







EXISTING

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ARCHITECT	THE COLBORNE ARCHITECTURAL GRO PACIFIC IN
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STRUCTURAL ENGINEER	JM ENGINEERING L 608 - 318 HOMER STRE Vancouver, BC V6B 2I Ph: 604.683.05 Fax: 604.684.05 JIM MANDELLI, P.EN
ASBESTOS CONSULTANT	ACM ENVIRONMENTAL CORPORATION 217 - 2323 QUEBEC STRE Vancouver, BC V5T 4 Ph: 604.873.85 Fax: 604.873.59 BRIAN SAARELA, 0

BUILDING CODE CLASSIFICATION: BCBC

	2012	
MUNICIPAL ADDRESS:	DDRESS: 2357 MAIN MALL	
LEGAL DESCRIPTION:	015891909, DISTRICT LOT 3044, GROUP 1, N.W.D.	
MAJOR OCCUPANCIES:	GROUP A, DIV 2	
APPLICABLE CODE PART:	PART 3; 3.2.2.23 ANY HEIGHT, ANY AREA SPRINKLERED	
BUILDING HEIGHT:	3 STORIES ABOVE + 1 LEVELS BELOW GRADE	
NO. OF STREETS FACING:	2	
SPRINKLERED:	YES	
STANDPIPE SYSTEM:	NO	
CONSTRUCTION TYPE:	NON-COMBUSTIBLE	
FIRE ALARM SYSTEM:	YES	
EMERGENCY POWER:	?	
CURRENT USE:	ACADEMIC	
PROPOSED USE:	NO CHANGE	
	FLOOR AREA CALCULATIONS:	
ROOF AREA	33,815 SQ.FT.	

DRAWING LIST

ARCHITECTURAL DRAWINGS

A000 GENERAL NOTES, DRAWING LIST, PROJECT DATA, SITE PLAN, EXISTING/PROPOSED PHOTOS CONSULTANT DIRECTORY

A100 PROPOSED FLOOR PLAN, ELEVATIONS AND DETAILS

MECHANICAL DRAWINGS

M1 LEGEND & DETAILS M2 FLOOR PLANS

M3 EXHAUST SYSTEM DETAILS AIR BALANCE, CONTROL NOTES

M5 SPECS AND CHECK SHEET

ELECTRICAL DRAWINGS

E1 KEY PLAN AND SPECIFICATIONS E2 CONSTRUCTION DETAILS

STRUCTURAL NOTES SSK 01

<u>PROJECT DIRE</u>	CTORY
OWNER REPRESENTATIVE	UNIVERSITY OF BRITISH COLUMBIA
	PROJECT SERVICES
	2329 WEST MALL
	VANCOUVER, BC, V6T 1Z4 PH: 604.822.5016
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	509 RICHARDS STREET, 8TH FLOOR
	VANCOUVER, BC V6B 2Z6 PH: 604.669.4166
	FAX: 604.669.4144
	STEPHEN QUIGLEY, ARCHITECT AIBC, MRAIC.
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MECHANICAL ENGINEER	BYCAR ENGINEERING LTD
	MARC MARSDEN, AScT
	MarcM@bycar.ca
TOUCTUDAL ENGINEED	IM ENCINEEDING LTD
STRUCTURAL ENGINEER	JM ENGINEERING LTD 608 - 318 HOMER STREET
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	Vancouver, BC V5T 4S7
	Ph: 604.873.8599
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AL ADDRESS:	2357 MAIN MALL
ESCRIPTION:	015891909, DISTRICT LOT 3044, GROUP 1, N.W.D.
CCUPANCIES:	GROUP A, DIV 2
ABLE CODE PART:	PART 3; 3.2.2.23 ANY HEIGHT, ANY AREA SPRINKLERED
NG HEIGHT:	3 STORIES ABOVE + 1 LEVELS BELOW GRADE
STREETS ACING:	2
NKLERED:	YES
PE SYSTEM:	NO
JCTION TYPE:	NON-COMBUSTIBLE
RM SYSTEM:	YES
NCY POWER:	?
ENT USE:	ACADEMIC
OSED USE:	NO CHANGE
	FLOOR AREA CALCULATIONS:
ROOF AREA	33,815 SQ.FT.

2 05.11.141 07.10.14

THE UNIVERSITY OF BRITISH COLUMBIA

ISSUED FOR DEVELOPMENT PERMIT

ISSUED FOR CLIENT REVIEW

REVISION

GENERAL NOTES

DRAWINGS ARE NOT TO BE SCALED.

THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCY TO THE ARCHITECT.

ALL DRAWNGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF THE DRAWNGS, SPECIFICATIONS AND RELATED DOCUMENTS IS FORBIDDEN UNLESS PERMITTED IN WRITING BY THE ARCHITECT.

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS CLEARLY LABELLED "ISSUED FOR CONSTRUCTION" IN THE REVISION COLUMN.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.

ALL WORK SHALL BE TO THE MOST RECENT BRITISH COLUMBIA BUILDING CODE STANDARDS AND ALL OTHER BY—LAWS AND REGULATIONS APPLICABLE TO THE TRADES INVOLVED.

THE CONTRACTOR SHALL CONFINE ACTIVITIES AND STORAGE OF MATERIALS TO THE AREAS INDICATED ON THE DRAWINGS AND PROTECT ALL OTHER AREAS OF THE SITE FROM DAMAGE.

THE CONTRACTOR SHALL ACCOMMODATE ACCESS AND SAFETY FOR THE PUBLIC DURING THE CONSTRUCTION PERIOD, AND SHALL PROVIDE TEMPORARY HOARDING OR FENCING AS REQUIRED. REFER TO SPECIFICATIONS FOR DETAILS.

COLBORNE

GROUP

Pacific Inc.

509 RICHARDS STREET

8th FLOOR VANCOUVER, B.C., V6B 2Z6 Ph: (604) 669-4166 Fax: (604) 669-4144

ARCHITECTURAL

PROJECT TITLE

UBC MACMILLAN BUILDING **FUMEHOODS** 2357 Main Mall, Vancouver B.C. V6T 1Z4

DRAWING TITLE

1403

GENERAL NOTES, DRAWING LIST PROJECT DATA, SITE PLAN EXISTING/PROPOSED PHOTOS

SHEET NO. August 7, 2014 AS NOTED REVIEWED CAGP PROJ. NO.

1403-A000.dwg

