it opens up to Michael Smith Park, and along the West axis it follows the series of existing four-storey buildings.

The unique site requires a development that responds to its environment while at the same time adheres to the requirements of the Wesbrook Place Neighbourhood Plan. The plan calls for a high-rise at the eastern portion of the site and a low-rise building on the western side, minimizing shadow impact as well as the continuing the high-rise border along Binning Road.





SITE AREA:	63,586 SF
SITE COVERAGE	34%
	21,388 SF
GROSS AREA	240,817 SF
FSR AREA	222,466 SF
FSR	3.50

**SETBACKS**

	REQUIRED		PROPOSED LOW-RISE		PROPOSED HIGH-RISE
NORTH	8'-2 1/2" 2.5m		16'-10" 4.87m		33'-9" 10.05m
EAST	8'-2 1/2" 2.5m				14'-2" 4.26m
SOUTH	8'-2 1/2" 2.5m		26'-3" 7.92m		43'-2" 13.10m
WEST	8'-2 1/2" 2.5m		9'-1 1/2" 2.74m		

**BUILDING HEIGHT**

	MAXIMUM		PROPOSED
BUILDING HEIGHT	65m 213.25 ft		63.3m 207.7 ft
STOREYS			
HIGH RISE	21		21
LOW RISE	4.5		4.5

**BUILDING AREAS**

	GROSS AREA	WALL OFFSET	AMENITY AREA	STORAGE	MECH	FSR AREA
HIGH RISE	185,132	4,834	762	6,082	1,449	170,955
LOW RISE	55,685	1,327		2,120	477	51,511
<b>TOTAL</b>	<b>240,817</b>	<b>6,161</b>	<b>762</b>	<b>8,202</b>	<b>1,926</b>	<b>222,466</b>

**SUITE COUNT**

HIGH RISE	1 BED + DEN	2 BED	2 BED + 2 BATH	3 BED	PENTHOUSE	TOTAL
	1	39	77	40	4	161
LOW RISE	1 BED + DEN	2 BED NORTH	2 BED SOUTH	2 BED CORNER	3 BED	TOTAL
	2	24	19	4	4	53

**PARKING - STALL COUNT**

	MAXIMUM		PROPOSED
REGULAR STALLS	295		REGULAR STALLS 228
DISABLED PARKING	21		SMALL CARS (MAX 25%) 45
VISITOR STALLS	21		DISABLED PARKING 21
<b>TOTAL</b>	<b>338</b>		VISITOR STALLS 21
			ELECTRICAL CAR 8
			<b>TOTAL 323</b>

**PARKING - BIKE STORAGE**

	REQUIRED		PROPOSED
CLASS I - RESIDENTS	321		CLASS I - RESIDENTS 362
CLASS II - VISITORS	6		CLASS II - VISITORS 96
(16-STALL BIKE RACK)			(AS PER STANDARD UBC BIKE RACK DESIGN)

**PROGRAMME**

The Laureates is composed of a high rise and low-rise building stretching along Birney Avenue. The high rise, located on the eastern edge of the site, will house 161 units ranging in size from one-bedroom to three-bedroom suites, providing living options for all new residents. The penthouse level, with setbacks on all sides of the building, has four units with large outdoor roof decks.

The low-rise portion of the Laureates is a five storey residential building with two and three-bedroom units on either side of a central east-west corridor. The low rise has a total of 53 suites and will be of concrete construction.

Each building has a two-storey lobby while an amenity space is also located in the high rise. The buildings are linked together by a covered walkway on the ground level. The project will adhere to accessibility guidelines for all suites.

Two levels of underground parking will provide spaces for residents and visitors, as well as bike storage as per the UBC Development guidelines.

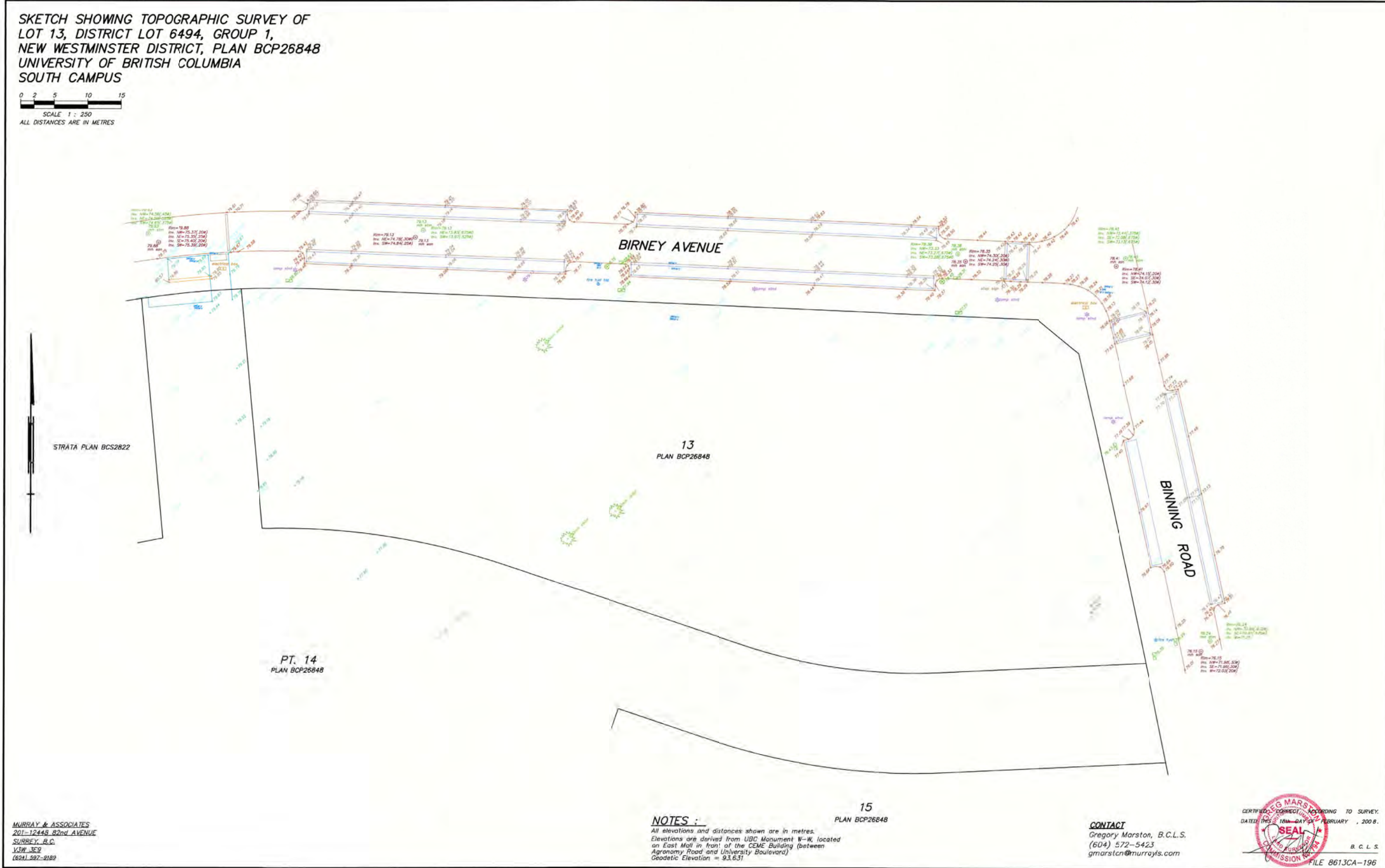
The Laureates will be a REAP Gold development.



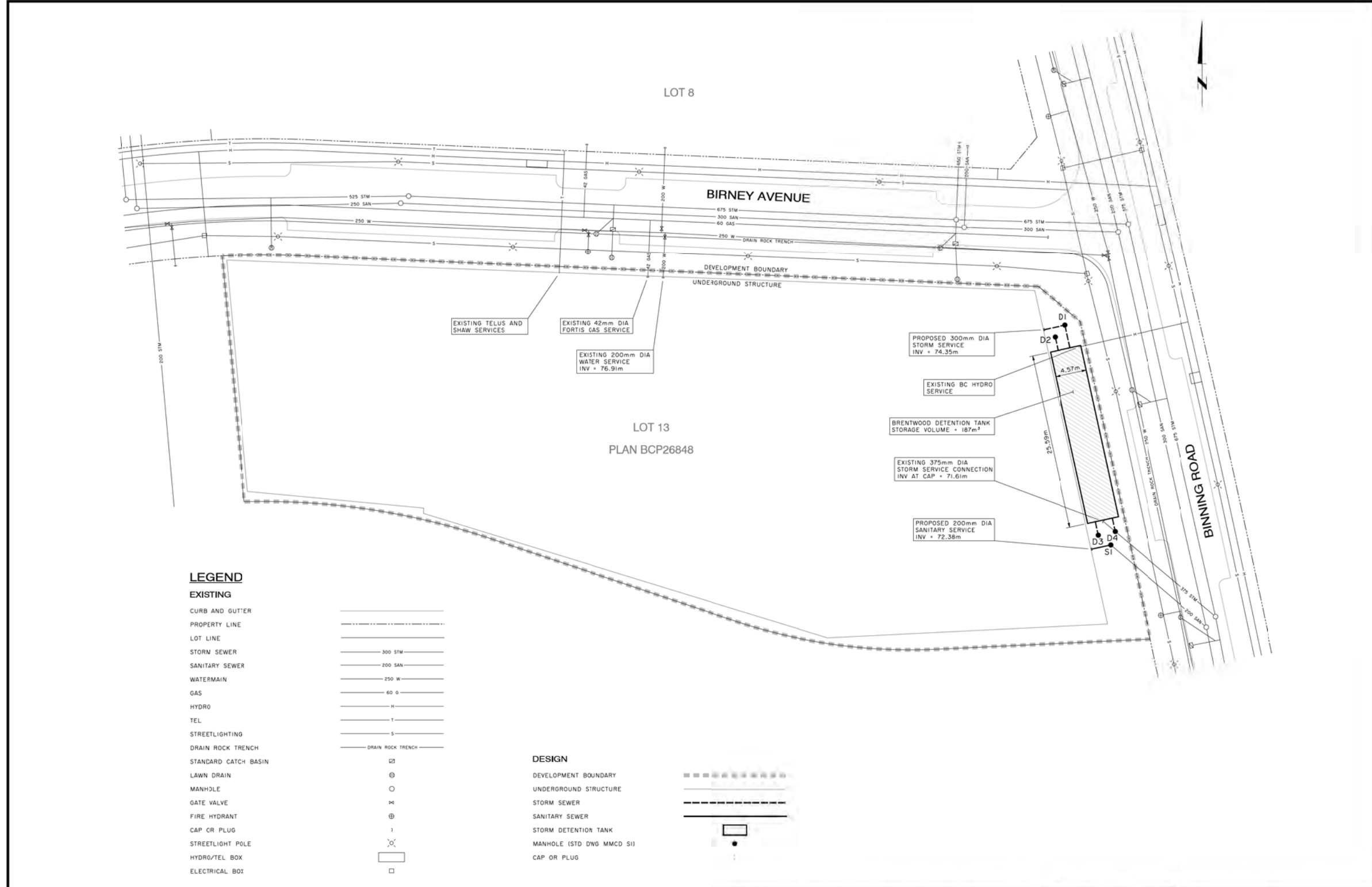












**LEGEND**

**EXISTING**

CURB AND GUTTER	---
PROPERTY LINE	---
LOT LINE	---
STORM SEWER	--- 300 STM ---
SANITARY SEWER	--- 250 SAN ---
WATERMAIN	--- 250 W ---
GAS	--- 60 G ---
HYDRO	--- H ---
TEL	--- T ---
STREETLIGHTING	--- S ---
DRAIN ROCK TRENCH	--- DRAIN ROCK TRENCH ---
STANDARD CATCH BASIN	□
LAWN DRAIN	⊙
MANHOLE	○
GATE VALVE	⊕
FIRE HYDRANT	⊕
CAP OR PLUG	⊙
STREETLIGHT POLE	⊗
HYDRO/TEL BOX	□
ELECTRICAL BOX	□

**DESIGN**

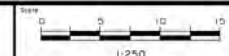
DEVELOPMENT BOUNDARY	---
UNDERGROUND STRUCTURE	---
STORM SEWER	---
SANITARY SEWER	---
STORM DETENTION TANK	□
MANHOLE (STD DWG MMCD S1)	○
CAP OR PLUG	⊙

**InterCAD**  
CONSULTING ENGINEERS

NO.	DATE	REVISIONS	BY	APPROVED
1	14-04-21	DEVELOPMENT PERMIT SUBMISSION	WL	GW

POLYGON LAUREATES TOWER LTD

LAUREATES TOWER  
UBC SOUTH CAMPUS LOT 13



SERVICING PLAN

Drawn: D. WOOD  
File Date: 4/21/2014

Checked: W. LEUNG  
File Time: 3:01:47 PM

Drawing Number: AD76-C-101

Sheet: 1