

## **2018-08-21 DP AMENDMENT REVISIONS**

The following is a summary of design revisions since the last DP Submission dated December 7, 2018.

### **Design Rational:**

The design revisions made as part of this amendment are a result of value engineering.

### **General Stats Changes:**

- Some FSR areas changed very slightly due to the clearance required behind washers and dryers. The overall FSR area did not change.

### **Site Changes:**

- Level 1 – Some paving has been replaced by alternative surfaces. Some walking paths are now crushed stone and the driveways are now concrete paving.
- The grille above the cooling tower has been replaced with a concrete doghouse with planting on top and the grilles along two sides. This will better hide the exhaust grilles and reduce noise impact on the adjacent townhouse.

### **Townhouse Building Changes:**

- Canopies that were not above doors were deleted.
- Townhouse 6 had some minor changes internally to the utility room and ensuites.
- A window was added to the West end of the townhouse 6 on Level 2.
- The layout of the planter boxes on roof revised and the glass guard re-introduced around the perimeter.
- The trellises on the North side were deleted.
- The metal panel behind the trellis was changed to corrugated metal to match the cladding on the roof pop-ups.
- The canopy above the parkade stair has changed to concrete.

### **Midrise Building Changes:**

- Canopies that were not above doors on the Midrise and Townhouses were generally deleted.
- The metal planters were changed to concrete.

### **Tower Changes:**

- The entry canopy has changed to concrete roof on steel columns.
- Suite 102 – washer/dryer moved to other side of corridor to create larger storage room.
- Suite 2201 – a sink was added to the utility room.

0 1/2" 1" 2"

PERKINS+WILL

IVY ON THE PARK

LOT 8

DP AMENDMENT SUBMISSION

2019-08-21



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- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
4 PRICING SET 2018-03-29
5 DP AMENDMENT SUBMISSION 2018-07-24
6 DP AMENDMENT SUBMISSION 2018-12-07
7 DP AMENDMENT SUBMISSION 2019-08-21

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INDEX OF DRAWINGS

Table with columns: SHEET NUMBER, SHEET NAME, and submission dates from 2017-12-06 to 2019-08-19.

PROJECT OVERVIEW

LOT 8 (IVY ON THE PARK) consists of a 22 storey residential tower on the east edge of the site, a 4.5 storey mid-rise apartment block along Village Walk, and 2 storey townhouses along Birney Avenue. The tower contains 181 homes, the majority of which are two bedroom suites. There are 11 three-bedroom units on levels 11-21. There are four penthouse suites on level 22.
The mid-rise apartment block contains 38 suites. Level 1 contains eight through-unit two-bedroom suites, while ten shallow-wide one and two-bedroom suites are above on levels 2-4. All suites have access to a roof amenity and terraces, while the at-grade units have patios fronting Village Walk and the shared courtyard to the South. The two-storey townhouse block along Birney has 6 units, each with a private roof deck and at-grade patios along the north and south.
There are three levels of underground parking to provide resident and visitor parking, as well as storage and bicycle parking.
DESIGN POLICY COMPLIANCE
IVY ON THE PARK is designed to conform with the Westbrook Place Neighbourhood Plan, respect the neighbouring residential developments and create a dialogue with the natural setting of the forest adjacent. The sites along Birney are important in that they have the responsibility of bridging the urban forms of the street grid with the adjacent natural setting of the Pacific Spirit Park forest. We try to negotiate this dialogue with both the architecture and the landscape design.

PROJECT STATISTICS

Table with columns: CATEGORY, ALLOWED, PROPOSED. Includes rows for SITE AREA, ZONING, PERMITTED USES, TOWN HOUSING, DEVELOPMENT REGULATIONS, OTHER REGULATIONS, etc.

\* REFER TO SHEET DP-006 - DP-008 FOR REQUESTED VARIANCES AND RATIONALE

PARKING SUMMARY BY LEVEL

Table showing parking counts by level (P1, P2, P3) for residential stalls, visitor stalls, and EV stalls.

PARKING SUMMARY

Summary table for parking requirements, comparing allowed and proposed counts for residential, vehicular, and additional stalls.

BICYCLE SUMMARY BY LEVEL

Table showing bicycle parking counts by level for Class I and Class II stalls.

BICYCLE SUMMARY

Summary table for bicycle parking requirements, comparing allowed and proposed counts.

RESIDENTIAL STORAGE SUMMARY BY LEVEL

Table showing residential storage counts by level for bulk storage, private garages, and total storage.

RESIDENTIAL STORAGE SUMMARY

Summary table for residential storage requirements, comparing allowed and proposed counts.

SUITE SUMMARY

Table showing suite counts and percentages for studio, 1 bed, 2 bed, 2+ bed, 3 bed, 3 bed + den, and totals.

FSR SUMMARY

Table showing FSR (Floor Surface Ratio) for building areas, amenity areas, and exclusions.

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## DESIGN RATIONALE

### TOWER SITING

The tower is designed to fit in as part of the Birney street wall, and at the same time creates a counterpoint to the organic forest across the street. The 22 storey tower is rotated off of the street geometry to allow neighbouring towers to maintain their north and south views, to afford greater views past our tower towards the forest for all developments west of our site, and to create a more relaxed and organic foil to Pacific Spirit Park.

### SITE ACCESS

With the rotation of the tower and the geometry of the mid-rise and townhome blocks, the resulting opening in the site became the natural location for vehicular access and the tower front door. The parking ramp is located on Birney for both pragmatic planning reasons, and to allow the Birney entrance to be a welcoming, generous landscaped foreground to both built components of the development.

### TOWER MASSING

The south-west facade of the tower has multiple steps creating four vertical planes, breaking down the massing and creating a vertical expression. The stepping allows the tower to naturally taper to its southern extent reducing any appearance of bulk and creating an even stronger vertical reading from the south. The generous balconies are tied to the building enclosure by a continuous horizontal ribbon of metal panel, resulting in a more calm and elegant architectural expression.

### MID-RISE & TOWNHOUSES

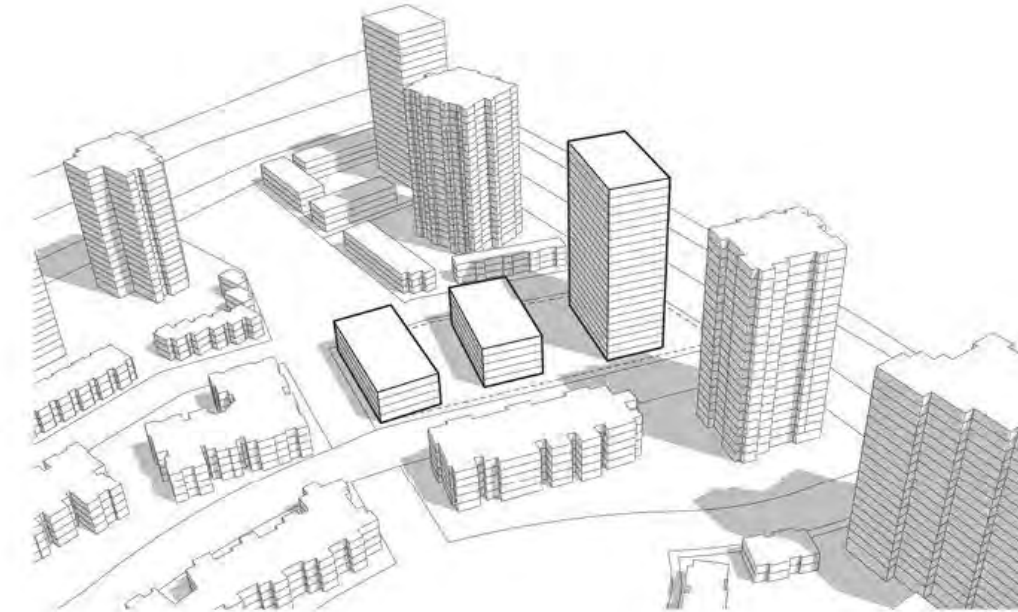
The mid-rise and townhouses are oriented east-west across the larger western portion of the site and have front doors facing both Birney Avenue and Village Lane. The ground floor units backdoors open onto an enclosed semi-private landscaped courtyard for the shared enjoyment of the mid-rise and townhome residents. The Birney townhomes are split midway along their length to provide access to the mid-rise units from Birney Avenue, this separation is telegraphed onto the mid-rise building at which point the mid-rise folds to reflect the tapering of the site. This is also the entry point for the upper floors of the mid-rise building.

The massing of the Birney townhomes ensures maximum solar penetration to the internal courtyard but with generous floor to floor heights and a roof deck trellis structure. The 2½ storey massing of this block complements the midrise forms adjacent and across from our site, and the mid-rise building along Village Lane has an appropriate stature to complement the existing 4.5 storey midrise development to the west of our site and to provide enclosure to the southern edge at Khorana Park.

### 1 SITE



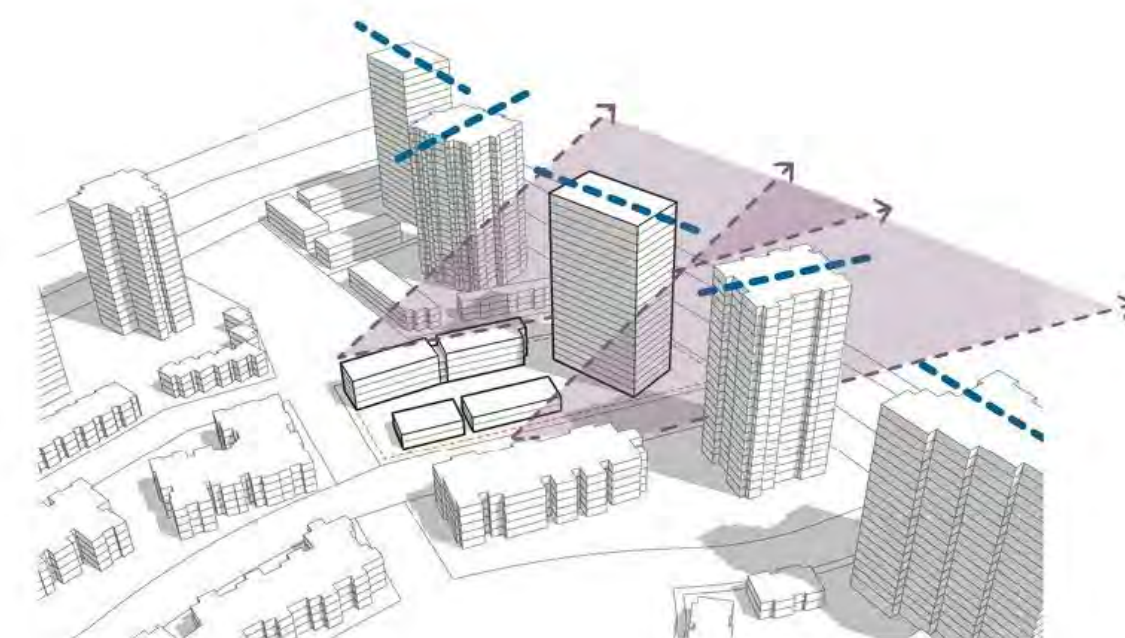
### 2 GENERIC MASSING



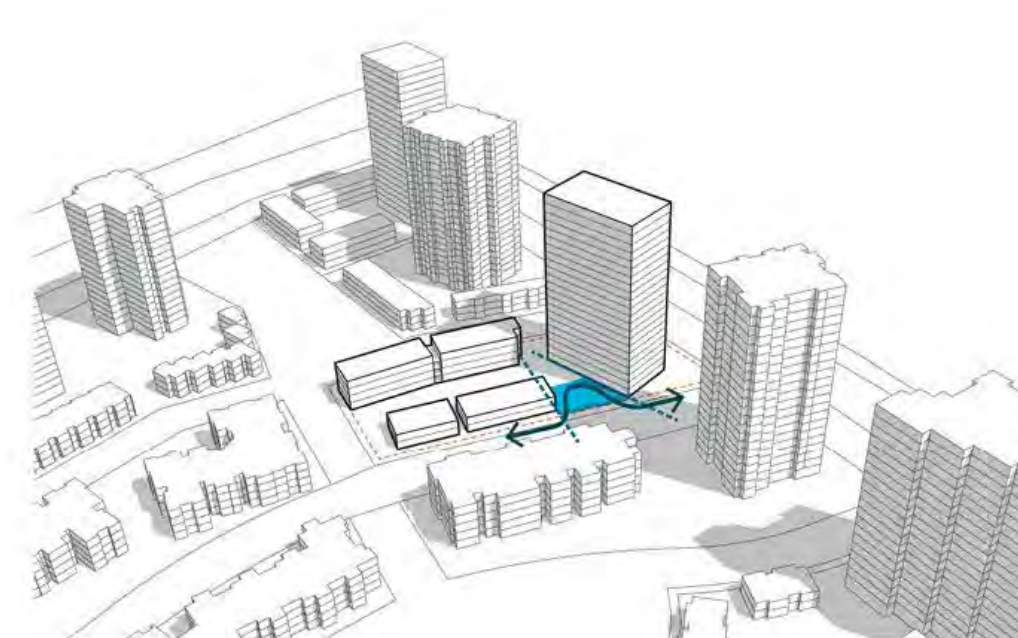
### 3 ROTATE TOWER TO ALIGN WITH CONTEXT



### 4 CREATE COMPOSITION ALONG EASTERN EDGE + ALLOW VIEWS BETWEEN



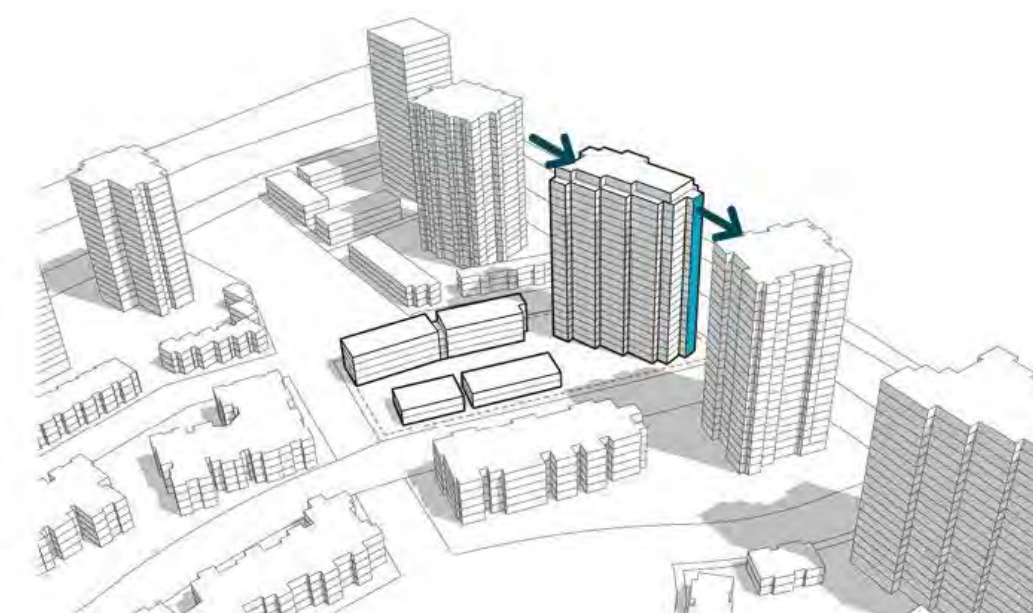
### 5 CREATE GENEROUS ENTRY COURT AND FRONT DOOR



### 6 STEP MASSING TO MAINTAIN VIEWS, CREATE A VERTICAL READING, ERODE TOWER MASS + CREATE PRIVACY



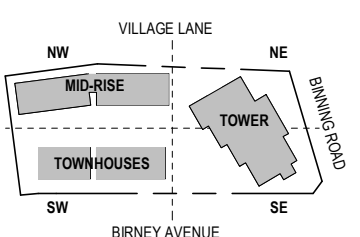
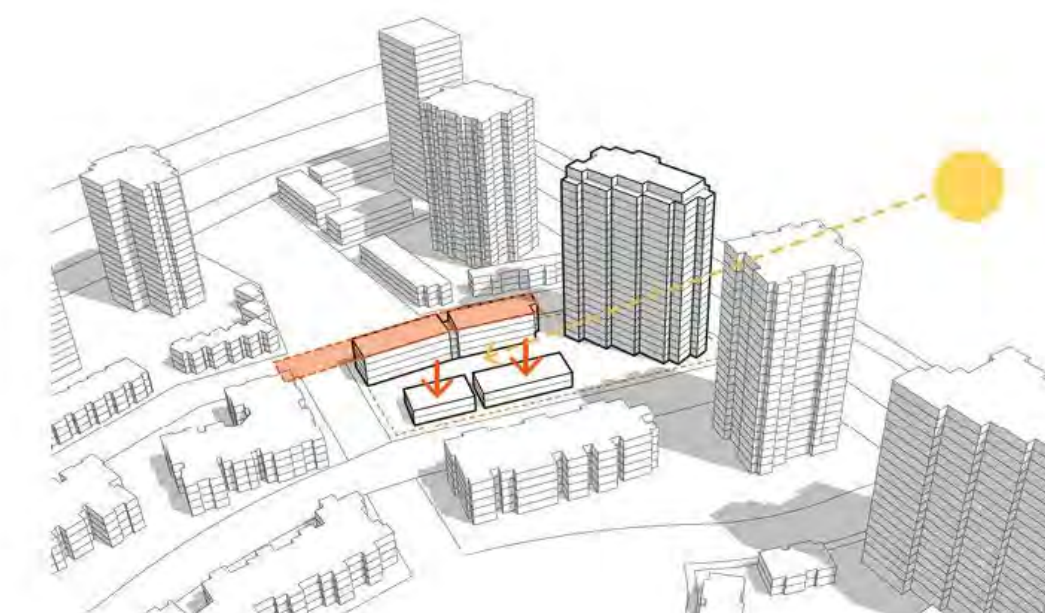
### 7 PUSH/PULL FACADE TO ARTICULATE MASSING



### 8 ORIENT TOWNHOMES TO DEFINE STREET EDGE + CREATE COURTYARD



### 9 SCALE TOWNHOMES TO FIT WITH ADJACENT DEVELOPMENT + ALLOW FOR SOLAR ACCESS



### IVY ON THE PARK LOT 8

1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

### PROJECT RATIONALE - DESIGN

### DP-002

## CPTED

### DESIGN + STRATEGIES

The massing, design and orientation of both the tower, mid-rise, townhomes and landscape are designed with the intention to implicitly enhance personal safety, and provide clear delineations between public and private spaces. Some of the CPTED principles embedded in the design for LOT 8 are outlined below:

- 1 • Building entrances are designed to be legible from the street through lighting, canopies and material choice.
- Public realm elements such as pathways, gates, lighting and landscaping are used to guide public to and from entrances and exits.
- 2 • All buildings have balconies and/or terraces and windows which provide casual overlook onto public and semi-private spaces on site, including surrounding sidewalks and pathways, and shared outdoor spaces.
- 3 • Design cues such as low fencing, planters, landscape elements and paving materials indicate ownership and intended use, making a distinction between public and private spaces.
- Outdoor spaces will be appropriately lit to provide adequate lighting at night and enhance safety, while minimizing glare and light pollution into adjacent homes.
- 4 • Townhouse and mid-rise facades along Birney and Village Walk incorporate entrances and windows to create a dialogue with the public realm.
- 5 • Patios along streets or public walkways are either elevated slightly or screened with landscaping to provide some privacy while still allowing for casual, eyes-on-the-street surveillance.



## SUSTAINABILITY

### REAP

IVY ON THE PARK is targeting REAP Gold and has committed to following the guidelines laid out in the REAP checklist in order to achieve an energy efficient and sustainable design.

### SUSTAINABLE SITES

Along with providing the required bicycle storage, developing a storm water management plan and other sustainable site design requirements, the project also provides electrical vehicle charging spaces for visitors and for at least 10% of residents. The project also has a separated ramp for cyclists and pedestrians into the parkade, making it easier and more comfortable for non-vehicular users to enter and exit the building.

### WATER EFFICIENCY

Along with meeting the mandatory water efficiency requirements, the project will also reduce potable water for irrigation needs by 50% and include some water efficient/low flow fixtures and appliances. The project also will tie into a larger storm water management plan, and features a large water detention tank on site to minimize stormwater runoff. Furthermore, the boundary of the underground parkade has been cut back to allow the planting of mature trees at the south edge of the tower, increasing the site's capability to manage infiltration and deal with stormwater runoff.

### ENERGY + ATMOSPHERE

The project will target no more than 50% glazing and use double glazing, sufficient insulation and efficient mechanical systems to ensure the project meets the target 140 kWh/m<sup>2</sup>/yr target EA Gold Plus.

### MATERIALS + RESOURCES

Materials with recycled content will be used in the project and transparency of ingredients will be targeted for at least 10 different building products.

### INDOOR ENVIRONMENTAL QUALITY

The project will commit to using low VOC paints and coatings, low-emitting composite wood panels and low-emitting insulation.

### CONSTRUCTION

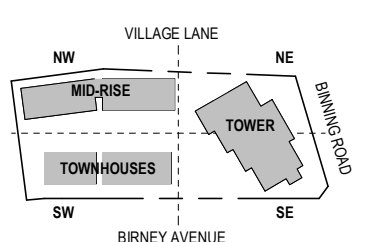
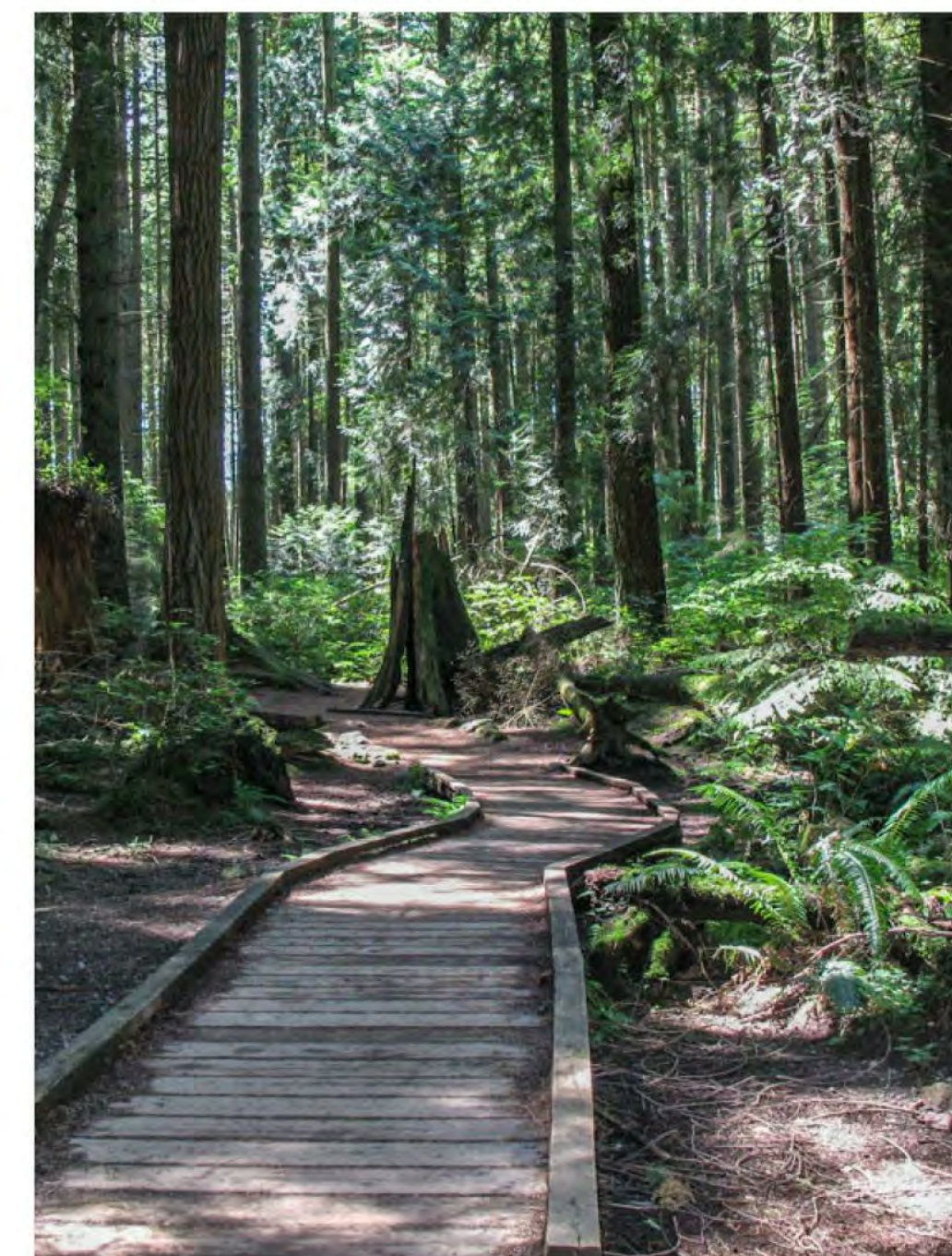
Along with the mandatory requirements, the project will prepare and implement an Indoor Air Quality Management Plan for construction and pre-occupancy.

### INNOVATION + DESIGN PROCESS

The project will engage a Green Building Specialist and collaborate with UBC faculty and/or students for future research opportunities.

### LANDSCAPE

The landscape vision exists on two levels: one - by creating an ecosystem-inspired sense of place, and, two - by considering programming which enriches the private and communal experience for residents. The landscape is grounded to its location directly adjacent to Pacific Spirit Park primarily through the use of planting. The vegetative strategy suggests a forest edge landscape typology, and aims to integrate passive solutions for runoff mitigation and decreasing irrigation requirements.



### IVY ON THE PARK LOT 8

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### PROJECT RATIONALE - CPTED / SUSTAINABILITY

## DP-003

## BUILDING MATERIALS & PRECEDENTS

### TOWER

The tower expression is a combination of both vertical and horizontal solid elements which support the generally vertical nature of the building massing. The south-west facade's most defining feature is its four vertical planes with a horizontal upstand ribbon which unifies the enclosed and balcony spaces. The horizontal upstand is clad in white metal panel and always terminates into a vertical section of the same material, which is used to delineate the vertical massing planes.

The cladding colours in both the tower and the townhomes forms are selected for their timeless appeal and for their elegant contrast to the colours of nature in which the structures are set. Between the white metal ribbons, the glass is set in dark bronze mullions, and where glass spandrel is introduced in the "glass field", it is twin sealed with a dark grey paint on the third face of the glazing unit, creating a shadow box to allow all glass to read the same and minimize the number of visual elements in the design. With the solid upstand and glazed spandrel panels, the tower has 50/50 ratio of glazed to solid wall.

The location and percentage of vision glass around the building is in direct response to the nature of the views on each elevation. Where we have the largest expanse of glazing, we also have the most generous balconies which provide protection from summer solar gain and the generous glazed elevations of the penthouse level are screened by a rooftop trellis. The glass guardrails for balconies will be clean and minimal to allow for a clear expression of the horizontal metal ribbons.



Poznan Residential Building - Insomnia Architec



The Garden - Eike Becker Architekten



Rothschild Tower - Richard Meier



Othmarschen Park Residential Development - RKW Architektur+Städtebau

### MID-RISE & TOWNHOUSES

The mid-rise and townhouses in the western portion of the site will have a distinct material palette that compliments the towers but gives them their own identity as individual homes. Grey brick will be used to bring texture and scale to the tight, tailored façades of the buildings. Openings in the brick walls will be highlighted by crisp dark aluminum frames providing a striking contrast. At the unit entries, the brick will wrap into the entry alcove with the front door being stained wood and the surrounding wall clad with a matching phenolic composite panel to bring warmth to the material palette and create a connection to the site's West Coast context. Where windows are linked by a metal spandrel panel, the panel will be a ribbed or corrugated metal panel bring texture and depth to the facade. On the two-storey townhouse block along Birney, a metal slat screen element connects the elegant entry canopy up the facade to the roof where it folds back providing the terrace with a trellis, creating shading and privacy for residents on their roof deck.



Core Modern Homes - Batay Csorba Architects



Liverpool 61 Apartments - MMX Architects



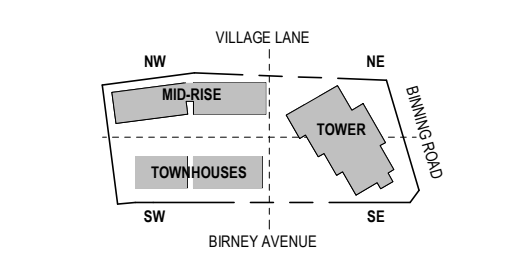
Core Modern Homes - Batay Csorba Architects



Balwyn North - Matyas Architects

## The Wall Group

DP AMENDMENT  
SUBMISSION  
2018-05-24

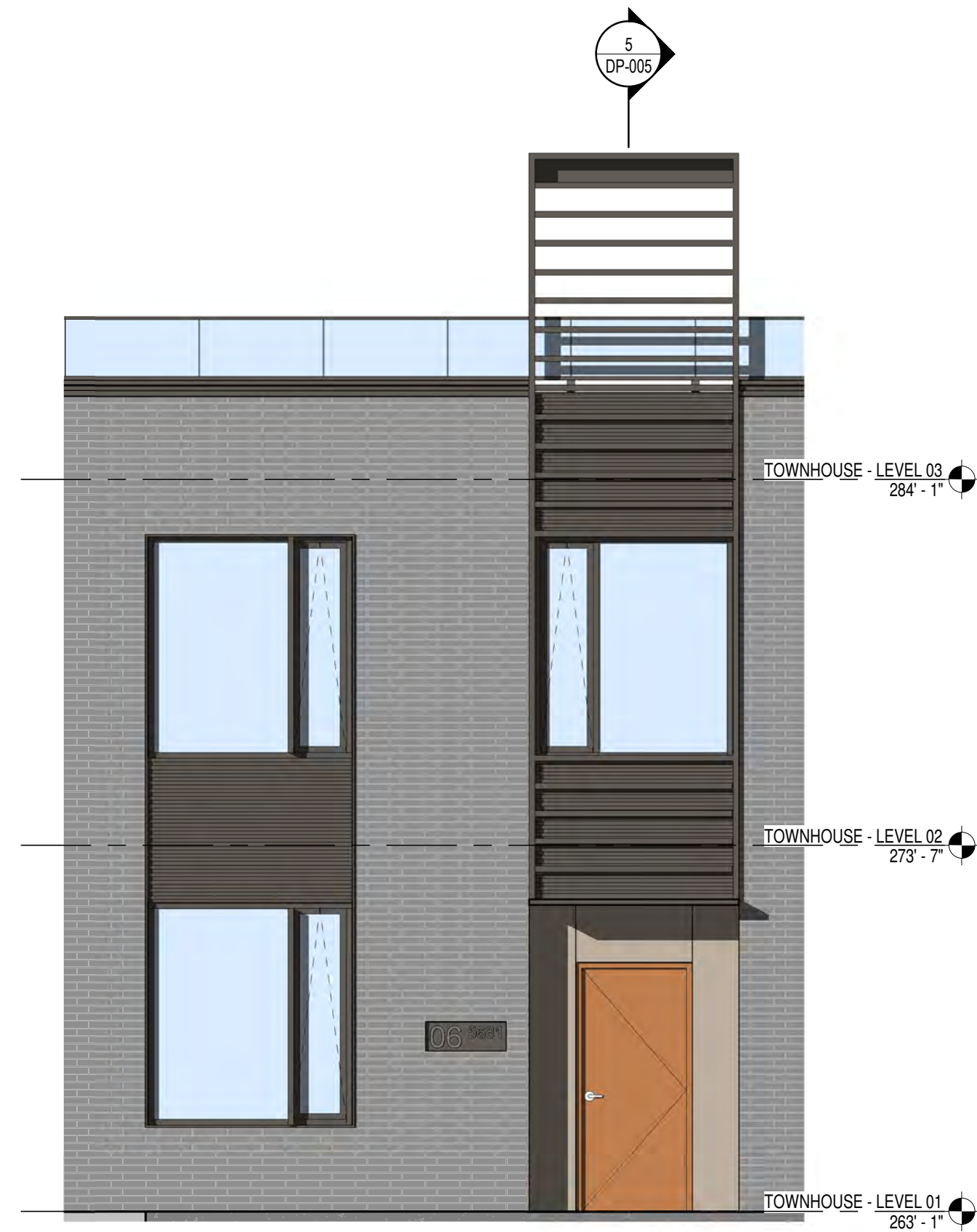


IVY ON THE PARK  
LOT 8

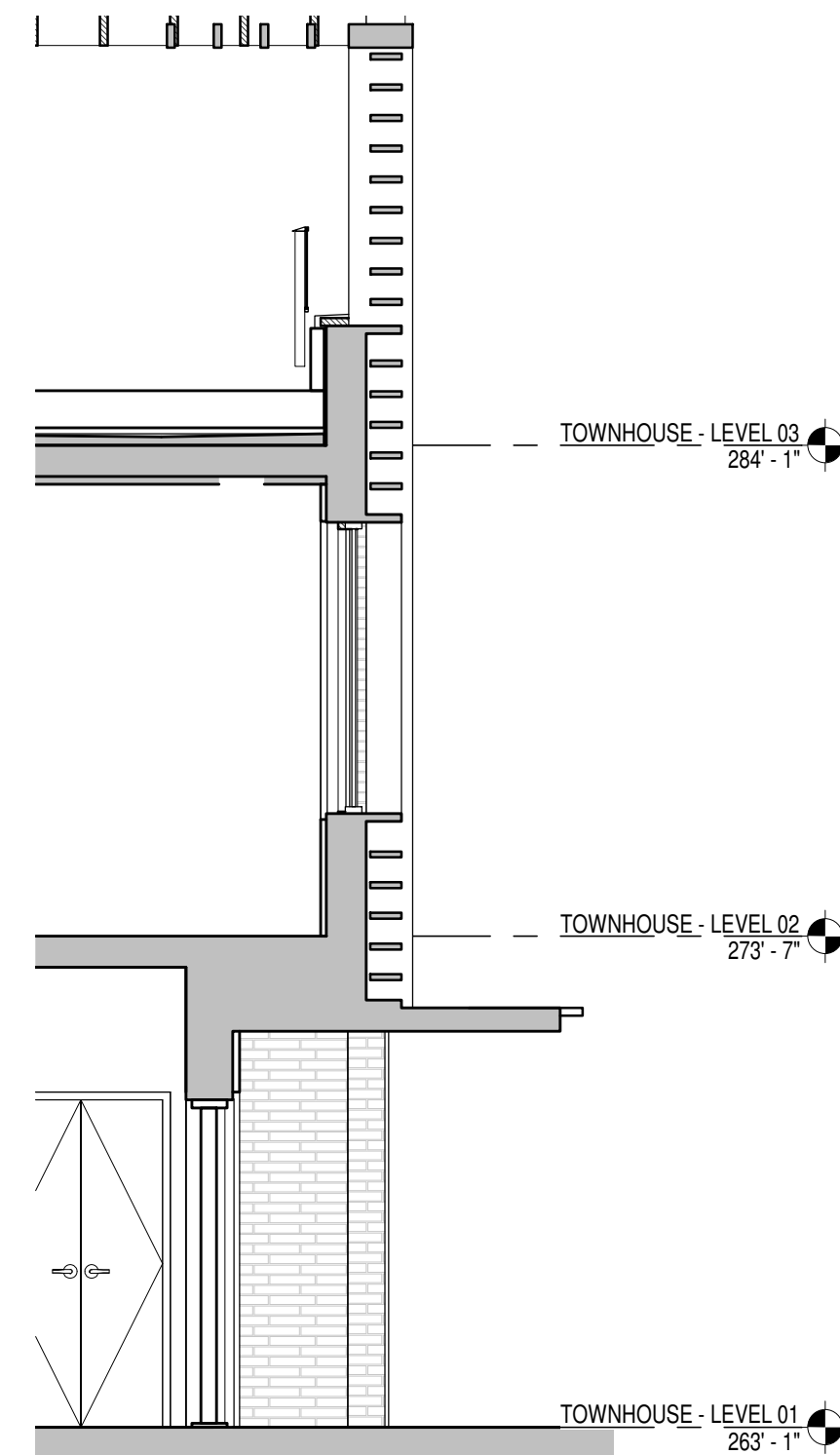
1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
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PROJECT RATIONALE -  
BUILDING MATERIALS &  
PRECEDENTS

DP-004



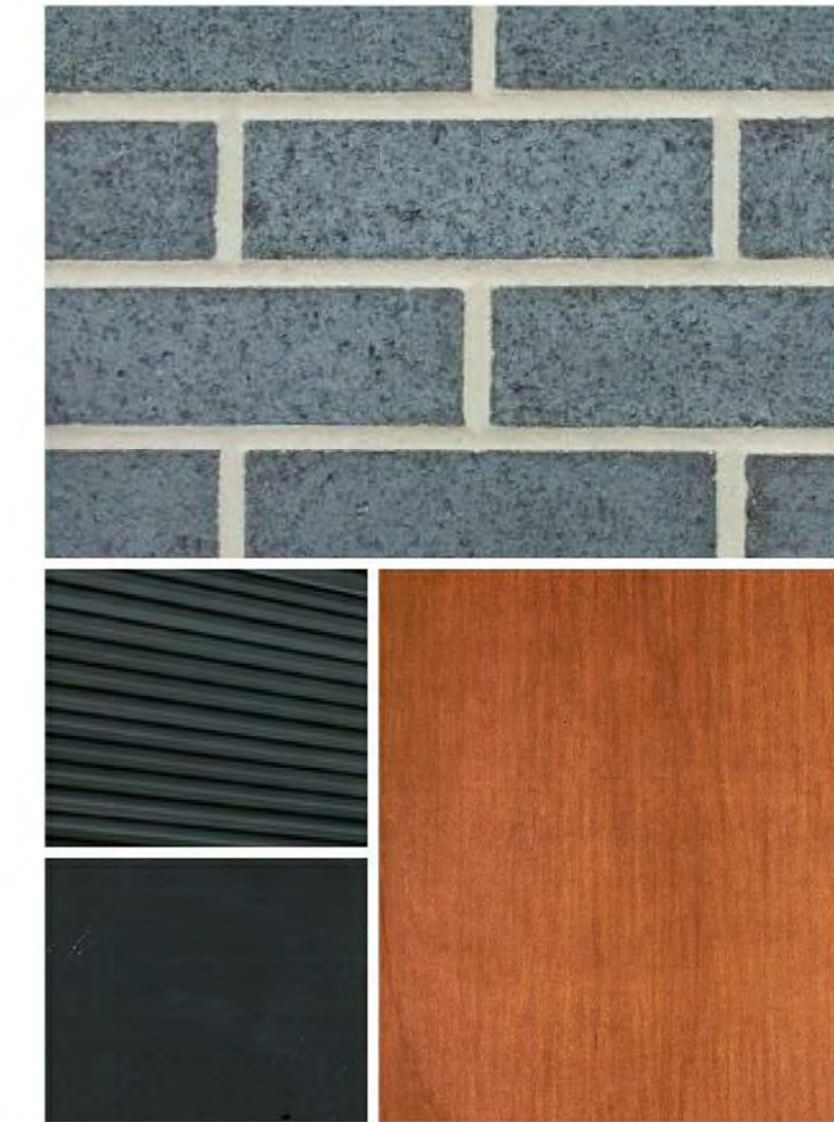
6 TOWNHOUSE TYPICAL ENTRANCE  
ELEVATION  
1/4" = 1'-0"



5 TOWNHOUSE TYPICAL ENTRANCE  
WALL SECTION  
1/4" = 1'-0"



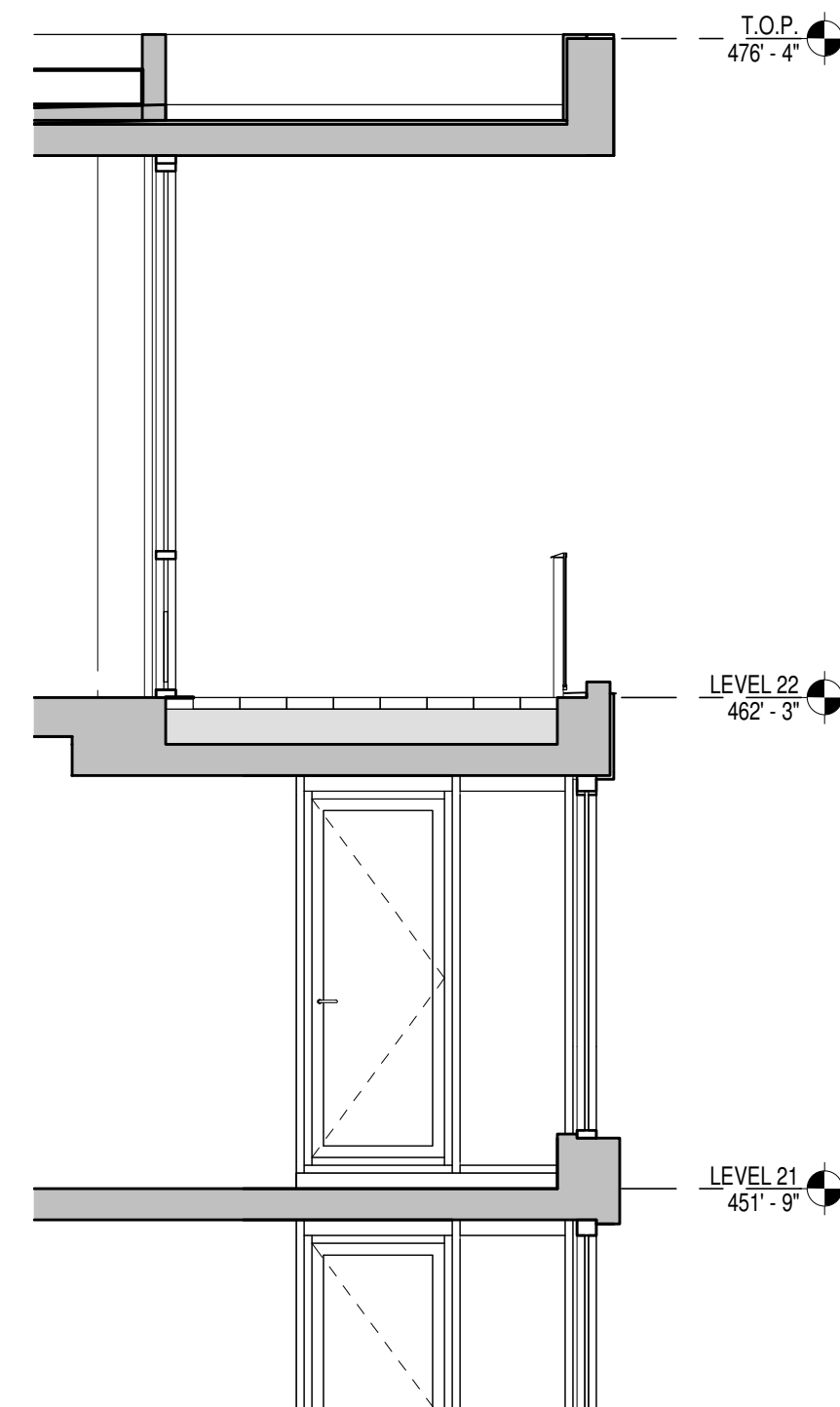
- ARCHITECTURAL LOUVRES
- METAL FIN (DARK BRONZE)
- 1/3 RUNNING BOND MASONRY CLADDING (EBONITE)
- METAL PANEL CLADDING CORRUGATED (DARK BRONZE)
- CANOPY - METAL PANEL (DARK BRONZE)
- INSET ADDRESS PANEL
- PHENOLIC COMPOSITE PANEL CLADDING (COPPER OAK)
- DOOR - SOLID OAK WOOD (TO MATCH PHENOLIC PANEL)



4 TOWNHOUSE TYPICAL ENTRANCE



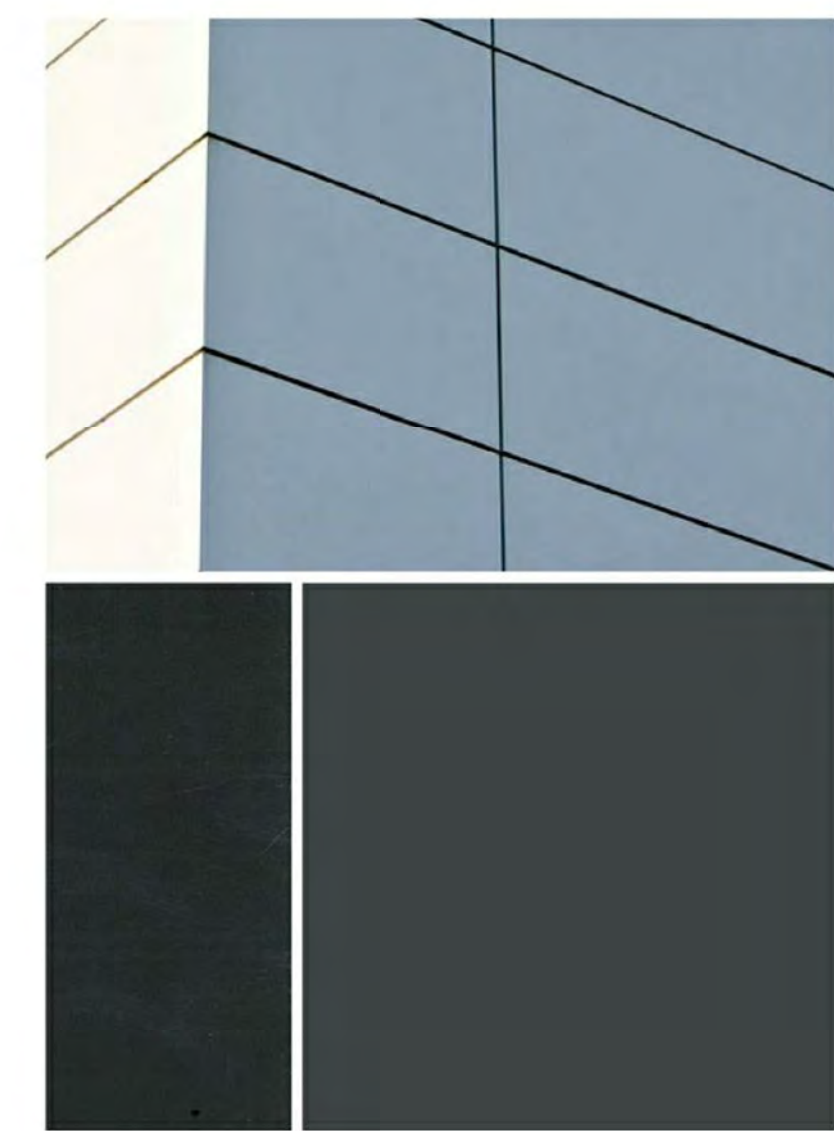
3 TYPICAL TOWER ELEVATION  
1/4" = 1'-0"



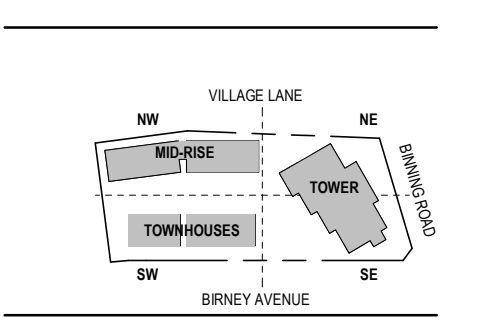
2 TYPICAL TOWER WALL SECTION  
1/4" = 1'-0"



- METAL PANEL CLADDING (WHITE)
- GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK GREY ON L3)
- RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- UPSTAND WITH METAL PANEL (WHITE)



1 TYPICAL TOWER FACADE

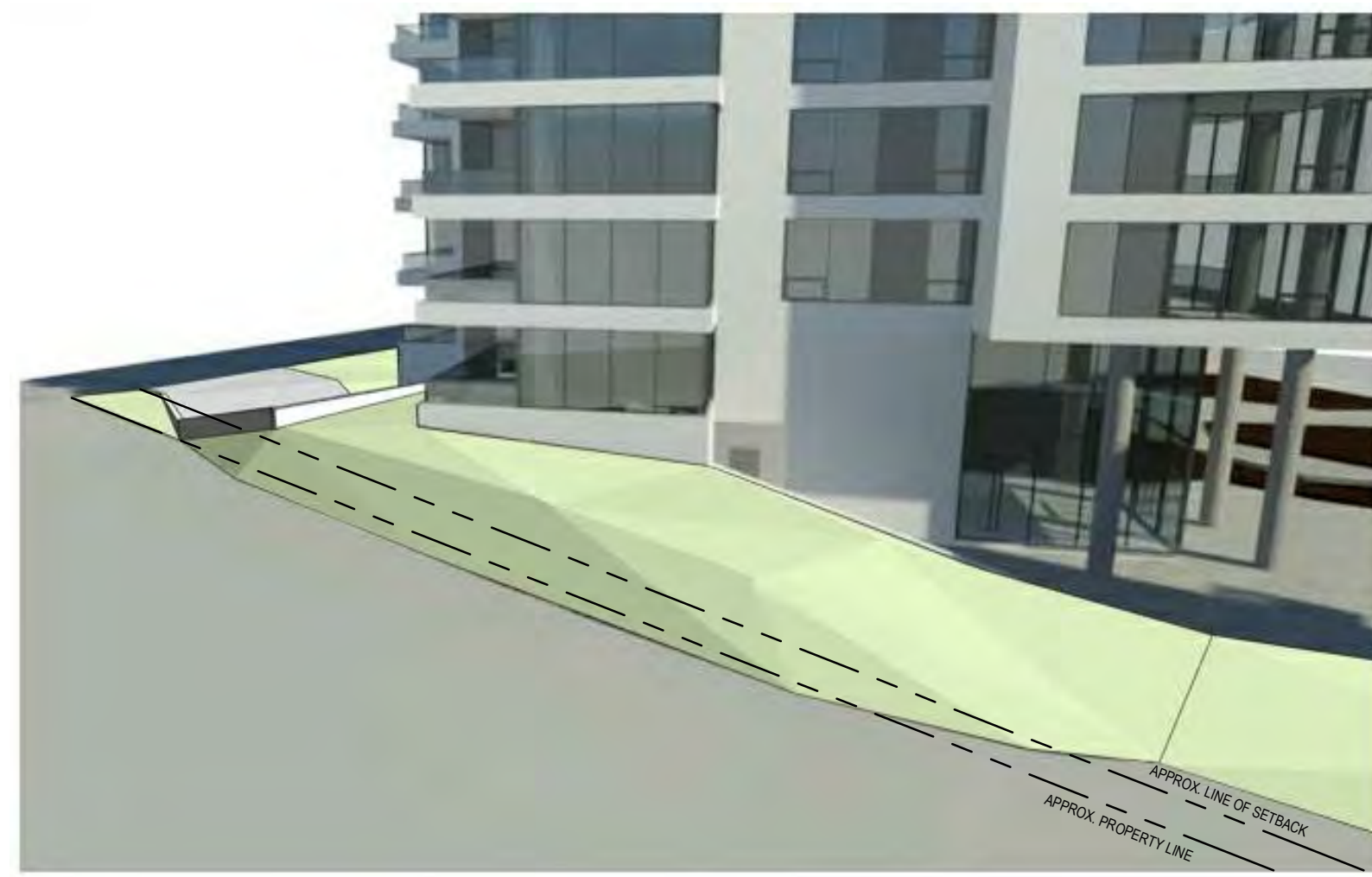


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## PARKADE RAMP

In designing the parkade entrance ramp, two main concerns needed to be addressed. Firstly, providing a separate lane on the ramp for pedestrians and cyclists to enhance safety for non-vehicular users, and secondly, creating a ramp that was visually unobtrusive and did not create any awkward spaces along the edge of the site.

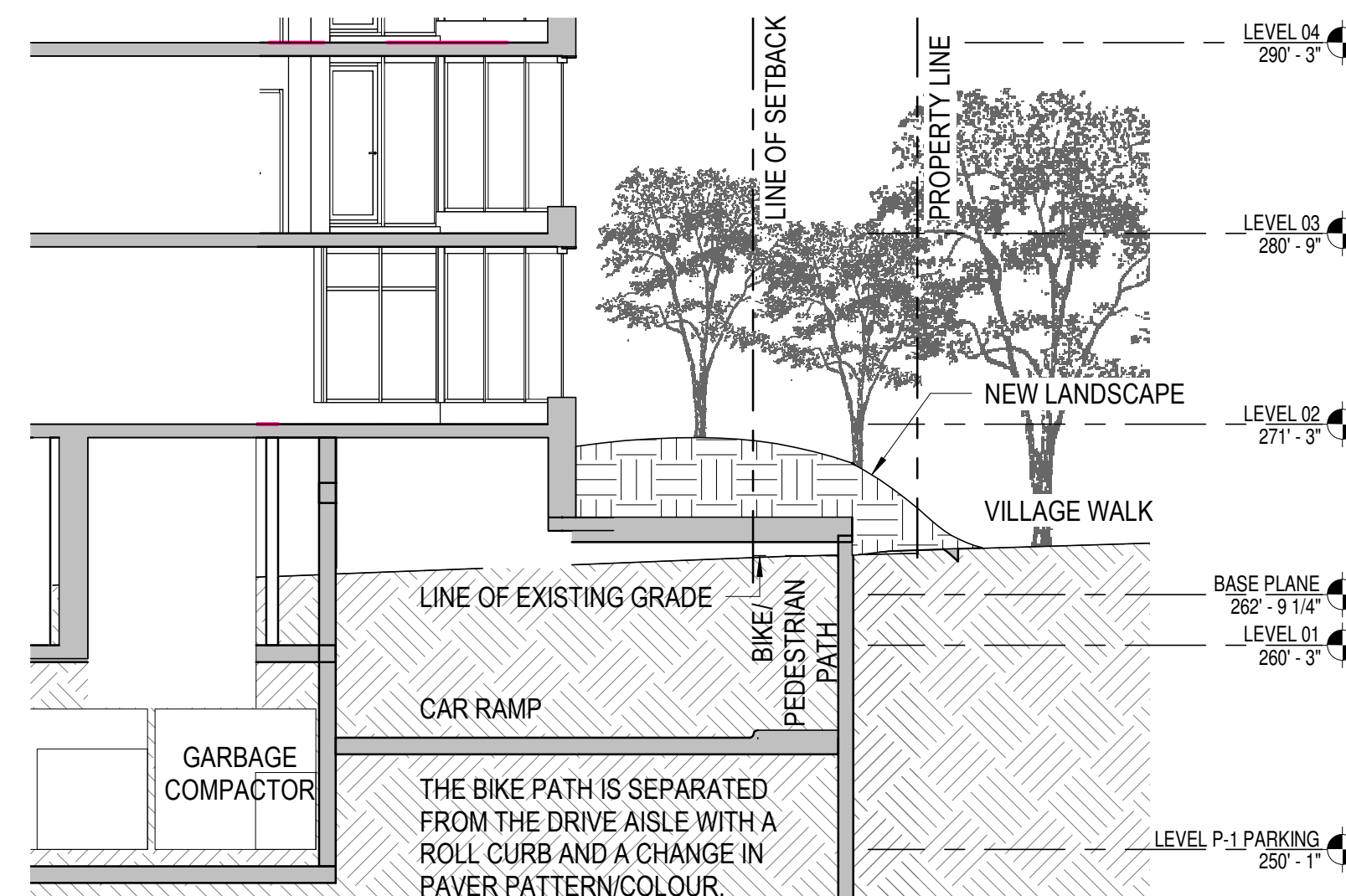
As a solution to these issues, the parking ramp has been "buried" and a Forst Garden has been created to berm up and integrate the parking ramp structure into the landscape. The northern wall of the parkade ramp encroaches into the setback by a maximum of 5'11" and 3'8" above grade. Although the ramp pushes into the setback, the integration of the ramp into the landscaping creates a more pleasant edge along Village Lane and reduces the visual impact of the ramp.



6 RAMP VIEW FROM VILLAGE LANE  
1/16" = 1'-0"



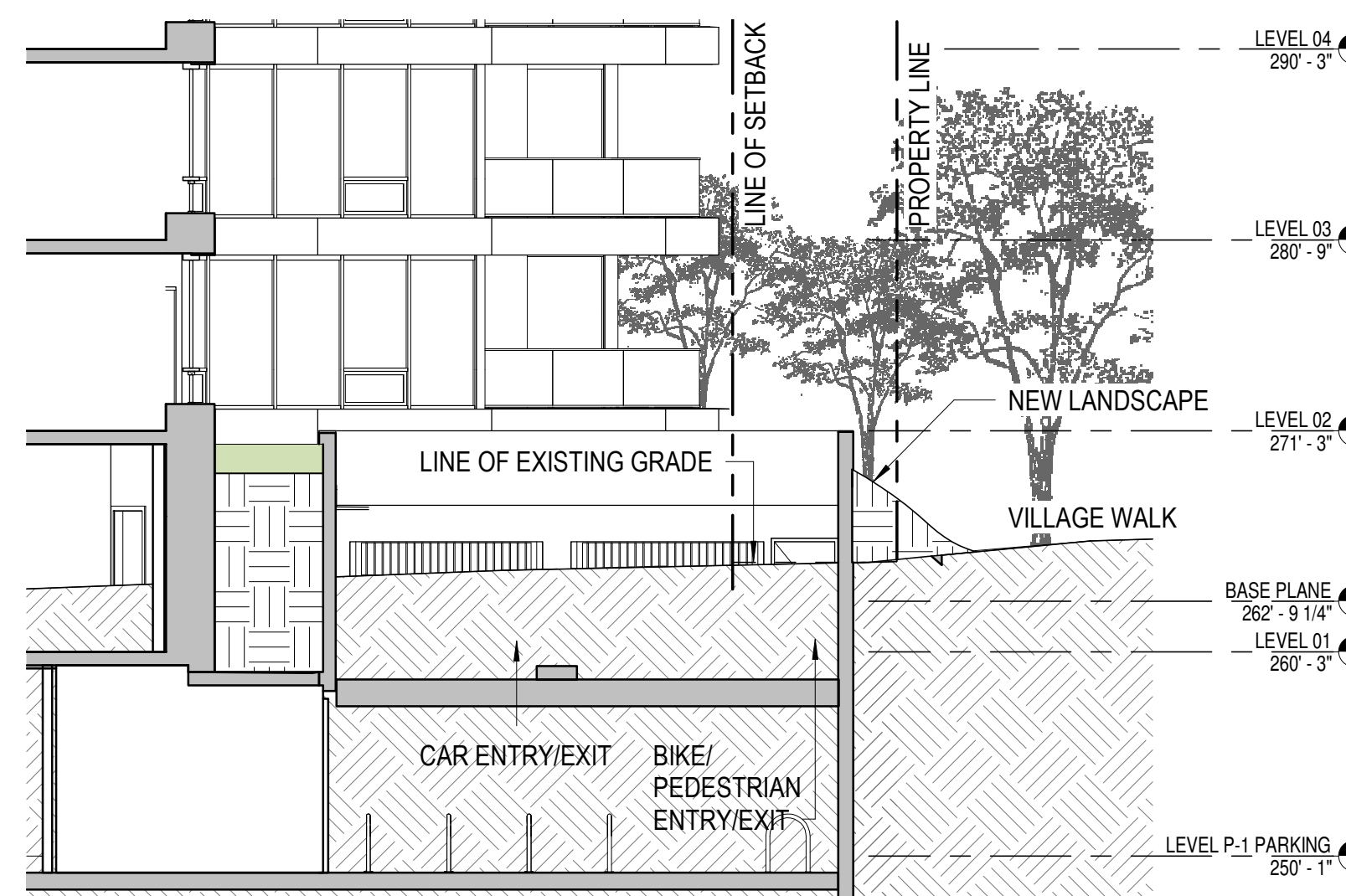
5 RAMP VIEW FROM ABOVE  
1/16" = 1'-0"



4 RAMP SECTION  
1/8" = 1'-0"



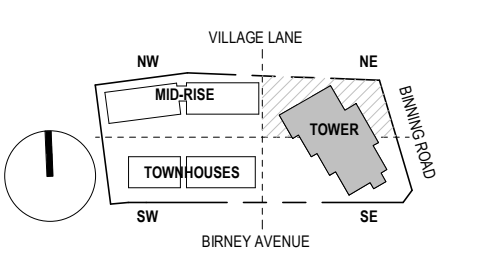
3 RAMP VIEW FROM BINNING ROAD  
1/16" = 1'-0"



2 RAMP SECTION AT GATE  
1/8" = 1'-0"



1 PLAN AT LEVEL 2 OVER RAMP  
1/16" = 1'-0"



### IVY ON THE PARK LOT 8

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### VARIANCE - LANDSCAPING OVER RAMP AT SETBACK

### DP-006



CANOPIES

Along the north-east edge of the mid-rise block, four canopies protrude into the setback by a maximum of 1'4". These canopy elements on Level 1 are located above the entry alcove and adjacent glazed opening. These architectural elements provide much needed shelter and enclosure, and should maintain a consistent depth to provide adequate weather protection.



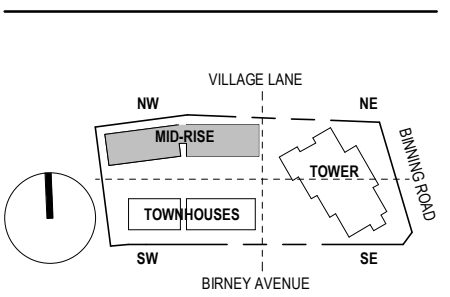
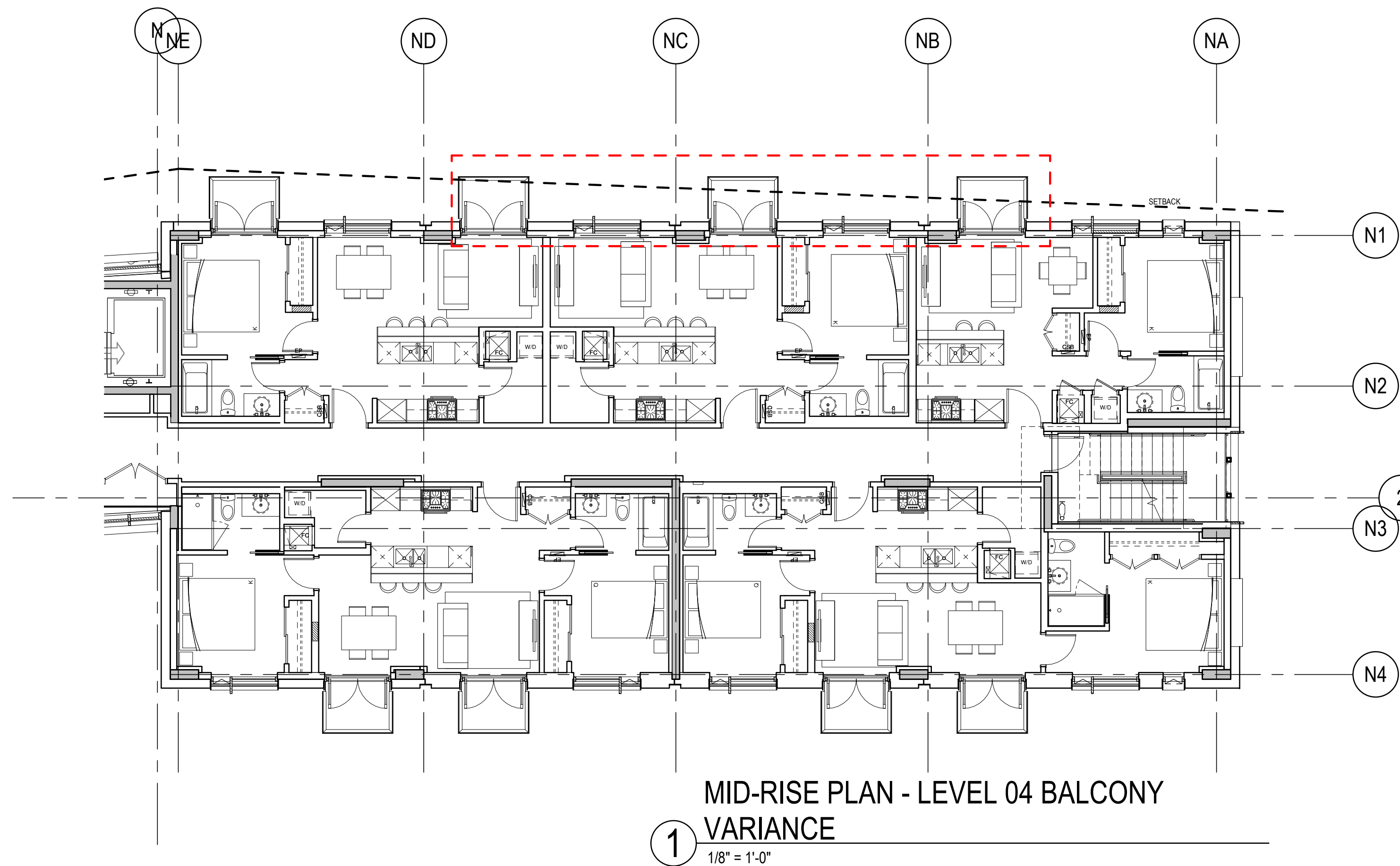
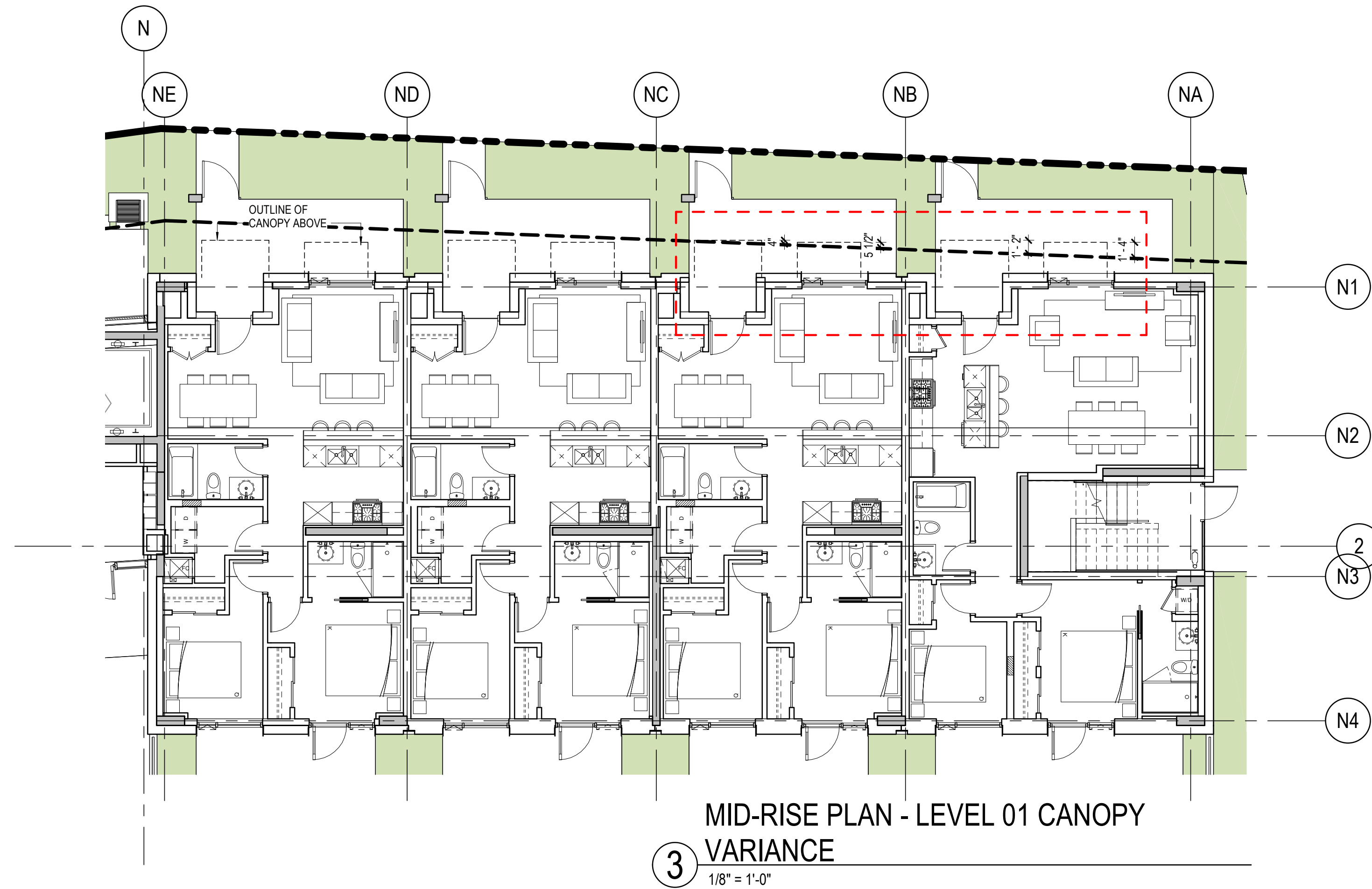
4 VIEW OF CANOPIES

BALCONIES

Similarly, along the north-east edge of the mid-rise block, three balconies protrude into the setback by a maximum of 2'1.5". In order to achieve a consistent architectural expression and ensure all units have an equally sized, usable balcony, all balconies should maintain the same depth. Additionally, the mid-rise has been pushed north as far as possible to maximize the size of the shared communal courtyard to the south, and to ensure that space maintains sufficient solar exposure.



2 VIEW OF BALCONIES



IVY ON THE PARK  
LOT 8

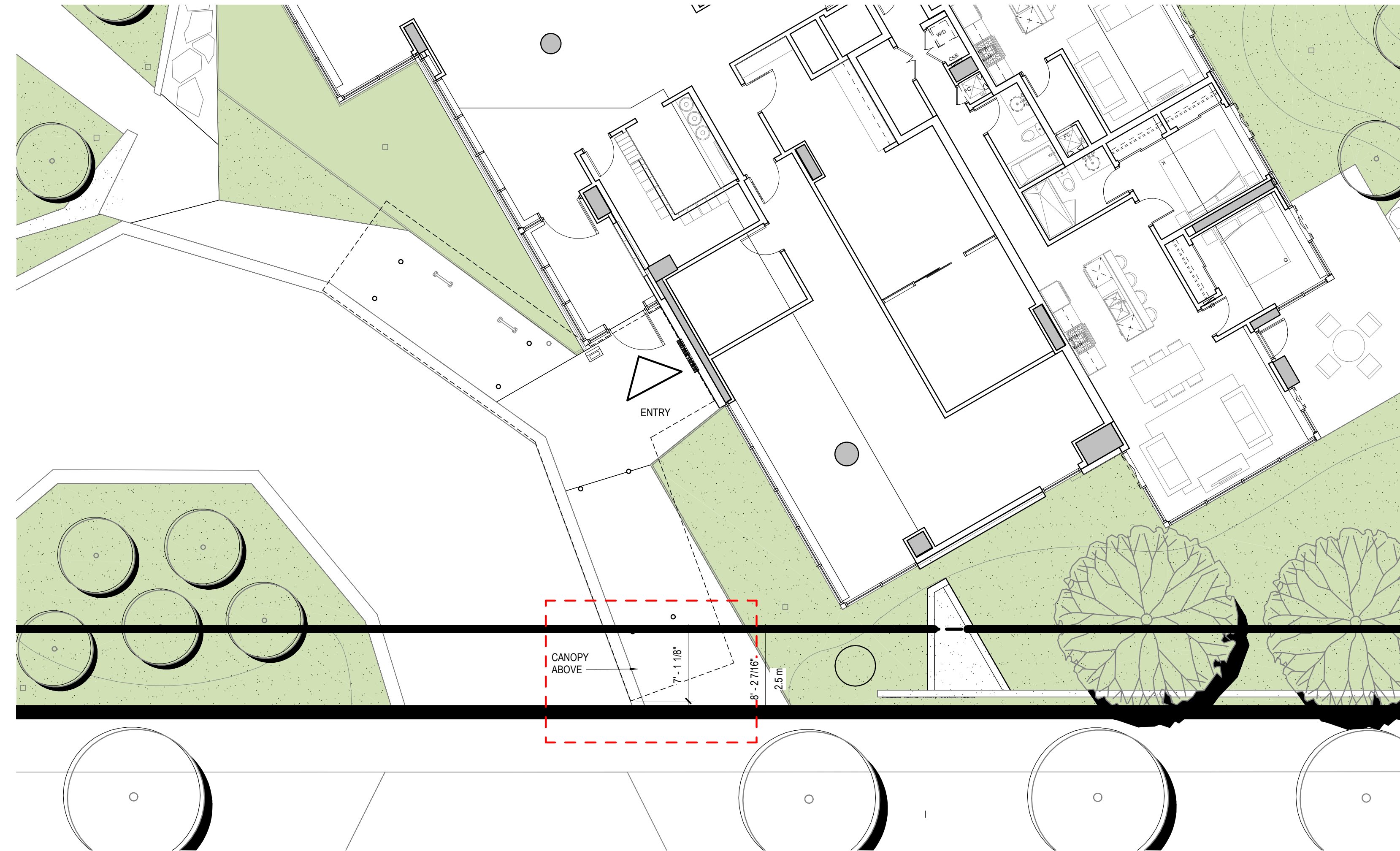
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2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

VARIANCE - CANOPIES  
AND BALCONIES OVER  
SETBACK

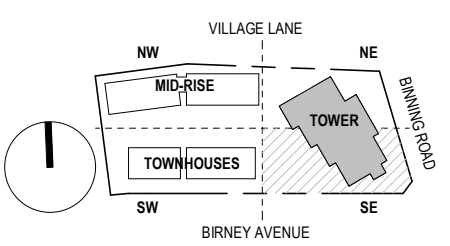
DP-007

### ENTRANCE CANOPY

An expansive entrance canopy is designed to announce the front door to the tower, provide weather protection, and wayfinding. The canopy provides weather protection for pedestrians entering the site off Birney, as well as some overhang to provide cover for people exiting vehicles in the drop-off area. Integrated lighting will also aid in wayfinding and provide a welcoming entrance to guests and residents.



1 SITE PLAN CANOPY VARIANCE  
1/8" = 1'-0"



### IVY ON THE PARK LOT 8

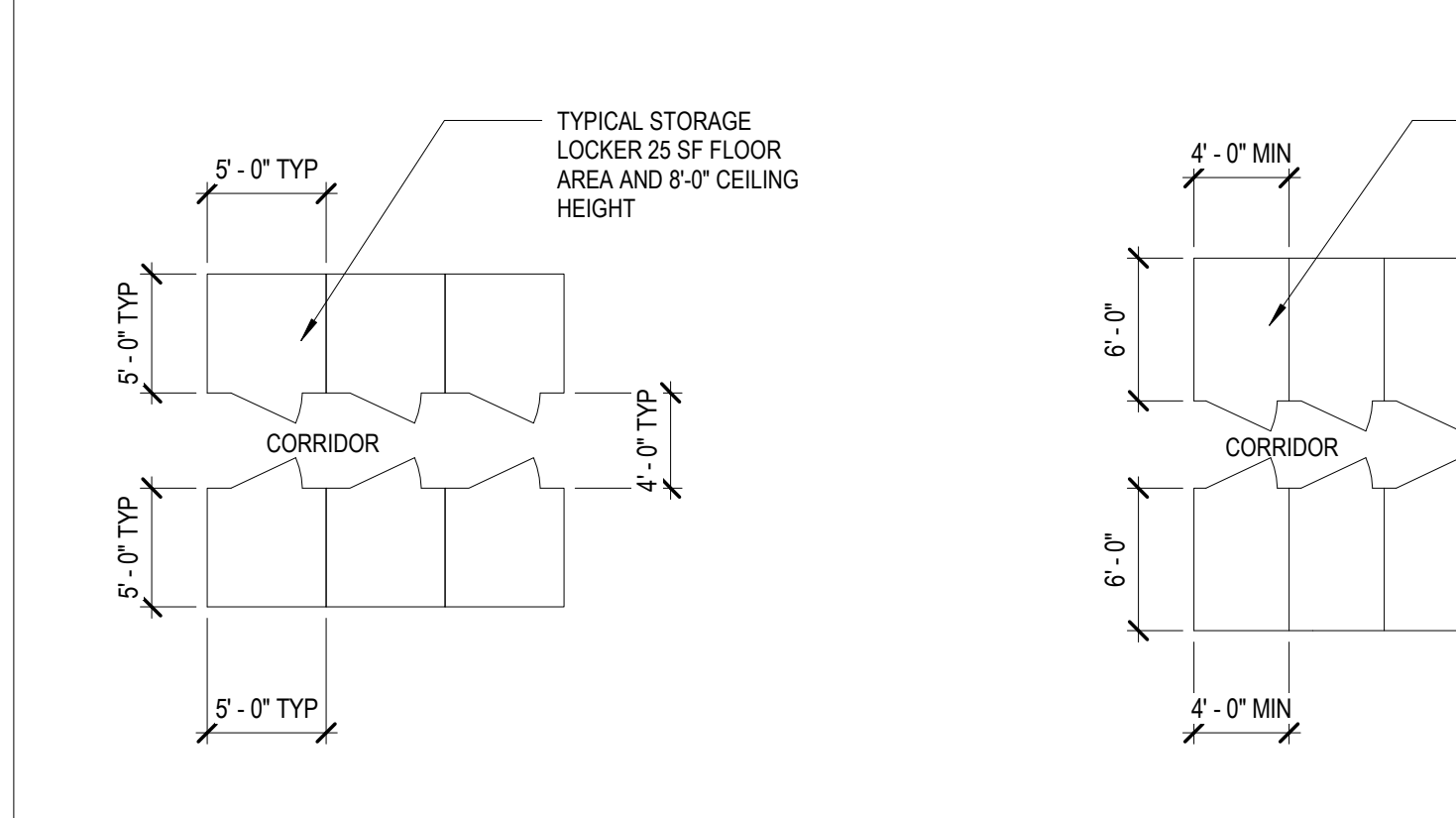
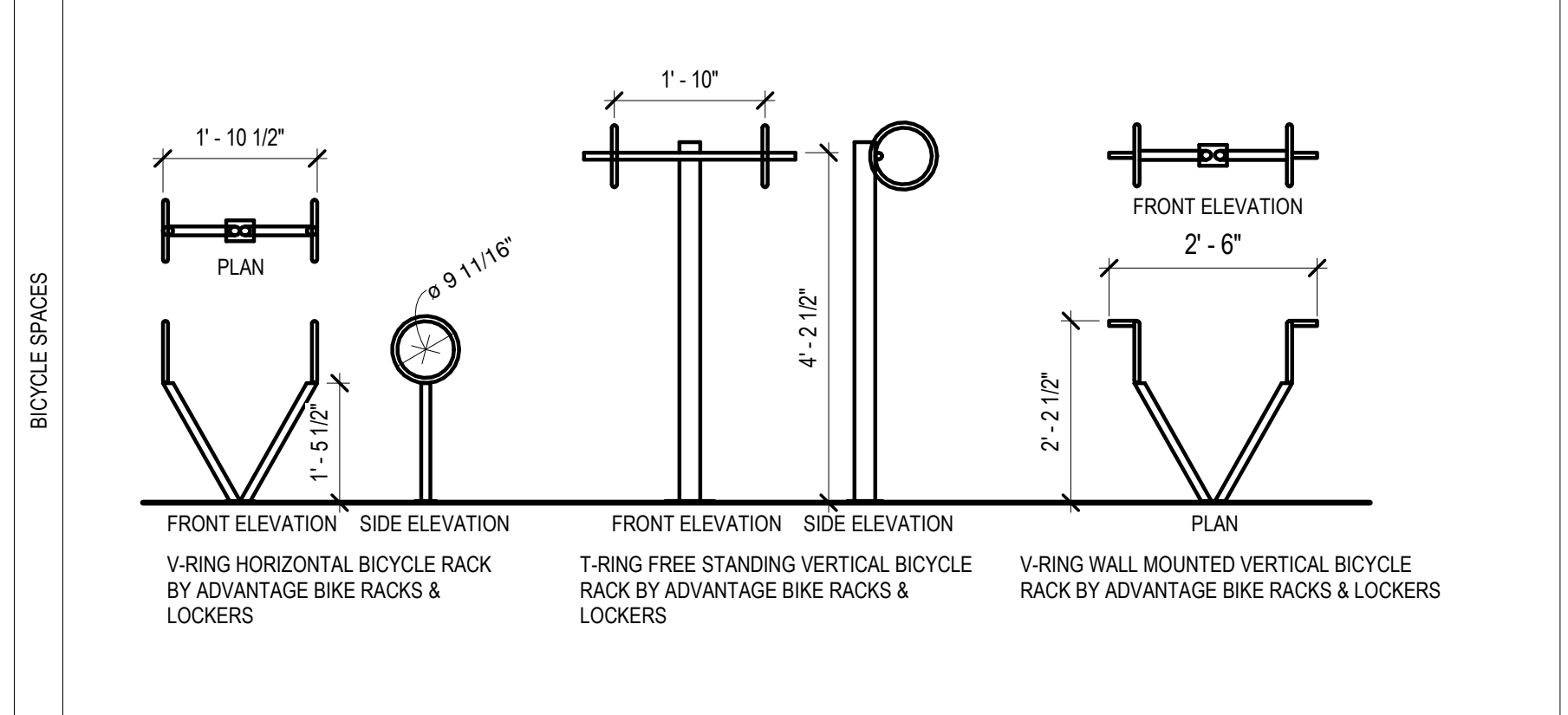
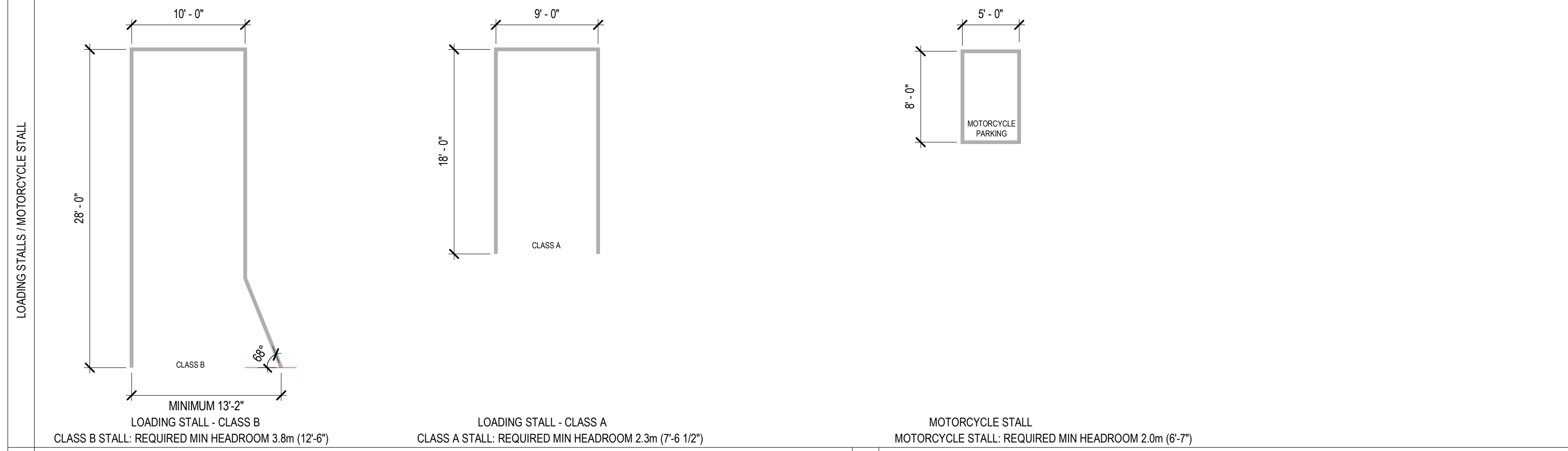
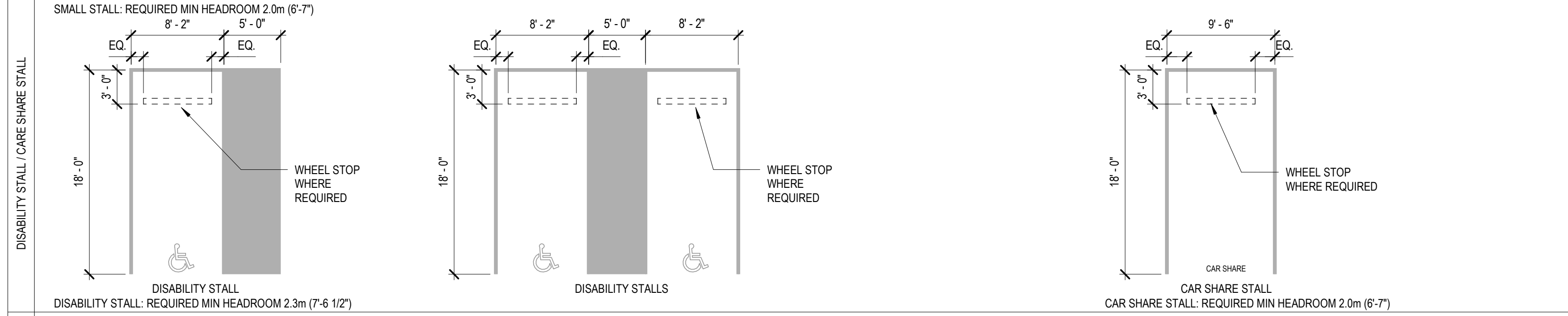
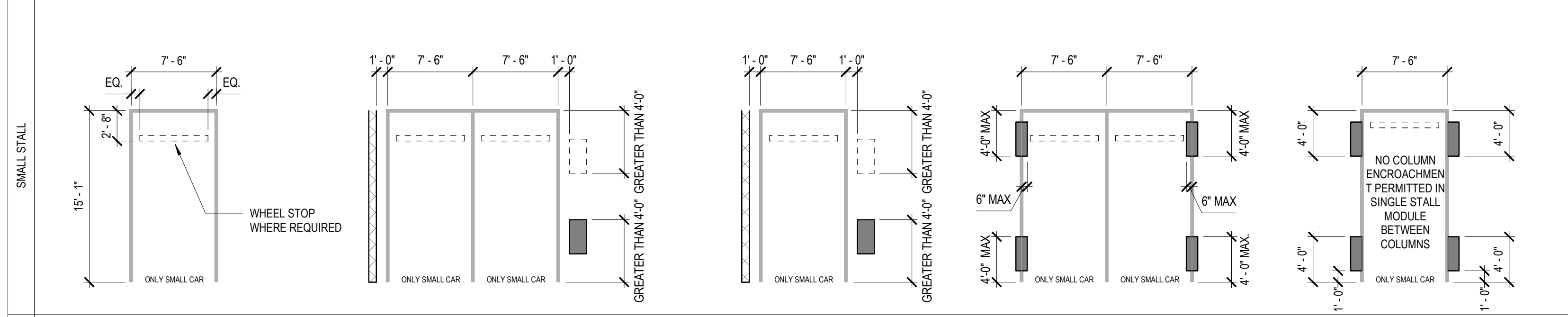
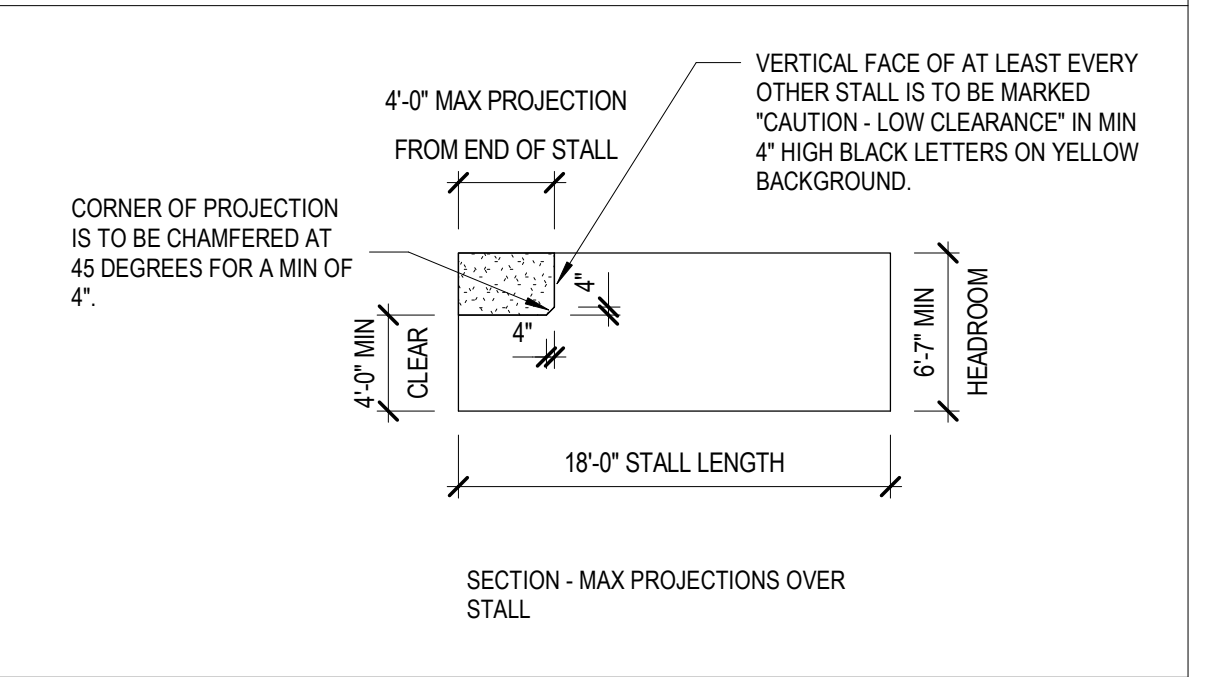
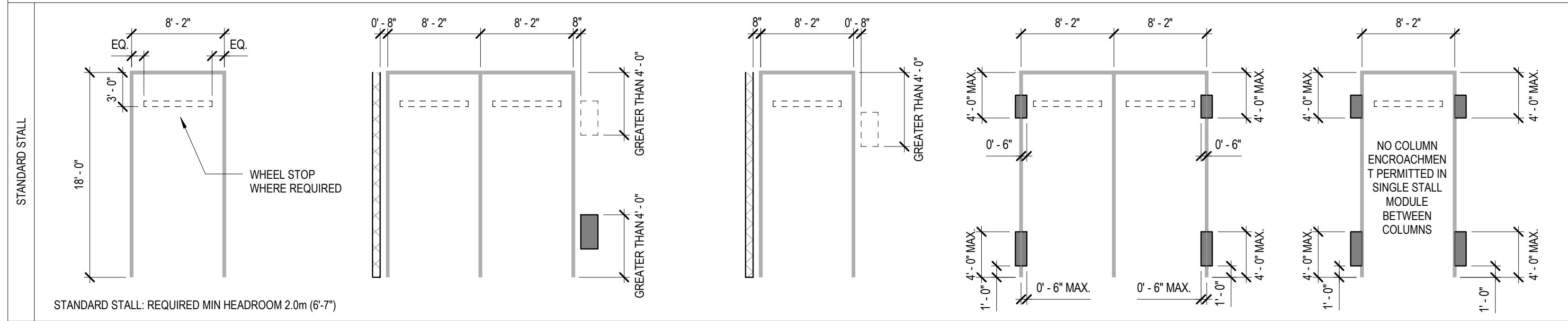
1	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
2	PRICING SET	2018-03-29
3	DP AMENDMENT SUBMISSION	2018-05-24

### VARIANCE - ENTRANCE CANOPY

### DP-008

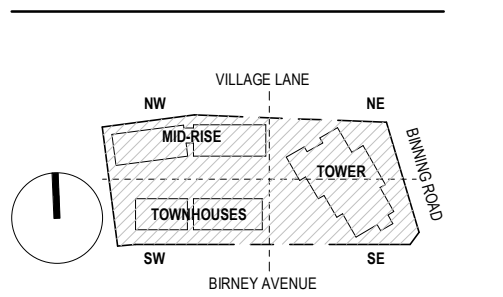
# PARKING STALL / BICYCLE PARKING STALL / RESIDENTIAL STORAGE LOCKER DIMENSIONS

REFERENCE:  
UBC DEVELOPMENT HANDBOOK  
DECEMBER 2016



ALL RESIDENTIAL STORAGE LOCKERS TO MEET THE FOLLOWING REQUIREMENTS:

- MINIMUM SIZE OF 200 CUBIC FEET
- MINIMUM HEIGHT OF 7'-0"
- MINIMUM CLEAR HORIZONTAL DIMENSION IN ALL DIRECTIONS OF 4'-0"



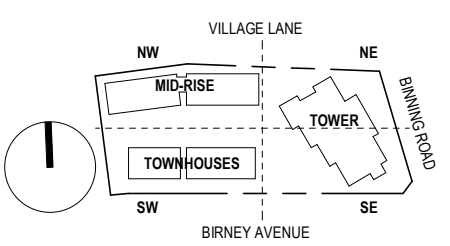
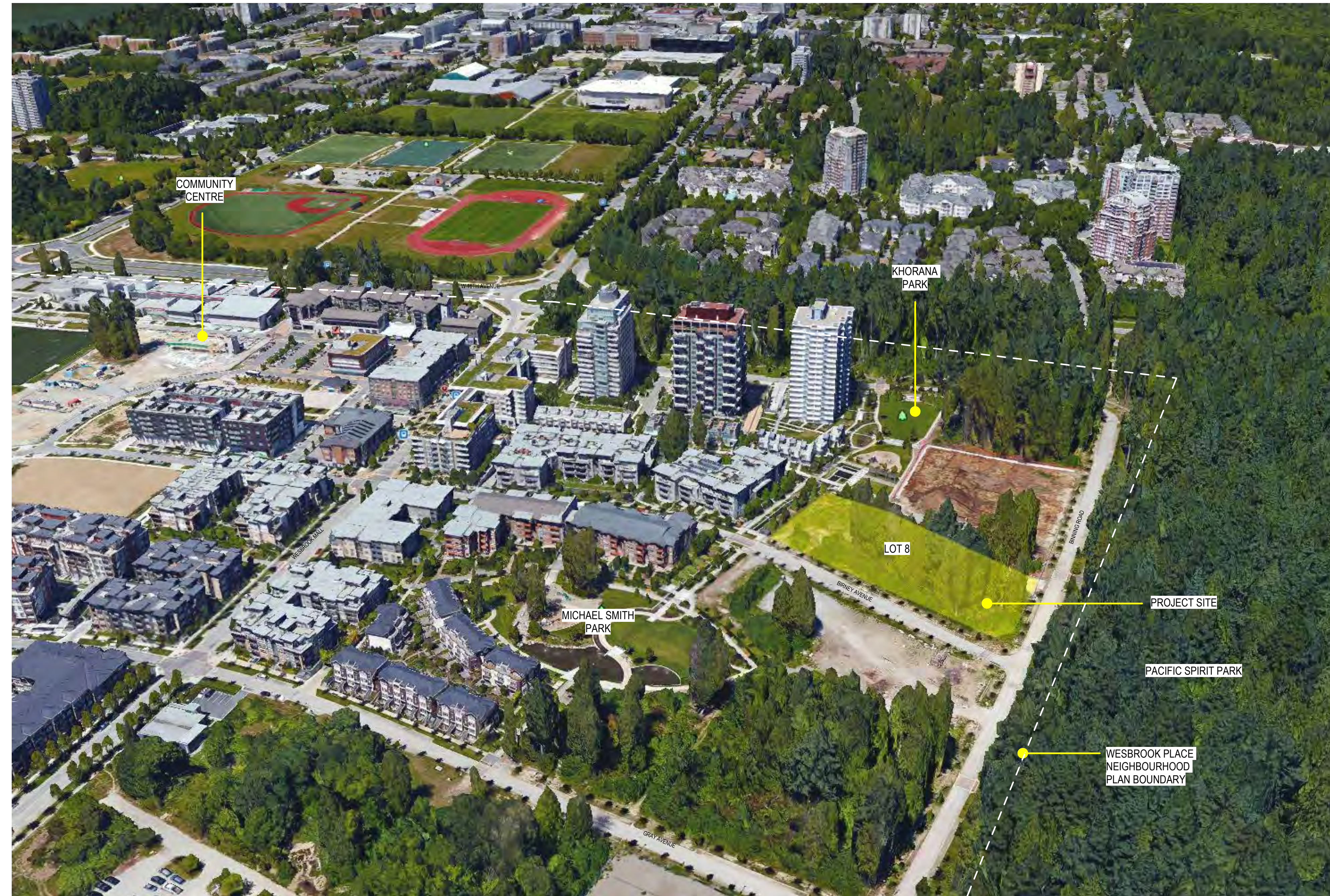
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

## SITE CONTEXT - VIEW

Lot 8 at Wesbrook Place is a 63,150 square foot (1.45 acres / 0.9 hectare) site at the corner of Birney Avenue and Binning Road. Located at the eastern edge of Wesbrook Place, the site is bounded to the east by Pacific Spirit Regional Park, on the north by Village Lane and on the west by McCrae Lane. Grades are relatively flat, with the site sloping down by 1m from the north to south ends of the property line.

The site is surrounded by a variety of residential developments, including 2.5 storey townhouses and a 22 storey tower to the north, and a 4.5 storey midrise block and 21 storey tower to the south. Lot 8 is well connected to the amenities within Wesbrook Village, with several commercial businesses, restaurants, a grocery store, and community centre all within a 5 minute walk. There are several nearby transit stops with lines connecting to other areas on campus and within Vancouver. Bike lanes exist along 16th Avenue and Wesbrook Mall.

Additionally, the site is well connected to both campus and regional green space networks, providing parks, trails, greenways, green streets and pathways. Located adjacent to Pacific Spirit Regional Park, IVY ON THE PARK has access to the parks expansive trail network, as well as the multiuse trail that fits within the Green Edge of Wesbrook Place. The project is also located close to Michael Smith Park, Khorana Park, and Mundel Park.

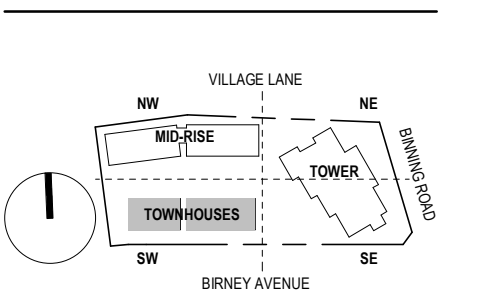
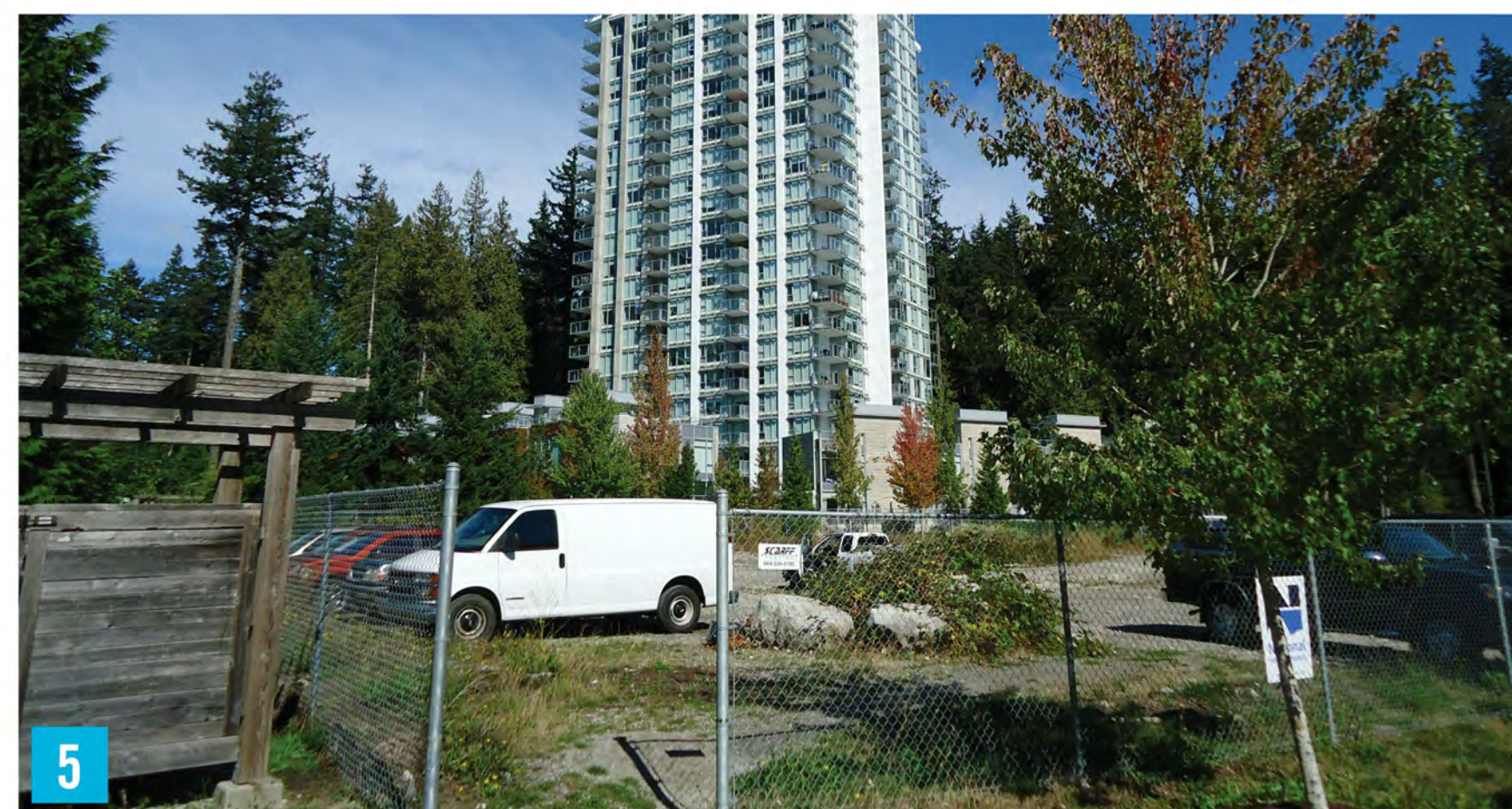
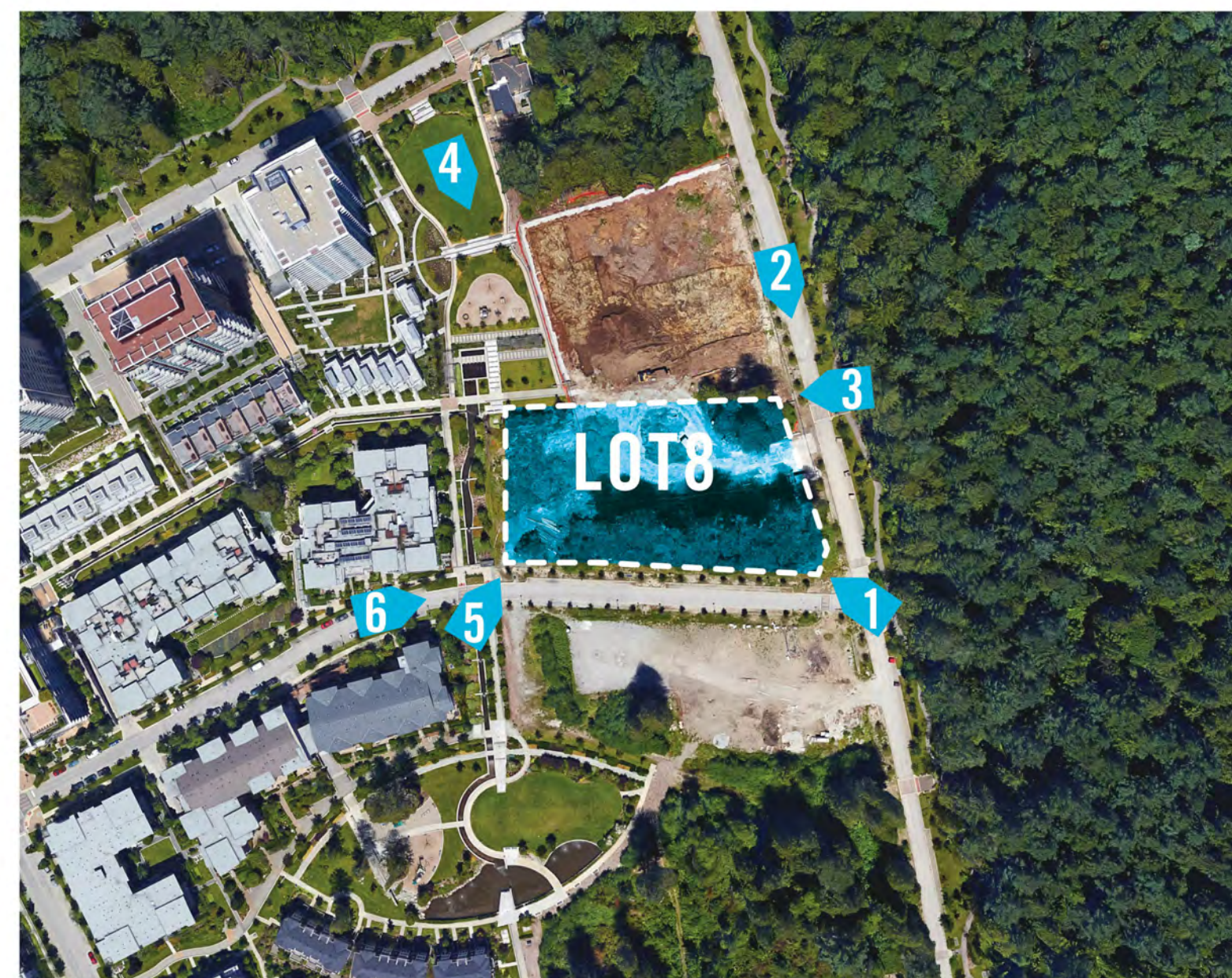


### IVY ON THE PARK LOT 8

1	PRE-OP APPLICATION SUBMISSION	2017-12-06
2	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
3	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
4	PRICING SET	2018-03-29
5	DP AMENDMENT SUBMISSION	2018-05-24

### SITE CONTEXT - VIEW

SITE CONTEXT - PHOTOS



IVY ON THE PARK  
LOT 8

1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

SITE CONTEXT - PHOTOS

SITE CONTEXT - STREET VIEWS



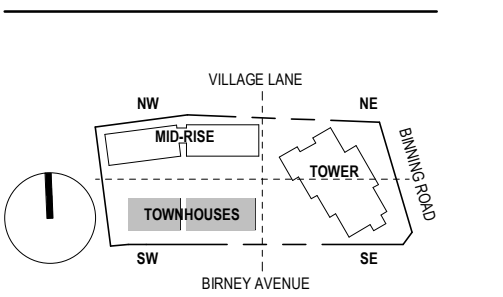
BIRNEY AVENUE



BINNING ROAD



VILLAGE LANE



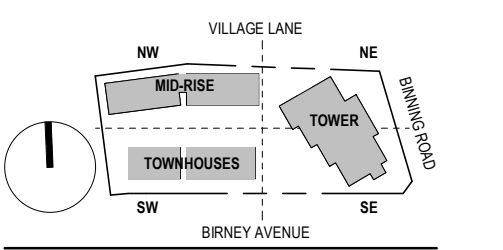
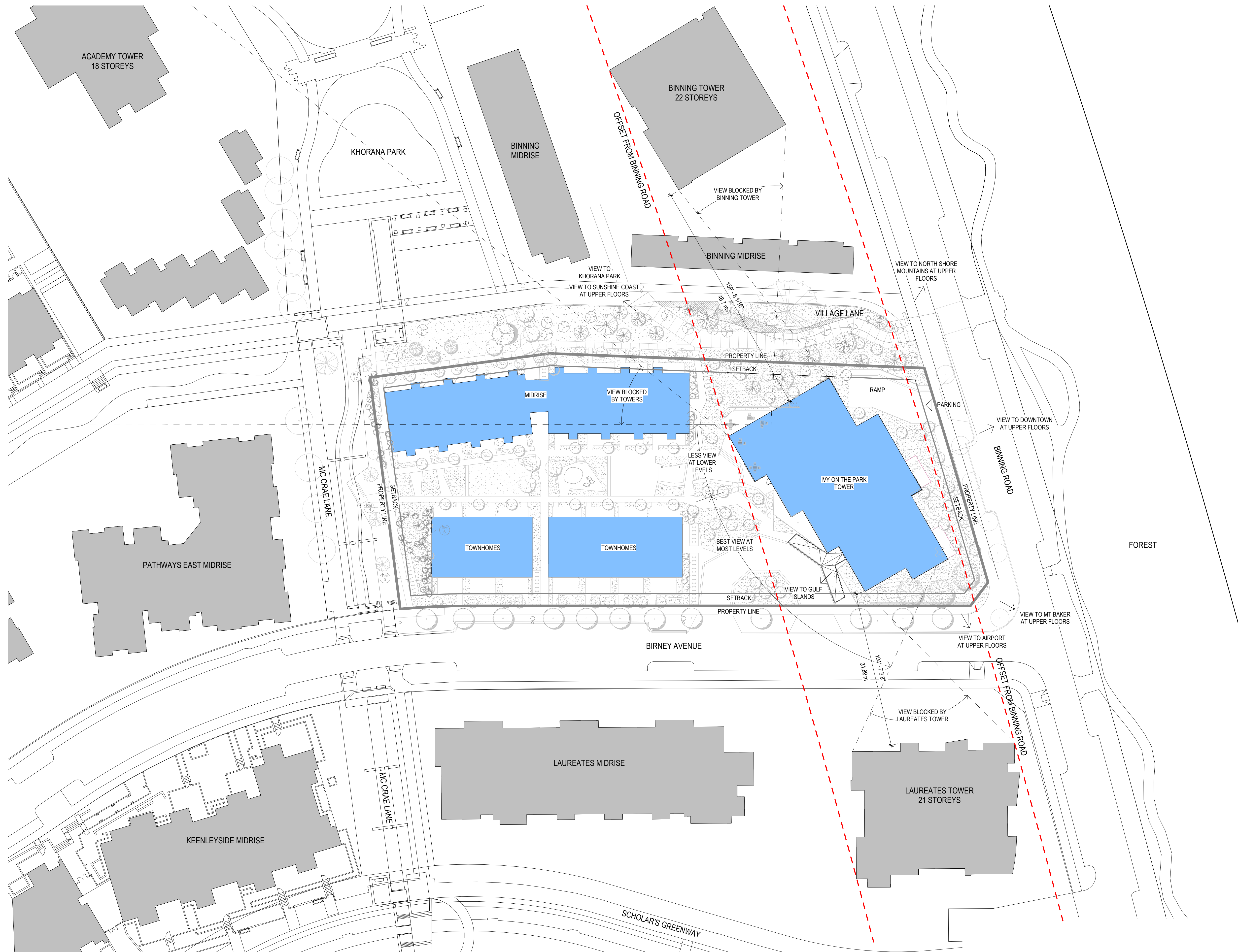
IVY ON THE PARK  
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24



McCRAE LANE

SITE CONTEXT - STREET  
ELEVATIONS



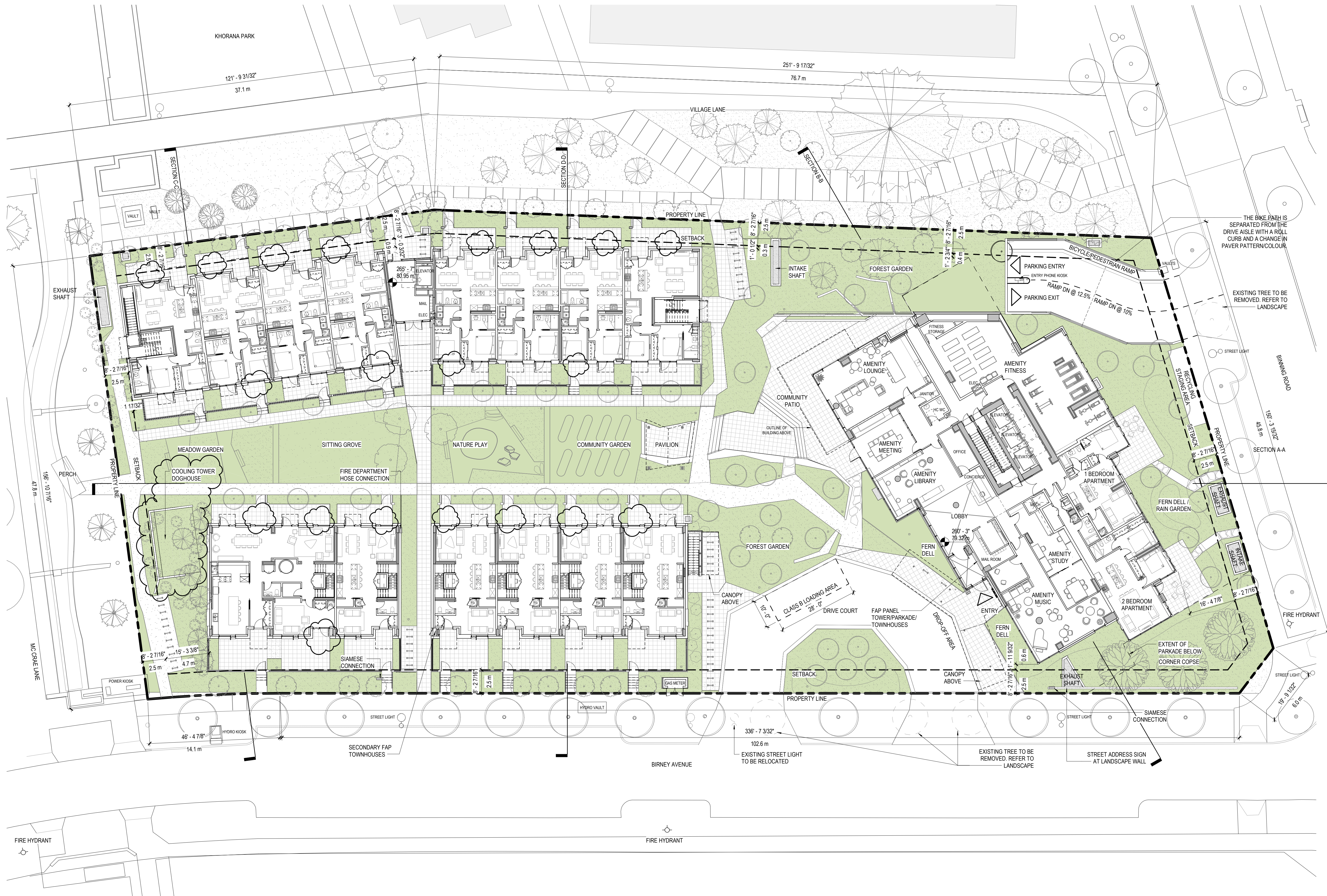
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

SITE CONTEXT - PLAN

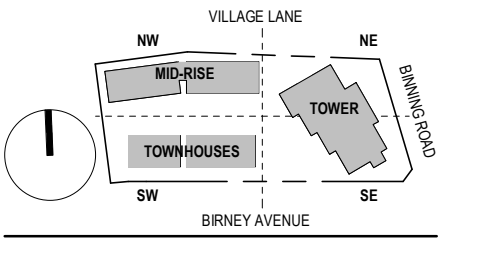
1 CONTEXT PLAN  
1/32" = 1'-0"

DP-044



THE BIKE PATH IS SEPARATED FROM THE DRIVE AISLE WITH A ROLL CURB AND A CHANGE IN PAVEMENT PATTERN/COLOR.

EXISTING TREE TO BE REMOVED. REFER TO LANDSCAPE



IVY ON THE PARK  
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4. PRICING SET 2018-03-29
- 5. DP AMENDMENT SUBMISSION 2018-07-24
- 6. DP AMENDMENT SUBMISSION 2018-12-07
- 7. DP AMENDMENT SUBMISSION 2019-08-21

SITE PLAN

1 SITE PLAN  
1/16" = 1'-0"

DP-051

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TOPOGRAPHIC SURVEY OF LOT 8 DISTRICT LOT 6494 GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP26848



The intended plot size of this plan is 864mm in width by 560mm in height (D size) when plotted at a scale of 1:250.  
All distances are in metres and decimals thereof.



- LEGEND**
- denotes catchbasin
  - denotes drain
  - denotes drain manhole
  - denotes sewer manhole
  - denotes water valve
  - denotes irrigation control valve
  - denotes hydrant
  - denotes junction box
  - denotes streetlight davit
  - denotes bollard
  - denotes sign
  - denotes fence
  - denotes top of bank
  - denotes bottom of bank
  - denotes edge of pavement
  - denotes edge of gravel
  - denotes gravel sublayer
  - denotes letdown
  - denotes spot elevation
  - denotes tree and diameter
  - denotes property line

Date of Field Survey: 21, September, 2017

Elevations are to geodetic datum, derived from City of Vancouver geodetic control monument 02H2464. Published Elevation = 4.846 m.

Vertical Datum CGVD28 (HTV2.0).

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

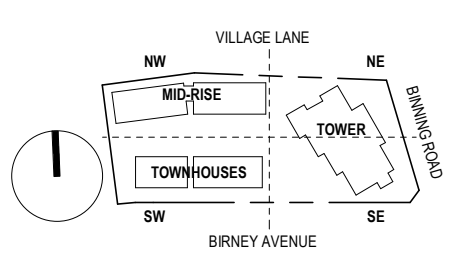
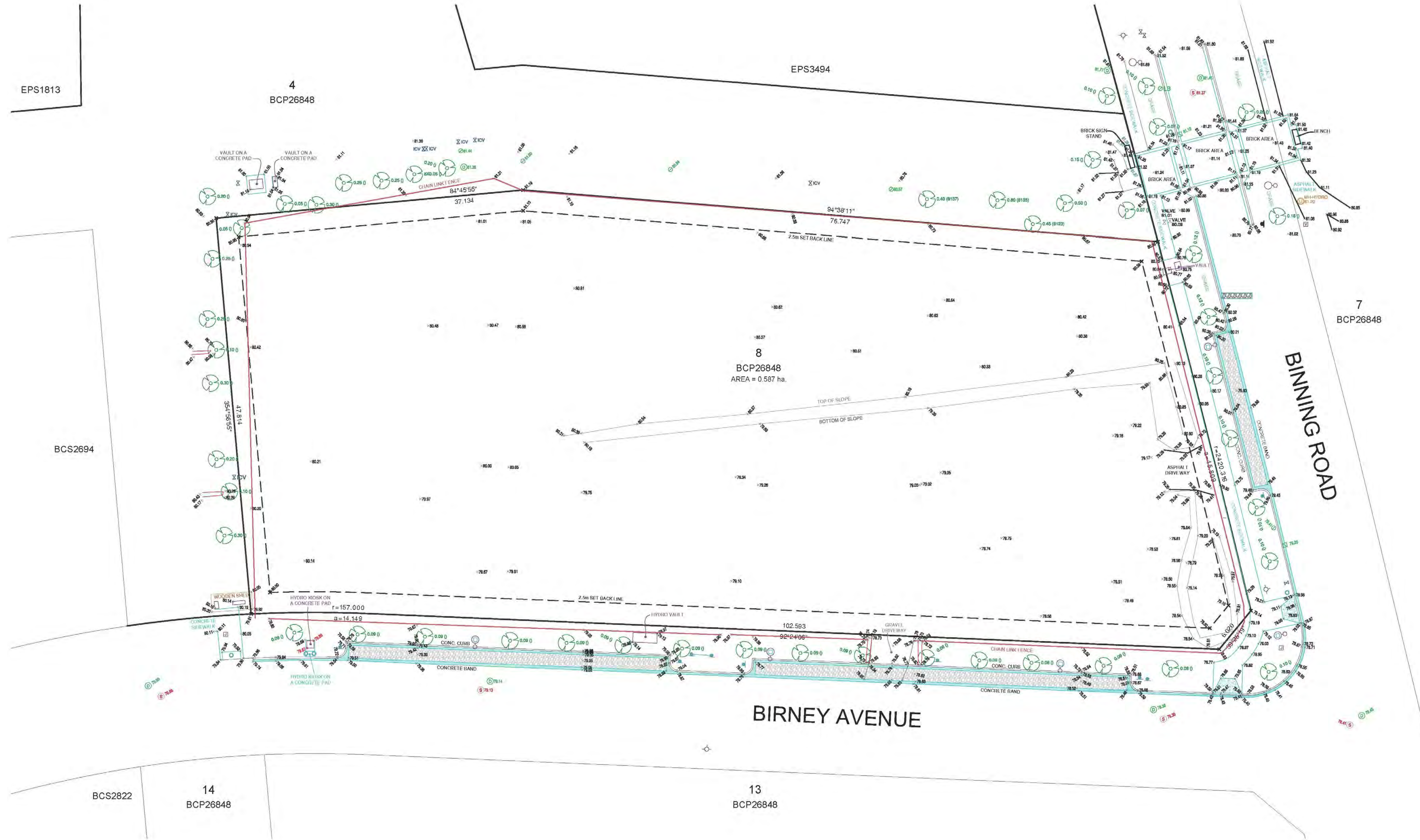
This plan represents the best information available at the time of survey. WSP Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

PARCEL IDENTIFICATION NO:  
026-858-177

CIVIC ADDRESS:  
5638 BIRNEY AVENUE, VANCOUVER, BC

CLIENT:  
WALL FINANCIAL CORPORATION

TITLE SUBJECT TO:  
NO EXISTING CHARGES, LIENS AND INTERESTS.



IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

SITE SURVEY

DP-052

**wsp**  
WSP Surveys (BC) Limited Partnership  
390-45 Richmond Street, New Westminster, BC  
T: 604-521-4951 www.wspgroup.com

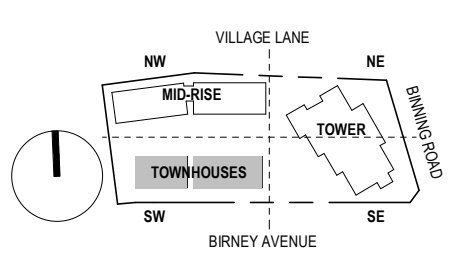
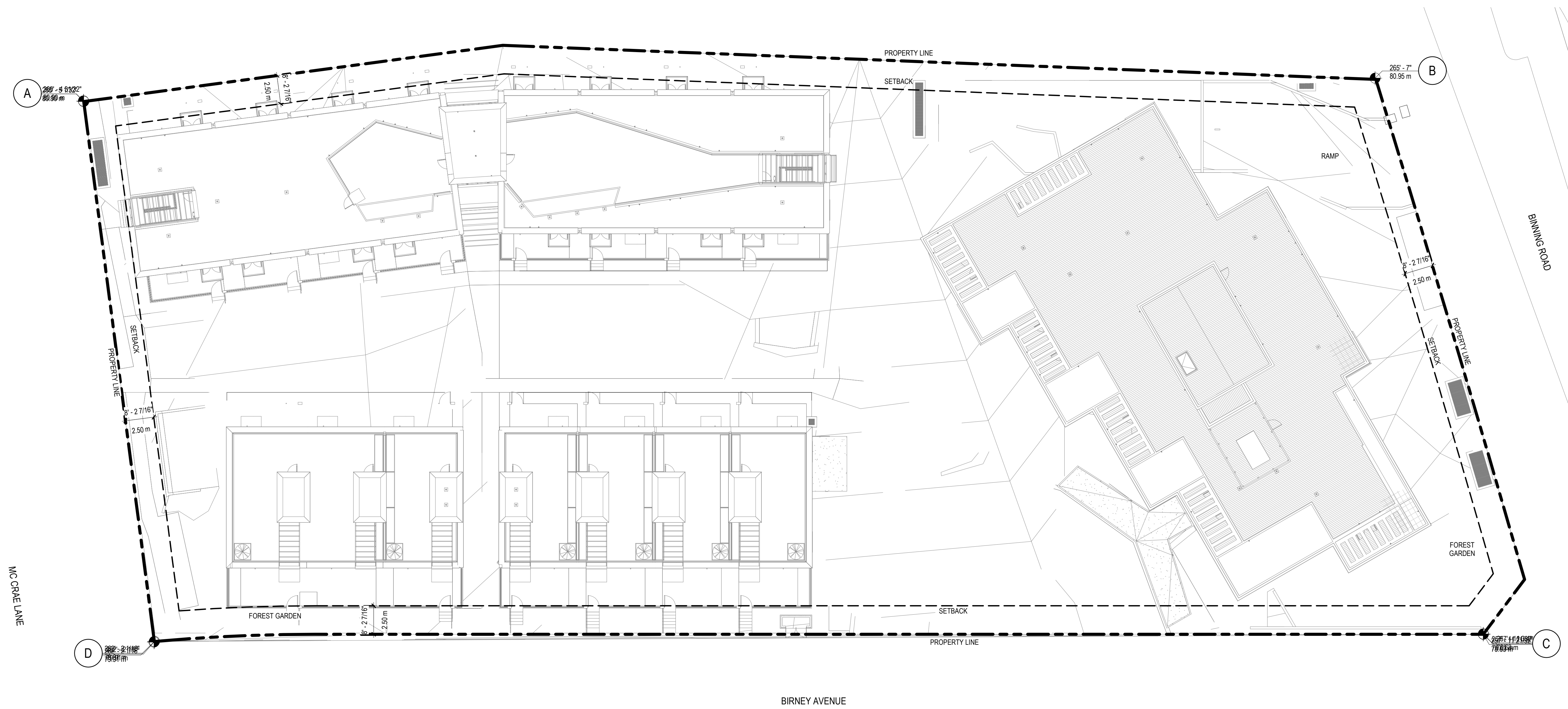
PROJECT  
**LOT 8, BCP26848**

SHEET REF  
**TOPOGRAPHIC SURVEY PLAN**

DRAWN	DATE	CHECKED	SCALE
JM	2017-02-24	JT	1:250

SHEET NO.  
**171-13109-00-000-00-SSDS1001-R1**

Rev No.	Date	Comment
1	2017-12-13	additional topo information added



IVY ON THE PARK  
LOT 8

1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

BASE SURFACE  
CALCULATION PLAN

DP-053

1 BASE SURFACE CALCULATION PLAN  
1/16" = 1'-0"

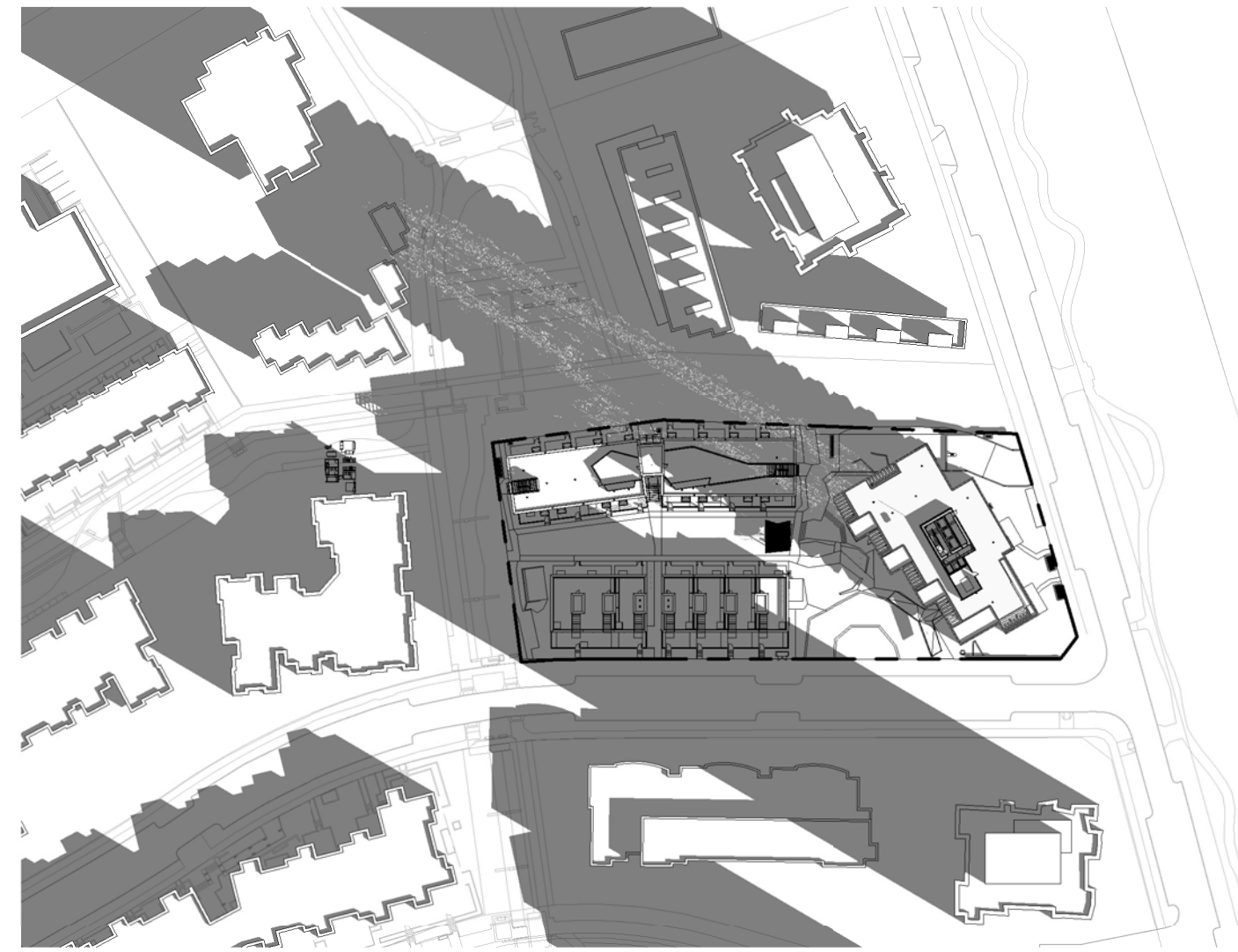
BASE SURFACE CALCULATION OF BUILDING HEIGHT

$$= \frac{A+B+C+D}{4}$$

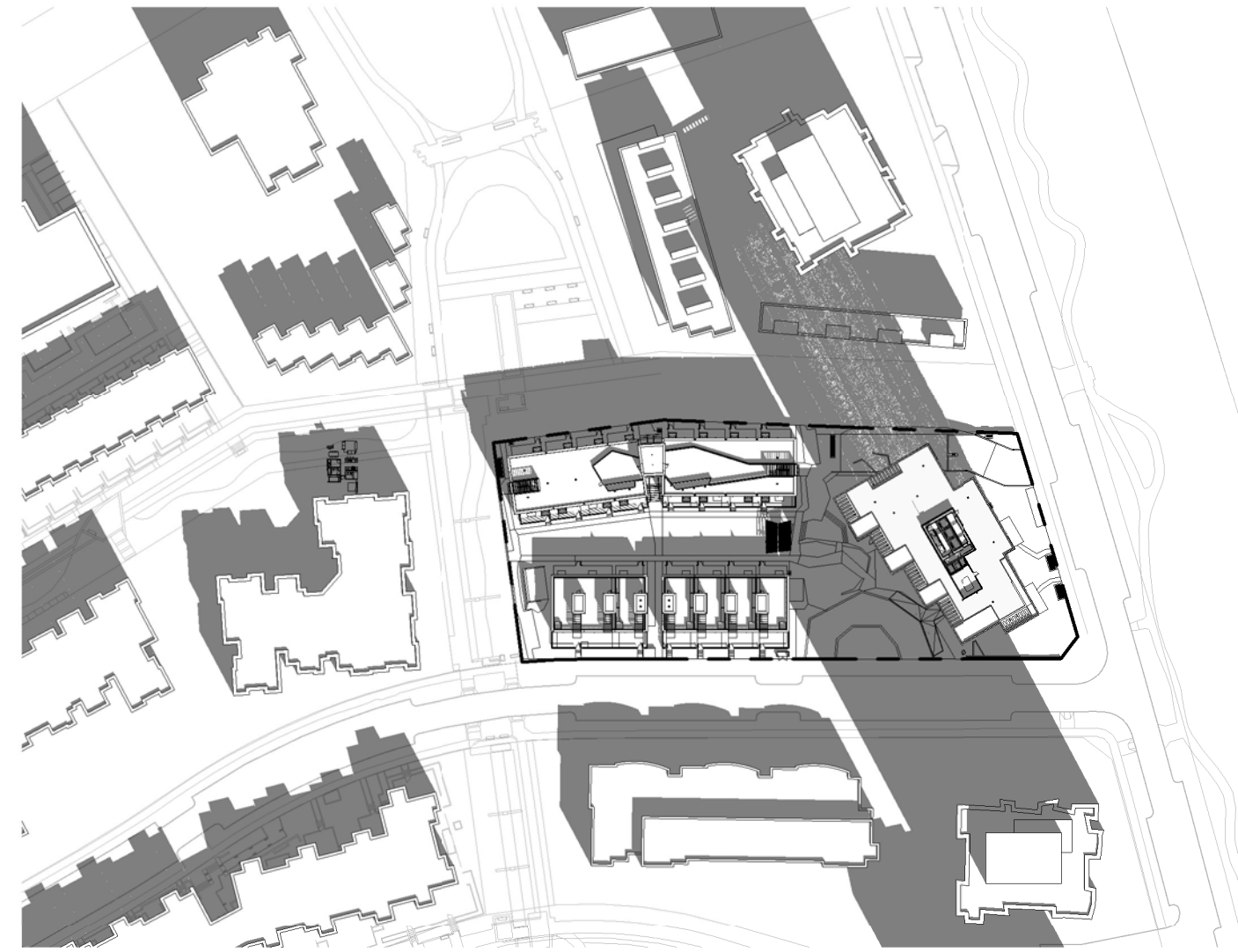
$$= \frac{(80.90M + 80.95M + 78.63M + 79.91M)}{4}$$

$$= 80.10M = 262' - 9 1/2"$$

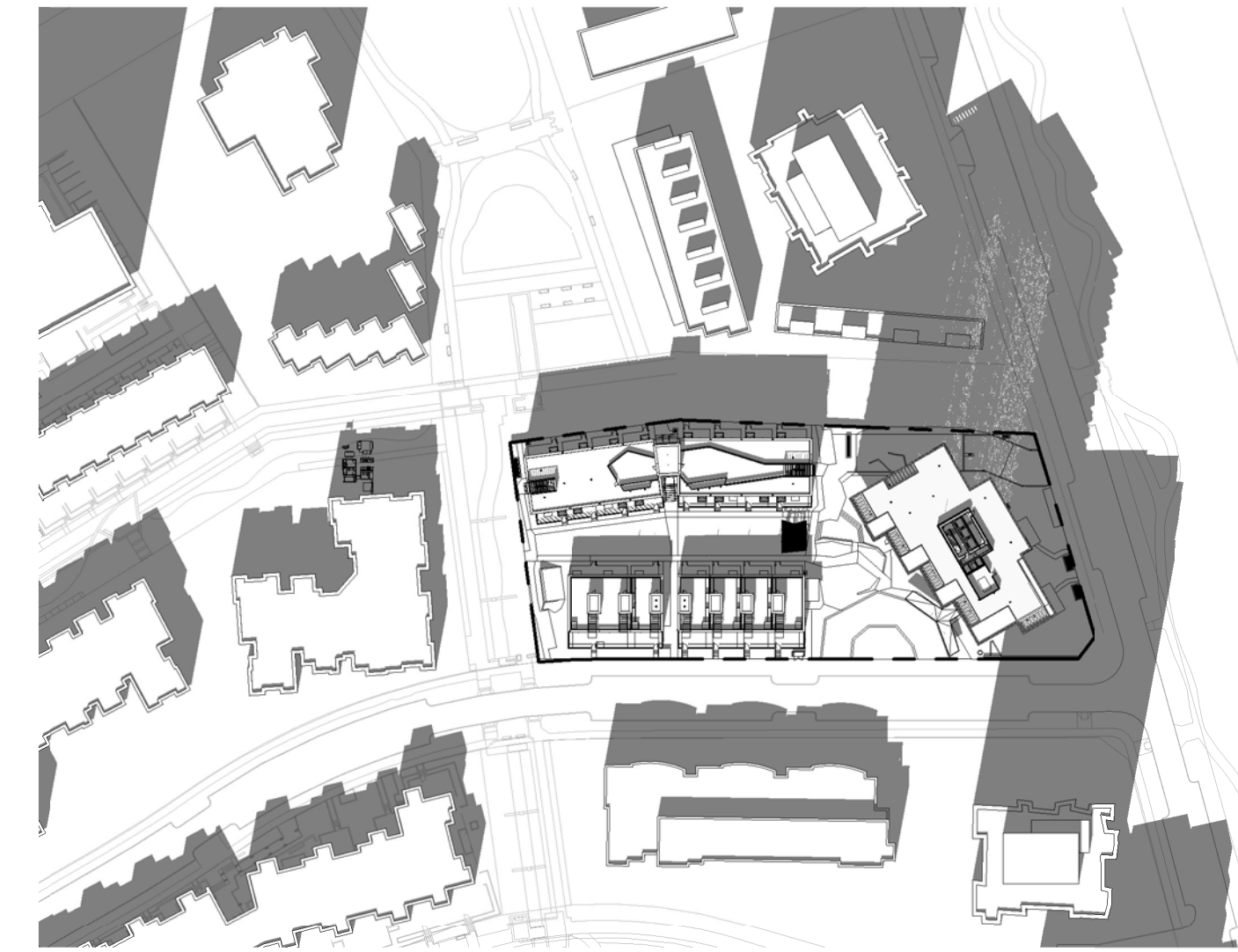
← BASE ELEVATION POINT TO MEASURE OVERALL BUILDING HEIGHT



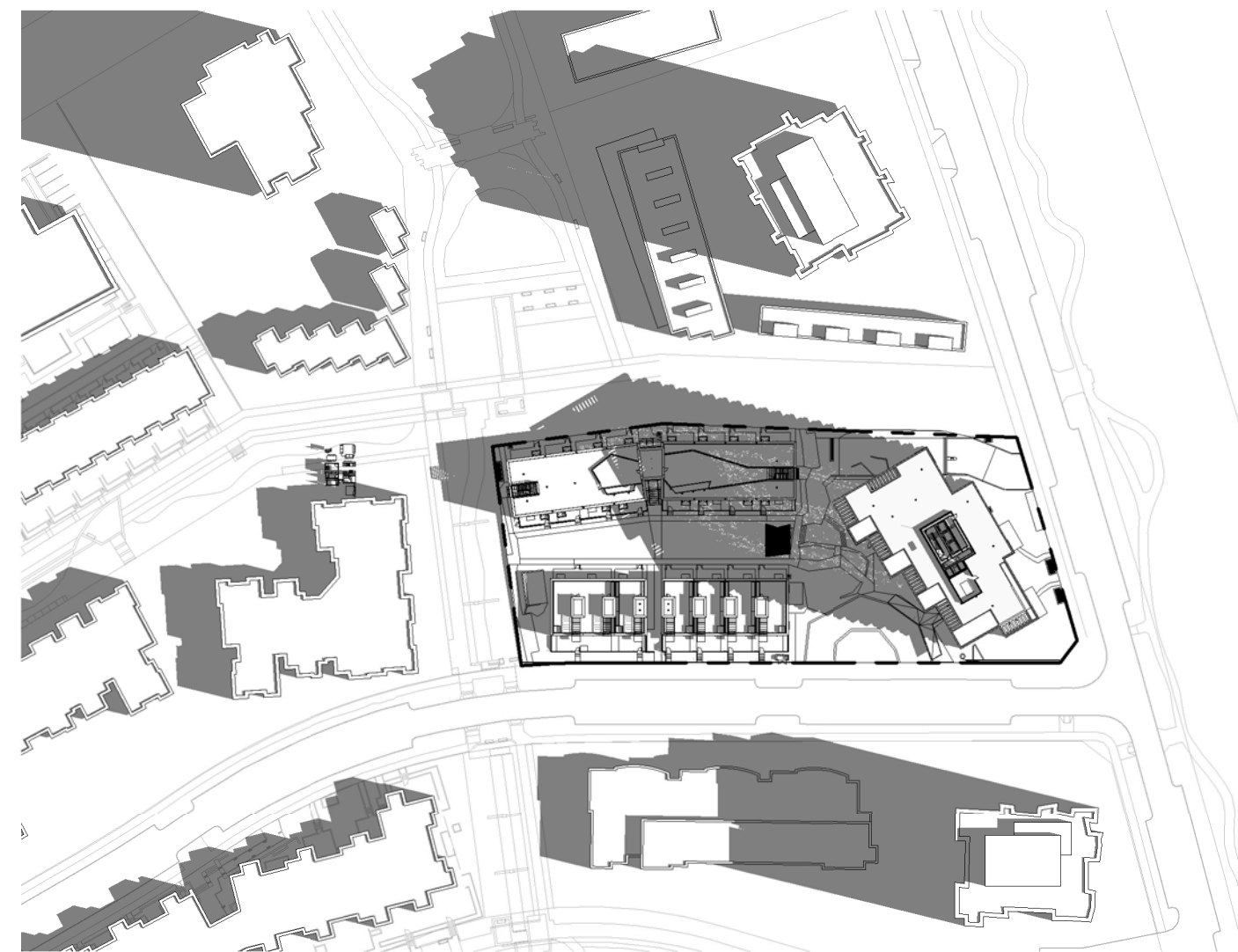
① SHADOWS - SPRING EQUINOX 10AM  
1: 1440



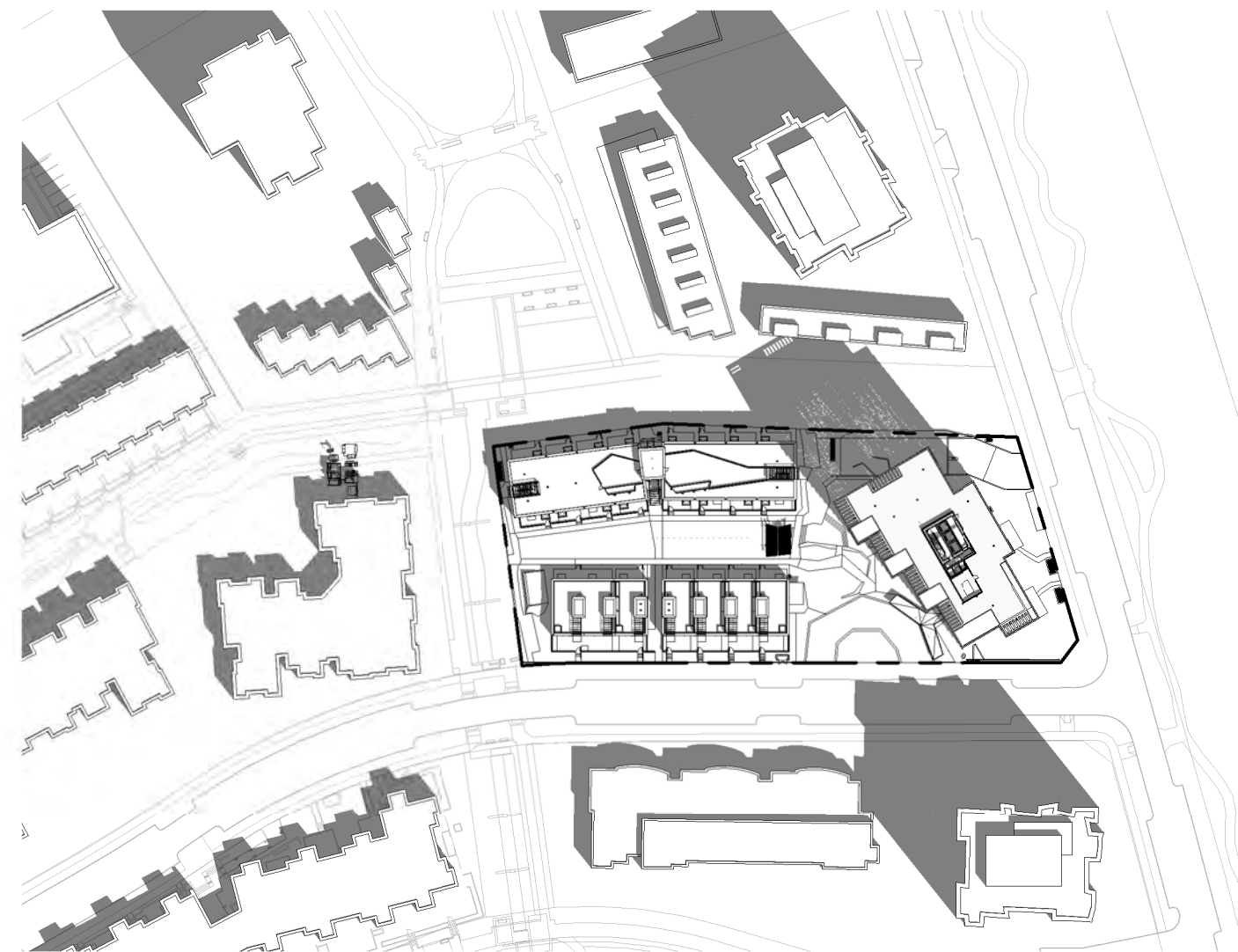
② SHADOWS - SPRING EQUINOX 12PM  
1: 1440



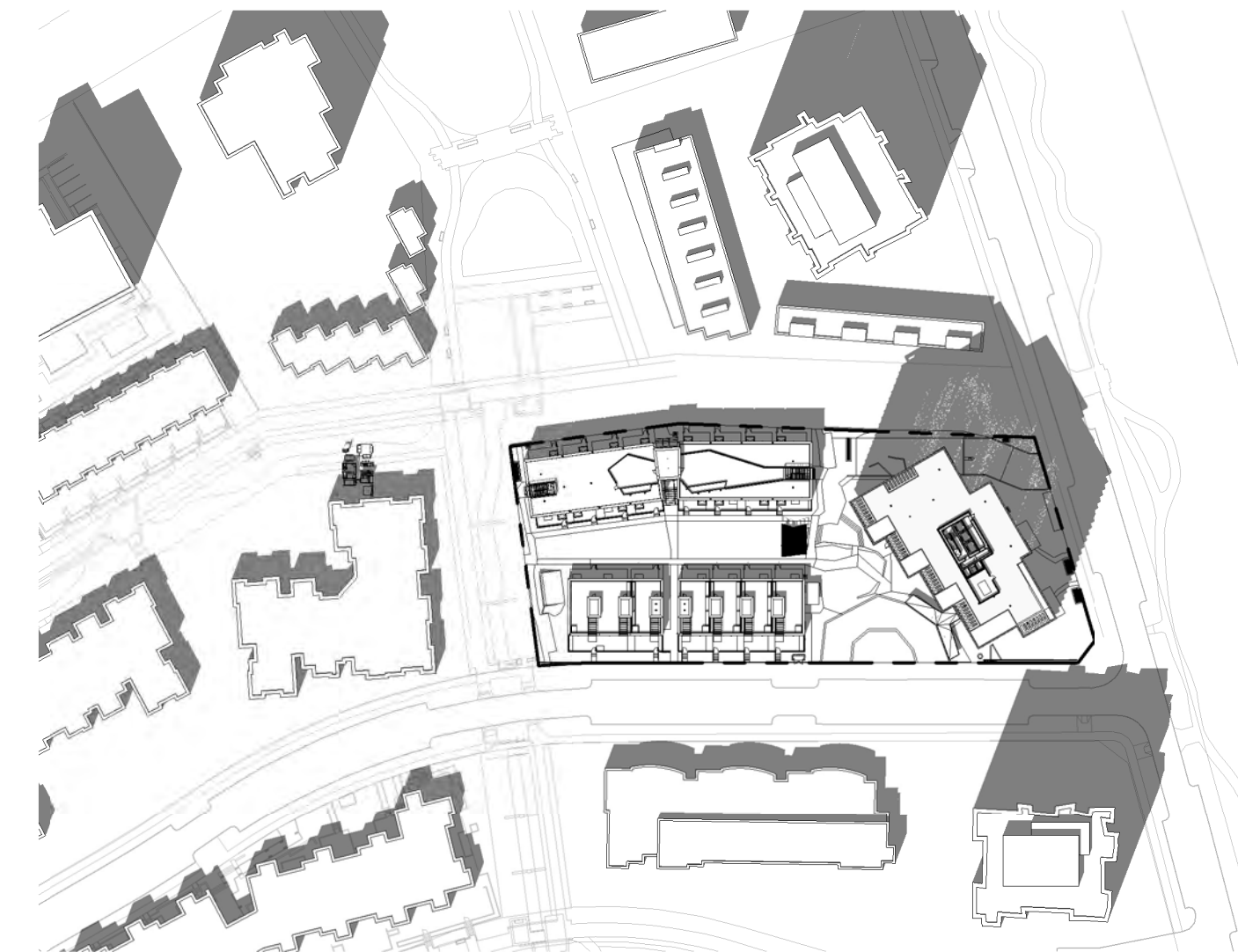
③ SHADOWS - SPRING EQUINOX 2PM  
1: 1440



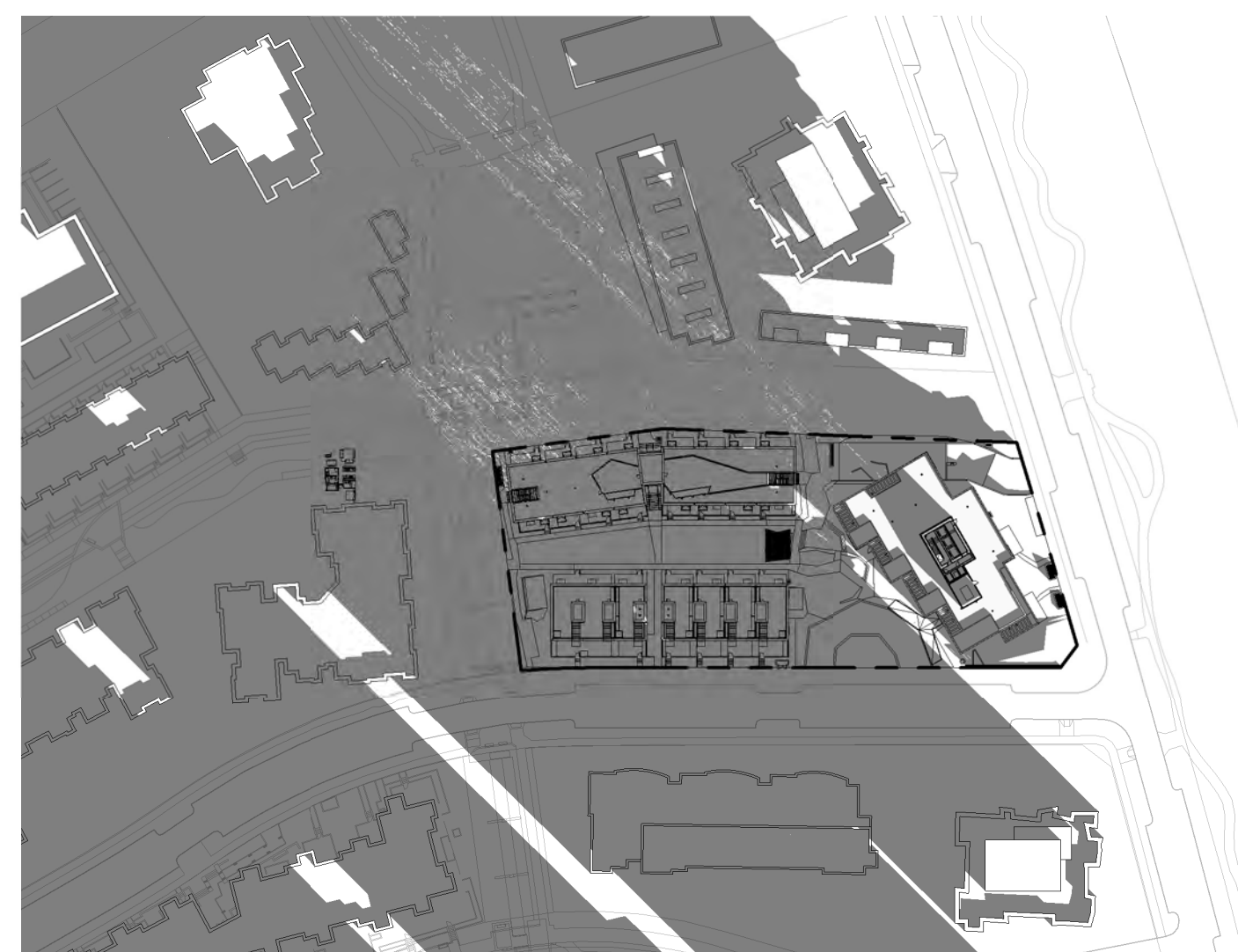
④ SHADOWS - SUMMER SOLSTICE 10AM  
1: 1440



⑤ SHADOWS - SUMMER SOLSTICE 12PM  
1: 1440



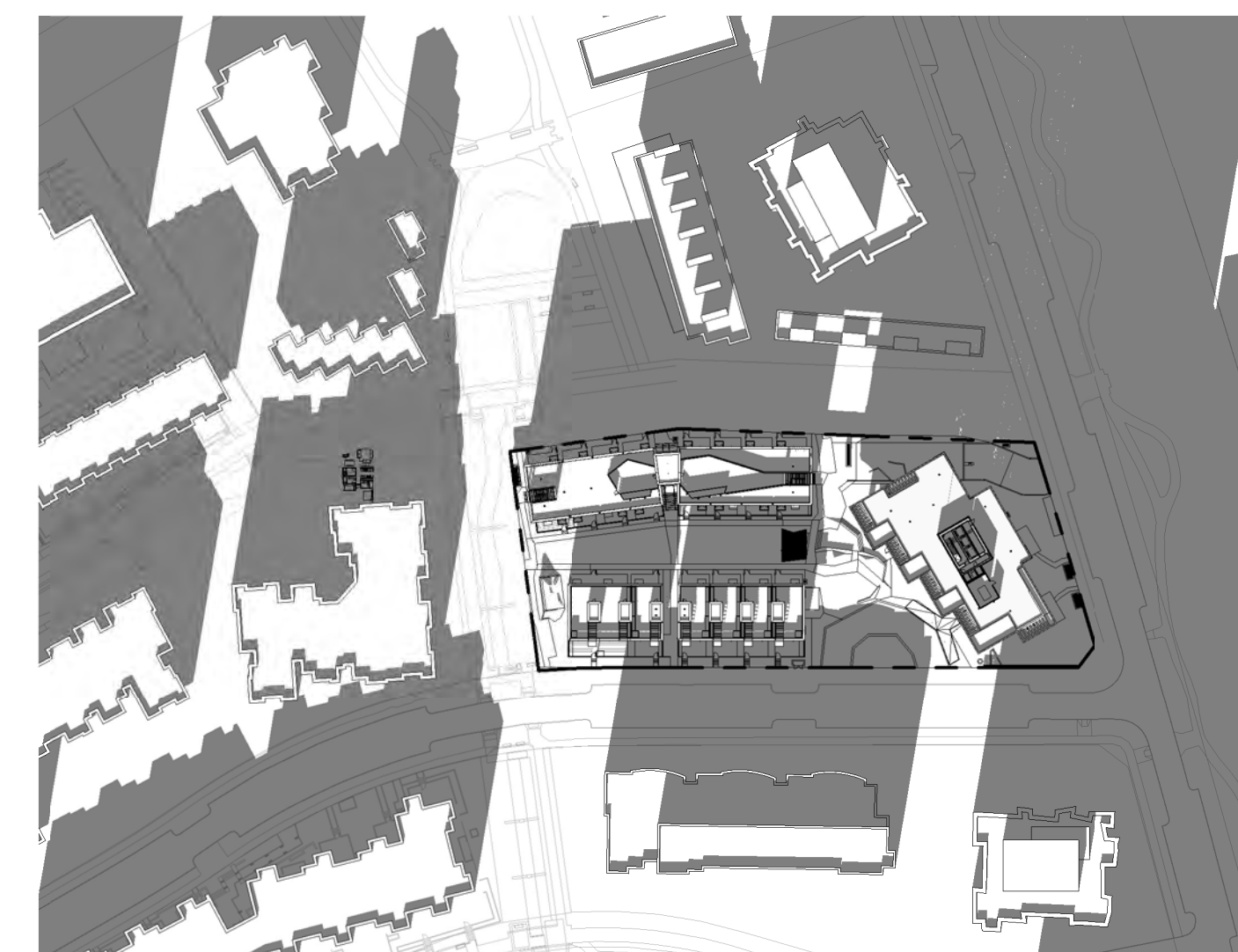
⑥ SHADOWS - SUMMER SOLSTICE 2PM  
1: 1440



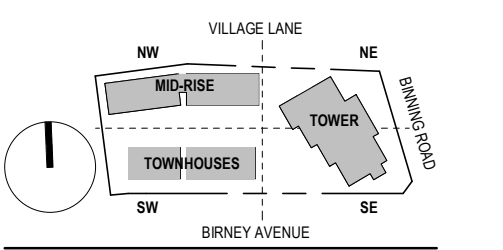
⑦ SHADOWS - WINTER SOLSTICE 10AM  
1: 1440



⑧ SHADOWS - WINTER SOLSTICE 12PM  
1: 1440



⑨ SHADOWS - WINTER SOLSTICE 2PM  
1: 1440

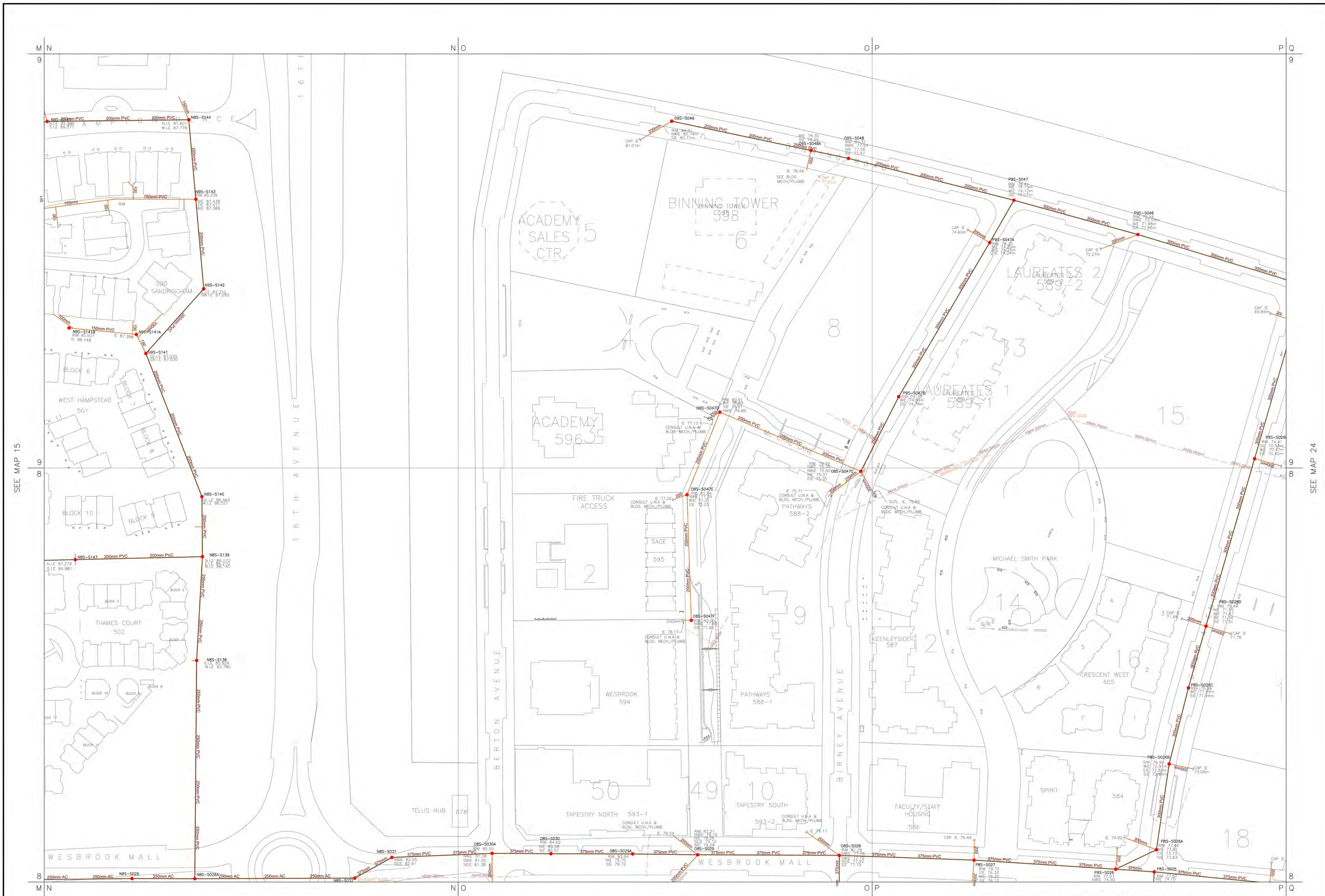


IVY ON THE PARK  
LOT 8

1	PRE-OP APPLICATION SUBMISSION	2017-12-06
2	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
3	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
4	PRICING SET	2018-03-29
5	DP AMENDMENT SUBMISSION	2018-05-24

SHADOW STUDY

DP-054



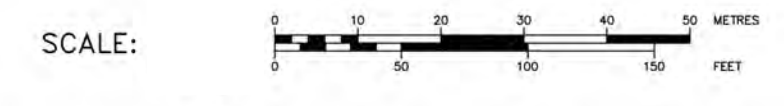
THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

NOTE: When converting metric to imperial elevations include 91.62 feet to the Imperial geodetic basis. For details refer to UBC Monuments Plan-Standard No.01-01

NO	DESCRIPTION	DATE	BY
6	WESBROOK PLACE PH1 EAST	OCT. 2/07	DCB
7	WESBROOK PLACE PH1 EAST, REVISED WITH ROADWORK	JUNE 3/09	DCB
8	PARKS AT WESBROOK PLACE PH1 EAST	APRIL 13/11	DCB
9	TAPESTRY N & S SERVICE	APRIL 14/11	DCB
10	BINNING TWR, ACADEMY, WESBK, PATHK, KEENL, SPIRIT, CRESET	OCT 4/16	DCB

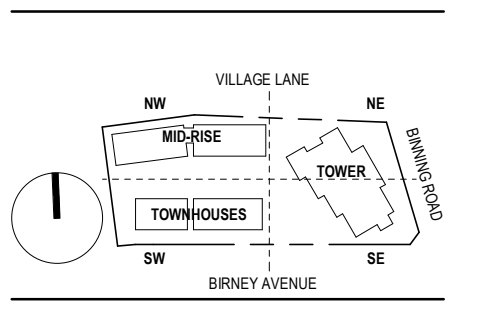
SECTOR INDEX	
NORTH	4 5 12 15 22 24 30
NORTH	3 6 11 16 21 25 29 31
SOUTH	2 7 10 17 20 26 28
SOUTH	1 8 9 18 19 27

The University of British Columbia  
Energy and Water Services



SANITARY

SECTOR  
22

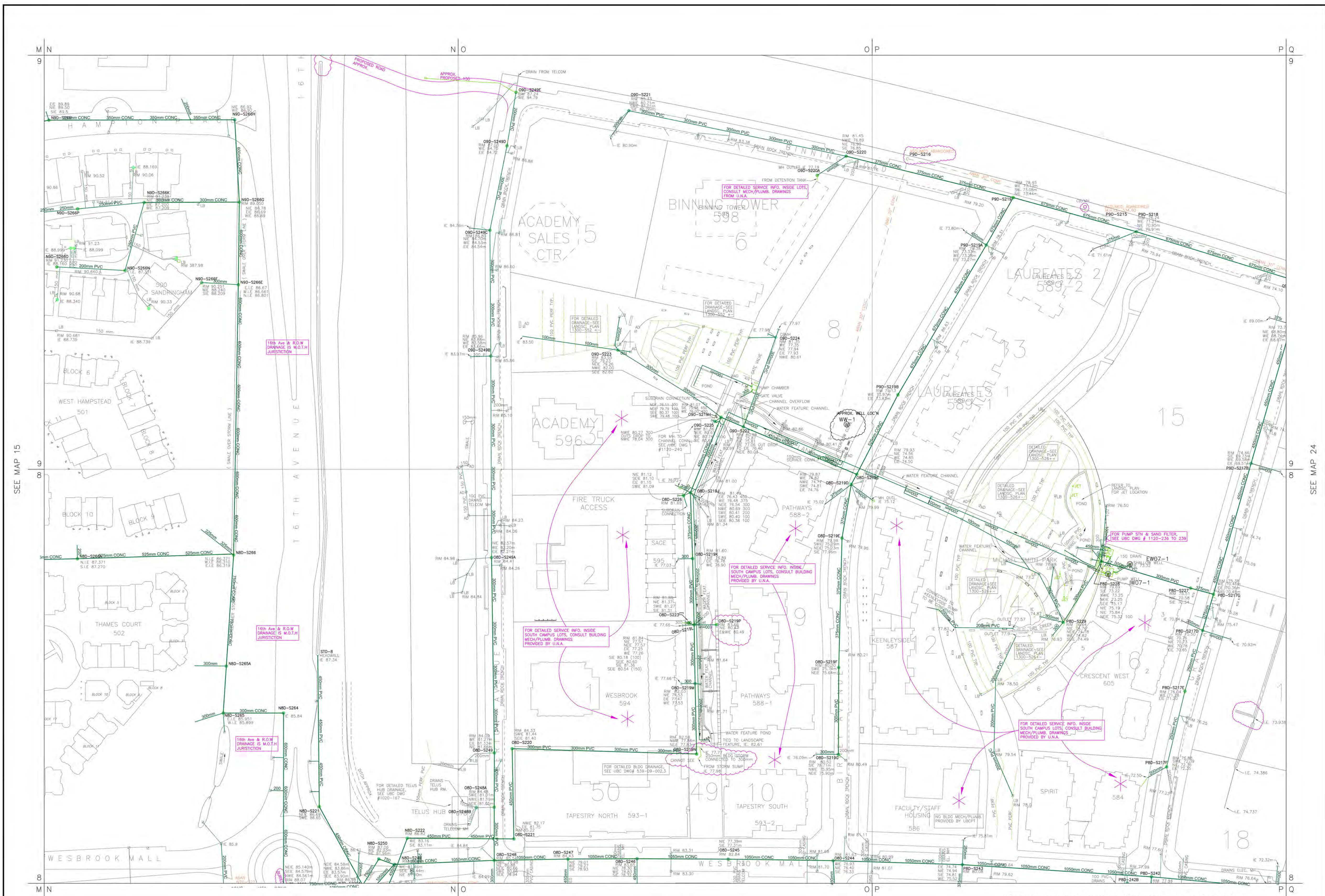


IVY ON THE PARK  
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN -  
SANITARY

DP-061



SEE MAP 15

SEE MAP 24

SEE MAP 21

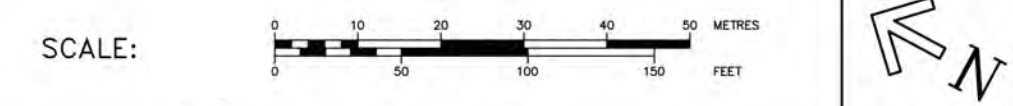
NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geoidic base.  
For details refer to UBC Monuments Plan - Standard No.01-01

NO	DESCRIPTION	DATE	BY
11	DETAILED DRAINAGE OF SC PARKS - SMITH/KHORANA, GREEN STS	SEPT 6/12	DCB
12	BINNING, ACADEMY, WESBK, PATHW, KEENEY, SPIRIT, CRESENT	OCT 6/16	DCB
8	KHORANA & SMITH PARKS AT WESBROOK PLACE PH1 - EAST	APRIL 7/11	DCB
9	16TH AVE ROUNDABOUT	APRIL 13/11	DCB
10	TAPESTRY N & S SERVICE	APRIL 14/11	DCB

SECTOR INDEX	
NORTH	4 5 12 15 22 24 30
EAST	3 6 11 18 21 25 29 31
SOUTH	2 7 10 17 20 26 28
WEST	1 8 9 18 19 27

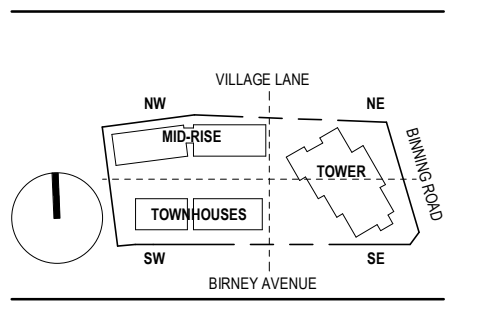


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Energy and Water Services



STORM

SECTOR  
22

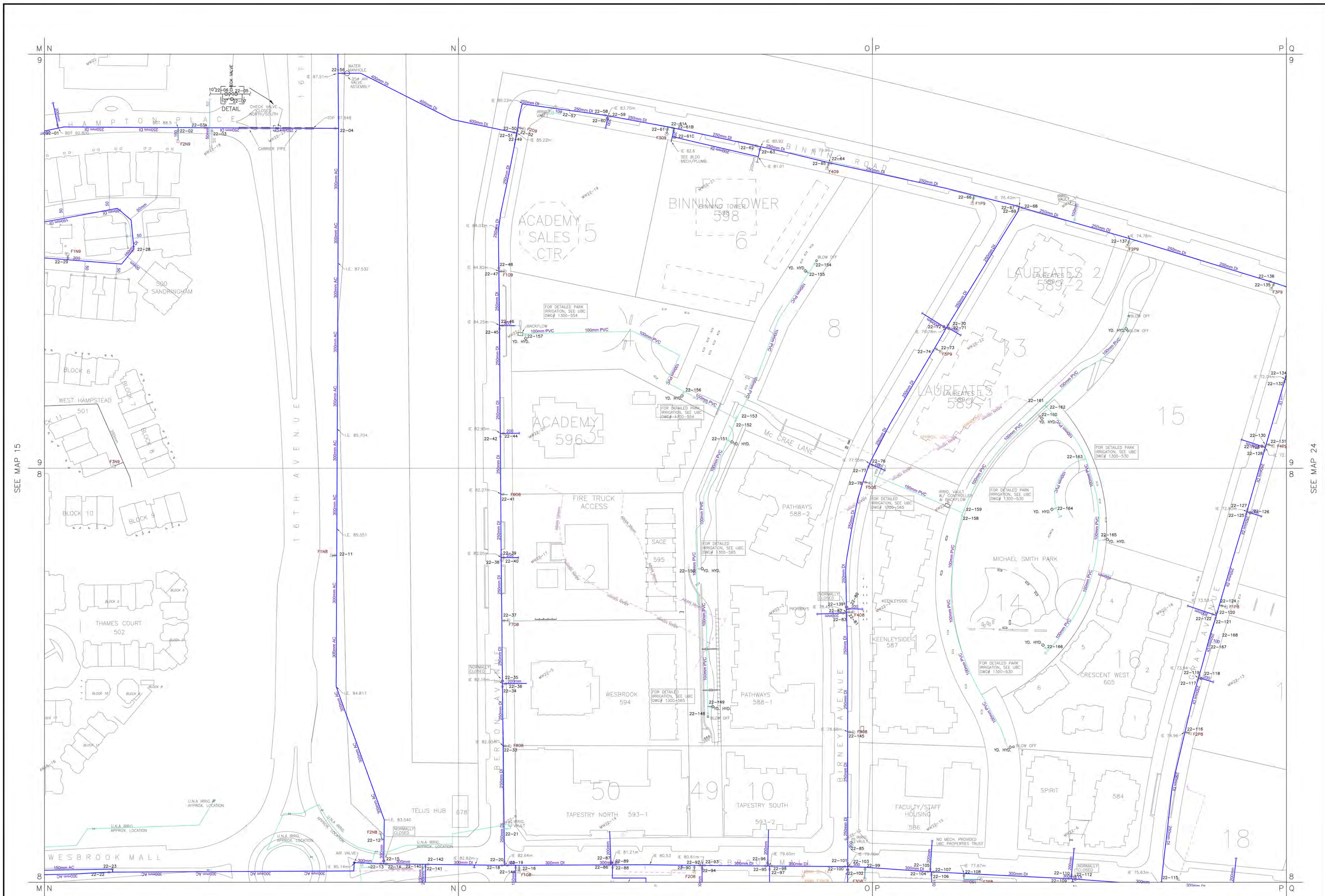


IVY ON THE PARK  
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN - STORM

DP-062



THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

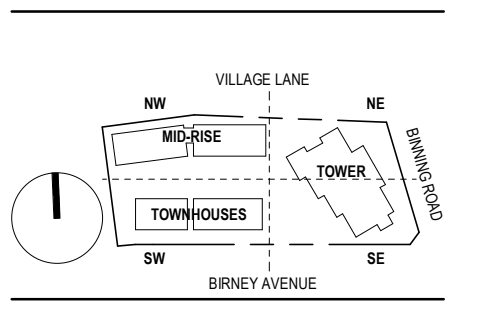
NO	DESCRIPTION	DATE	BY
6	WESBROOK PLACE PH EAST - REVISED WITH ROADWORK	JULY 28/09	DCB
7	KHORANA & SMITH PARKS AT WESBROOK PL PH EAST	MAR 7/11	DCB
8	WESBROOK PLACE KHORANA & SMITH PARKS IRRIGATION	SEPT 7/12	DCB
9	BINNING, ACADEMY, WESBK, PATHWAY, KEENLEY, SPIRIT, CRES.	OCT 3/16	DCB
5	WESBROOK PLACE PH	SEPT 28/07	DCB

**The University of British Columbia**  
 Energy and Water Services

SCALE:

**WATER**

SECTOR  
**22**



IVY ON THE PARK  
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN - WATER

DP-063

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NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geodetic base. For details refer to UBC Monuments Plan - Standard No.01-01

LEGEND: CATHODIC PROTECTION test stations symbols: A anode, FTS tank station, FFS flush tank test station, FFFS flush tank test station, FETS cathodic test station.

NO	DESCRIPTION	DATE	BY
16	TAPESTRY N & S SERVICE, GAS YELLOW	MAR 17/16	DCB
17	BINNING, ACADEMY, WESBK, KEENLY, SPIRIT, CRESENT	OCT 5/16	DCB
13	WESBROOK PLACE PH1-EAST TERASEN GAS LINES & TRIUMF LINE	JAN 15/09	DCB
14	UPDATED TERASEN LINES @ WESBK PL PH1-EAST & TRIUMF LINE	AUG 21/09	DCB
15	TERASEN REGULATOR FIT 16TH AVE	JAN 28/10	DCB

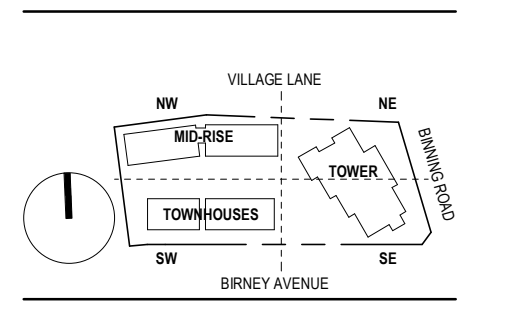
SEE MAP 21

SCALE: 0 10 20 30 40 50 METRES / 0 30 60 90 120 FEET

**GAS**

SECTOR 22

SECTOR INDEX	
13	14
15	22
24	30
31	31
2	7
10	17
20	28
28	28
1	8
9	18
19	27



IVY ON THE PARK  
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN - GAS

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NOTE: When converting metric to imperial elevations include 91.62 feet to the imperial geodetic base. For details refer to UBC Monument - Plan Standard No.01-01

REVISED TO LATEST DATE

NO	DESCRIPTION	DATE	BY
16	BOH SERVICE TO BINNING, ACADEMY, WESBROOK, SPIRIT, CRESENT	OCT 6/16	DCB
12	WESBROOK PLACE PH1 EAST BOYHYDRO (INFO ONLY) AND TELCOM	AUG 27/09	DCB
13	TELLUS HUB @ WESBROOK/ BERTON, VARIOUS HYDRO PRELIM.	JAN 19/10	DCB
14	BC HYDRO AS-BUILT DWGS FOR WESBROOK PH1 EAST	APR 7/10	DCB
15	SERVICE TO SAGE	JULY 8/15	DCB

SECTOR INDEX

	13	14	23
NORTH	4	5	12
SOUTH	3	6	11
WEST	1	8	9
EAST	2	7	10

THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

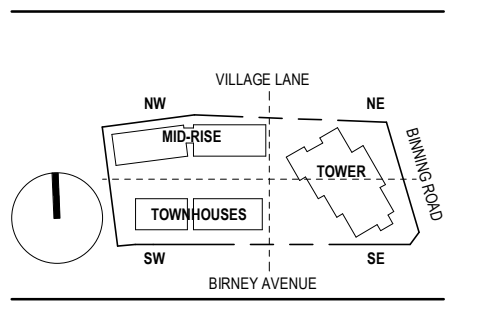
The University of British Columbia  
Energy and Water Services

SCALE:

# ELECTRICAL

(EXCLUDING STREET LIGHTS)

SECTOR  
**22**



## IVY ON THE PARK LOT 8

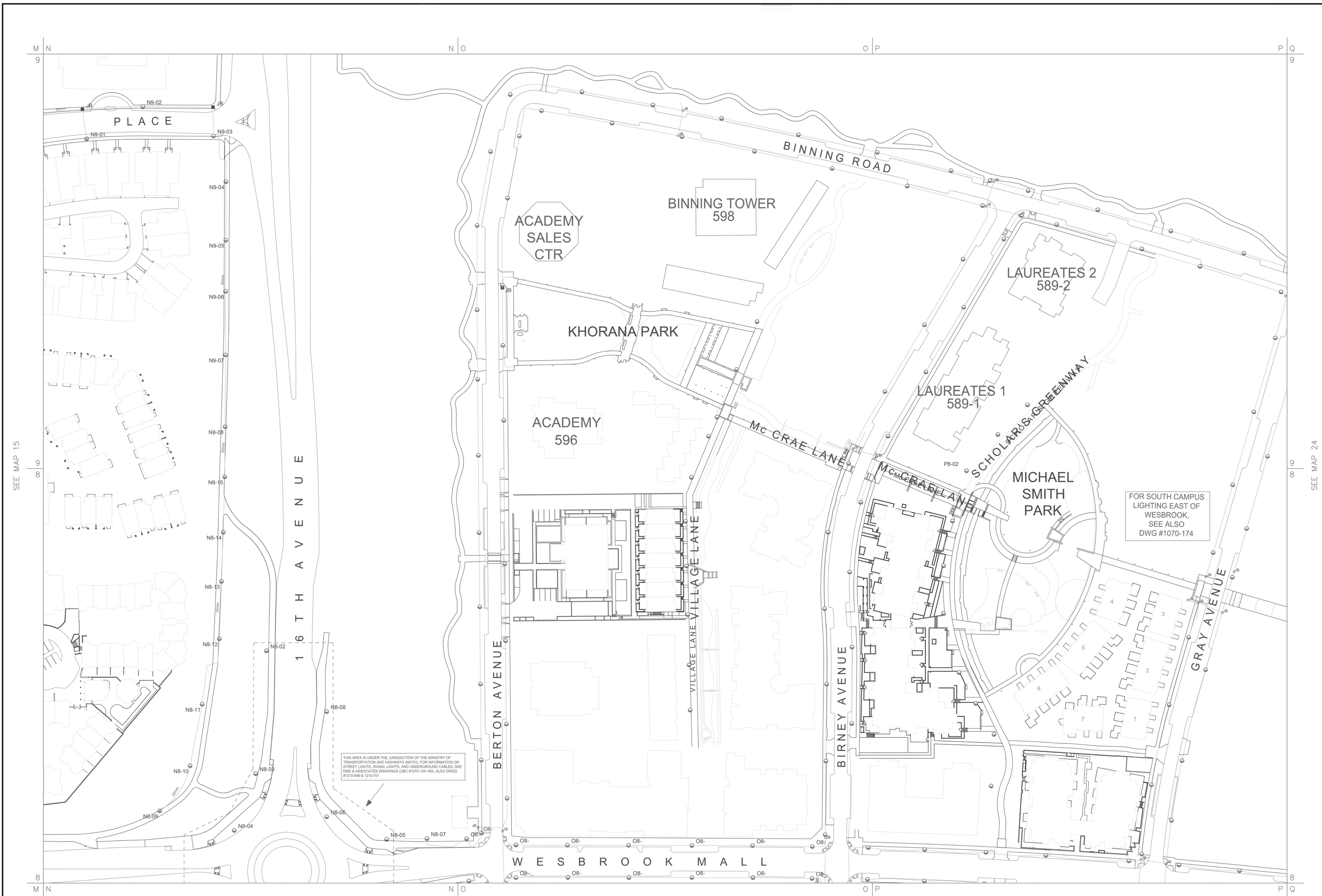
- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

## UTILITY PLAN - ELECTRICAL

DP-065

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THE UNIVERSITY OF BRITISH COLUMBIA ASSUMES NO RESPONSIBILITY FOR CORRECTNESS OF INFORMATION SHOWN.

THIS AREA IS UNDER THE JURISDICTION OF THE MINISTRY OF TRANSPORTATION AND HIGHWAYS (MOTHS) FOR INFORMATION ON STREET LIGHTS, SIGNAL LIGHTS, AND UNDERGROUND CABLES, SEE DMG & ASSOCIATES DRAWINGS (SRC #1070-164-160), ALSO DWGS #1210-689 & 1210-701

FOR SOUTH CAMPUS LIGHTING EAST OF WESBROOK, SEE ALSO DWG #1070-174

NOTE: When converting metric to imperial elevation include 91.62 feet to the imperial geodetic base. For details refer to UBC Monument Plan Standard No.01-01

NO	DESCRIPTION	DATE	BY
6	WESBROOK PLACE PARKS LIGHTING	APR 6/11	HGH
7	KHORANA & MICHAEL SMITH PARKS LIGHTING	APR 21/11	HGH
8	STREETLIGHT UPDATE DWG. 1070-190	08 AUG 16	EL
4	WESBROOK PLACE PHASE 1 EAST	OCT 14/09	HOW
5	ROUNDBOULT INFORMATION DWG. 1070-162	JAN 20/10	DCB

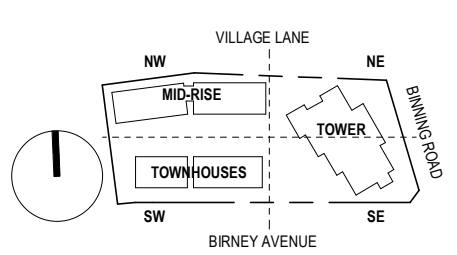
The University of British Columbia  
Infrastructure Development

FOR REFERENCE ONLY



STREET LIGHTS

22



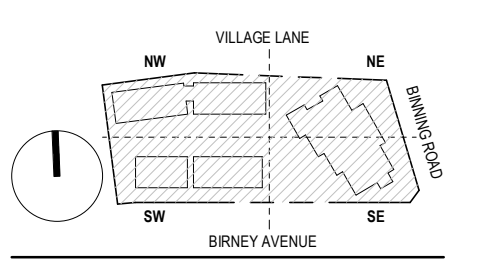
IVY ON THE PARK  
LOT 8

- 1 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 2 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 3 PRICING SET 2018-03-29
- 4 DP AMENDMENT SUBMISSION 2018-05-24

UTILITY PLAN - STREET LIGHTS

DP-066

VEHICULAR PARKING COUNT P1	
<b>RESIDENTIAL STALLS TOTAL</b>	066
- REG. STALLS	017
- EV REGULAR STALLS	010
- REG. STALLS IN 11 PRIV GAR.	009
- EV REG. STALLS (PRIV GAR.)	011
- SMALL CAR STALLS	002
- EV SMALL CAR STALLS	003
- H/C STALLS	006
- EV H/C STALLS	008
<b>VISITOR STALLS TOTAL</b>	023
- REG. STALLS	012
- EV REG. STALL	002
- H/C STALLS	008
- EV H/C STALLS	001
<b>TOTAL STALL COUNT P1</b>	089
<b>ADDITIONAL STALLS NOT INCLUDED IN COUNT</b>	
CLASS A LOADING	001
CAR WASH	001
BICYCLE PARKING COUNT P1	
<b>CLASS 1 STALLS TOTAL</b>	342
- STALLS IN BICYCLE STORAGE	342
RESIDENTIAL STORAGE COUNT P1	
<b>RES. STORAGE UNITS TOTAL</b>	011
- RES. BULK STORAGE UNITS	000
- UNITS IN PRIV. TH GARAGES	011



IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 6 DP AMENDMENT SUBMISSION 2018-12-07

FLOOR PLAN - PARKING  
- LEVEL P1

1 PARKING PLAN - LEVEL P1  
1/16" = 1'-0"

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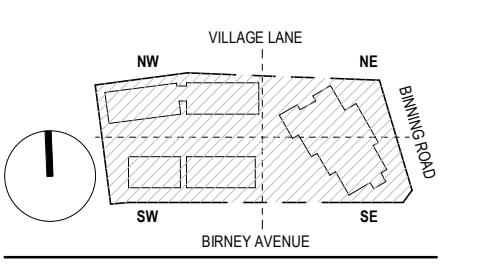
VEHICULAR PARKING COUNT P2

RESIDENTIAL STALLS TOTAL	151
- REGULAR STALLS	095
- EV REGULAR STALLS	027
- SMALL CAR STALLS	029

TOTAL STALL COUNT P2 151

RESIDENTIAL STORAGE COUNT P2

RES. STORAGE UNITS TOTAL 185



IVY ON THE PARK  
LOT 8

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FLOOR PLAN - PARKING  
- LEVEL P2

1 PARKING PLAN - LEVEL P2  
1/16" = 1'-0"

VEHICULAR PARKING COUNT P3

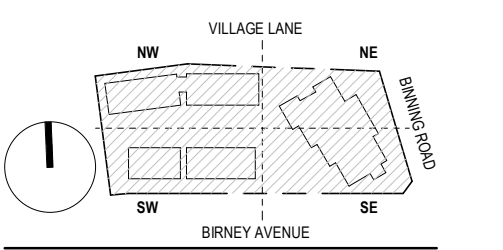
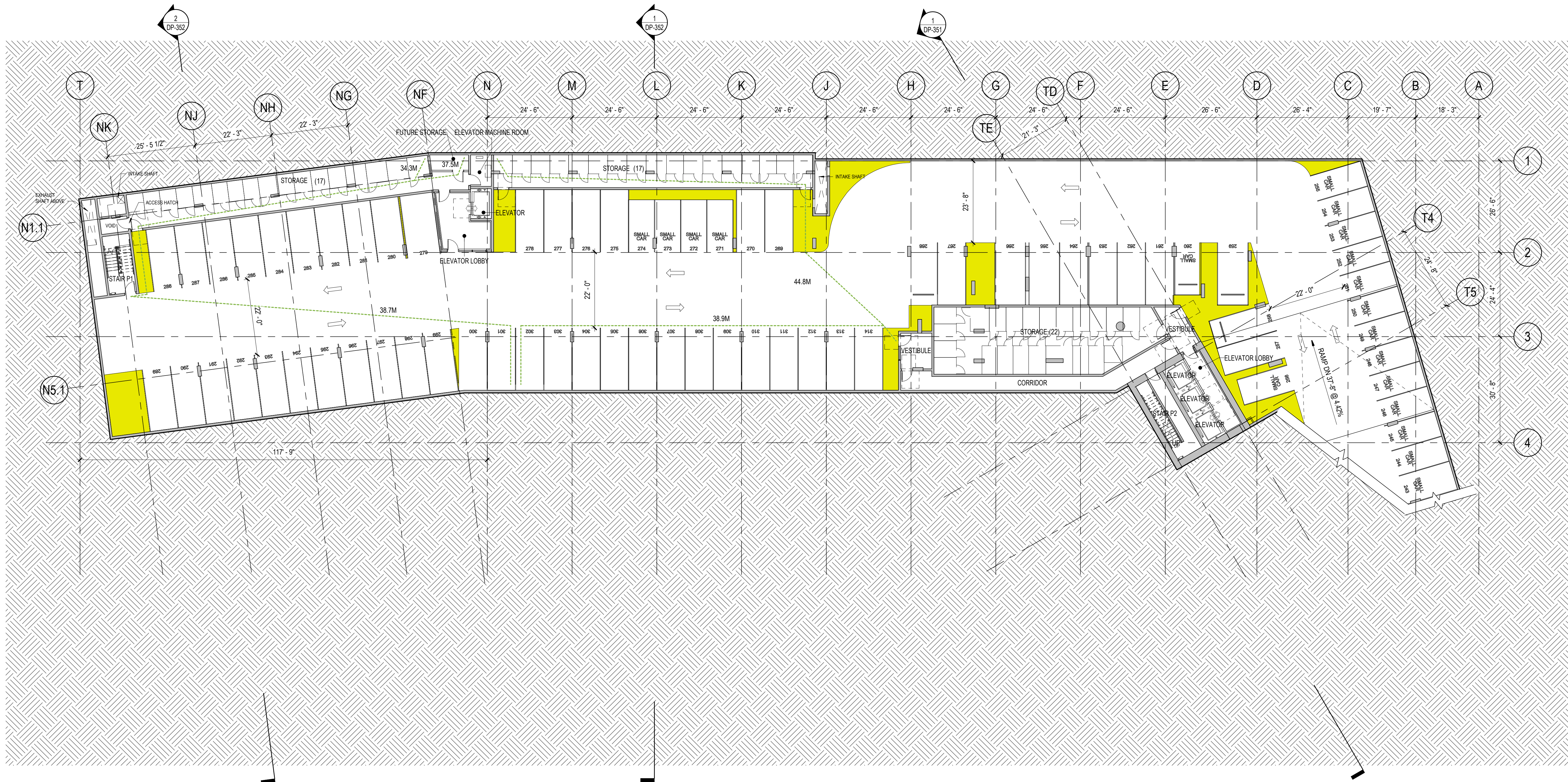
RESIDENTIAL STALLS TOTAL	072
- REG. STALLS	053
- SMALL CAR STALLS	019

TOTAL STALL COUNT P3 072

RESIDENTIAL STORAGE COUNT P3

RES. STORAGE UNITS TOTAL	056
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DP AMENDMENT  
SUBMISSION  
2018-12-07



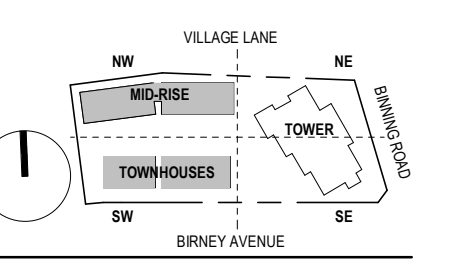
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 6 DP AMENDMENT SUBMISSION 2018-12-07

FLOOR PLAN - PARKING  
- LEVEL P3

1 PARKING PLAN - LEVEL P3  
1/16" = 1'-0"

DP-103

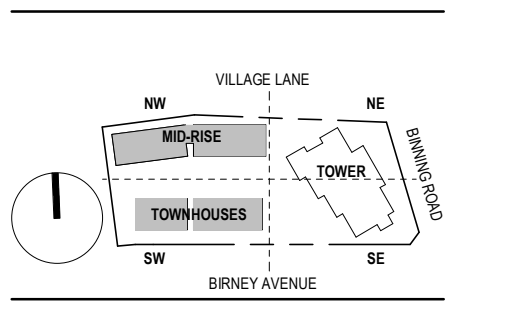
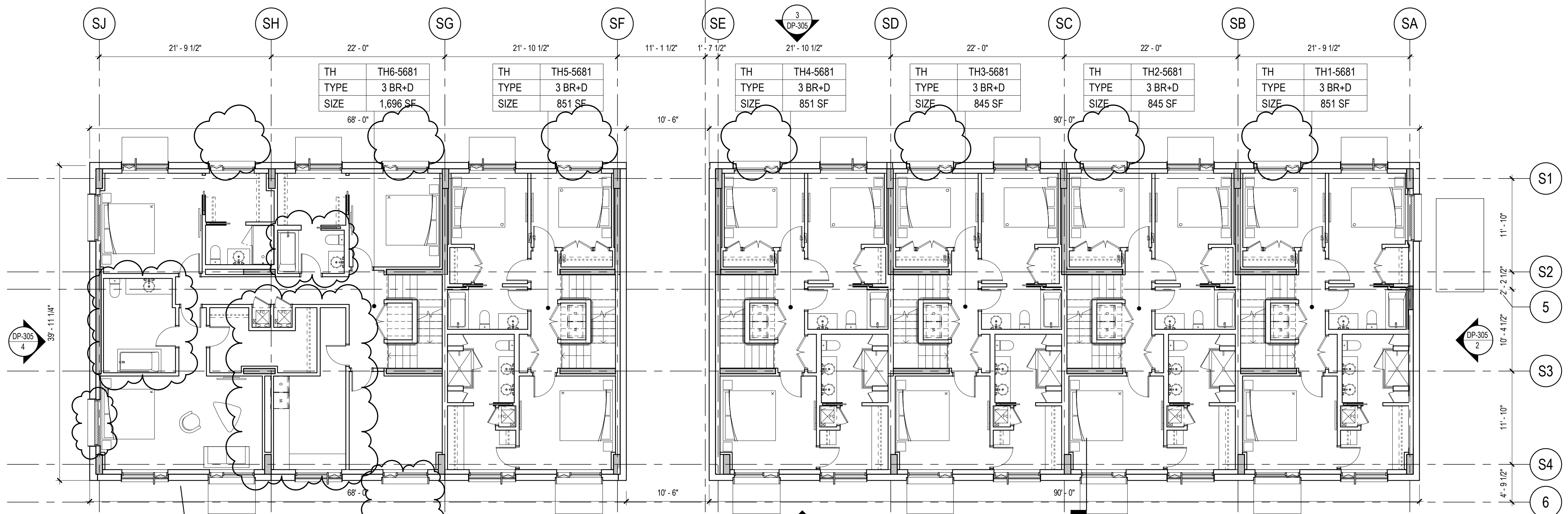
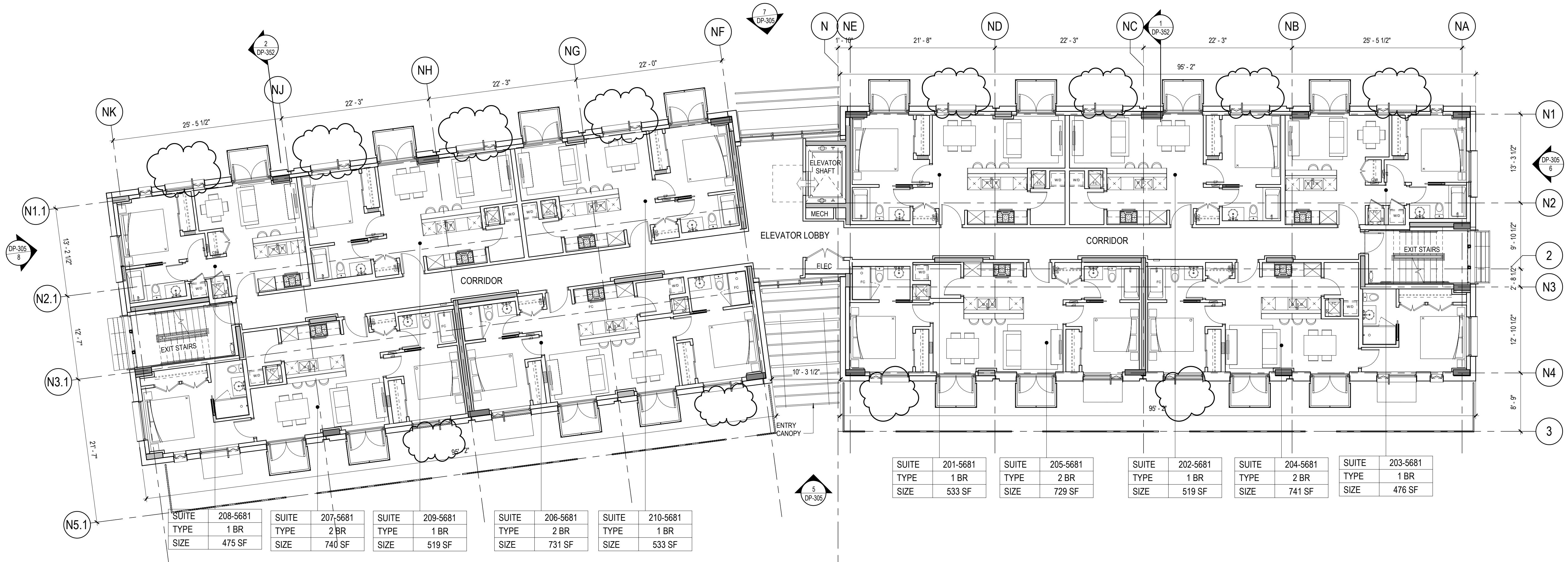


- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 5 DP AMENDMENT SUBMISSION 2018-07-24
- 6 DP AMENDMENT SUBMISSION 2018-12-07
- 7 DP AMENDMENT SUBMISSION 2019-08-21

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1 MIDRISE & TOWNHOUSE PLAN - LEVEL 01  
1/8" = 1'-0"



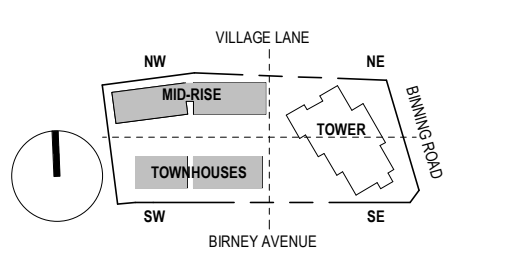
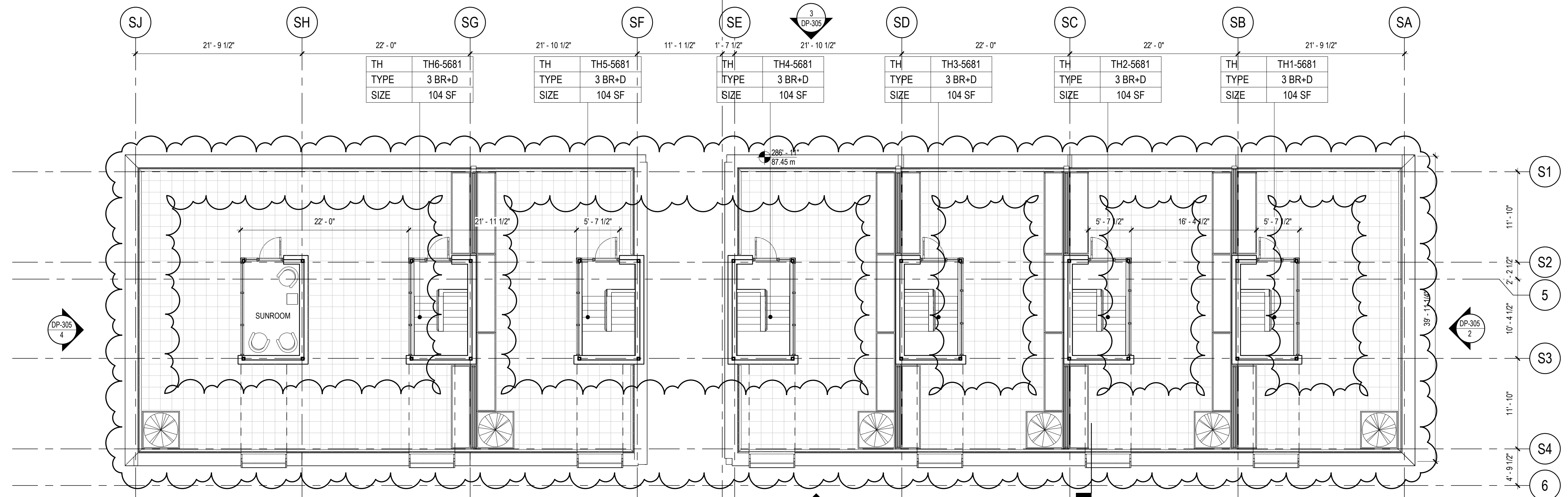
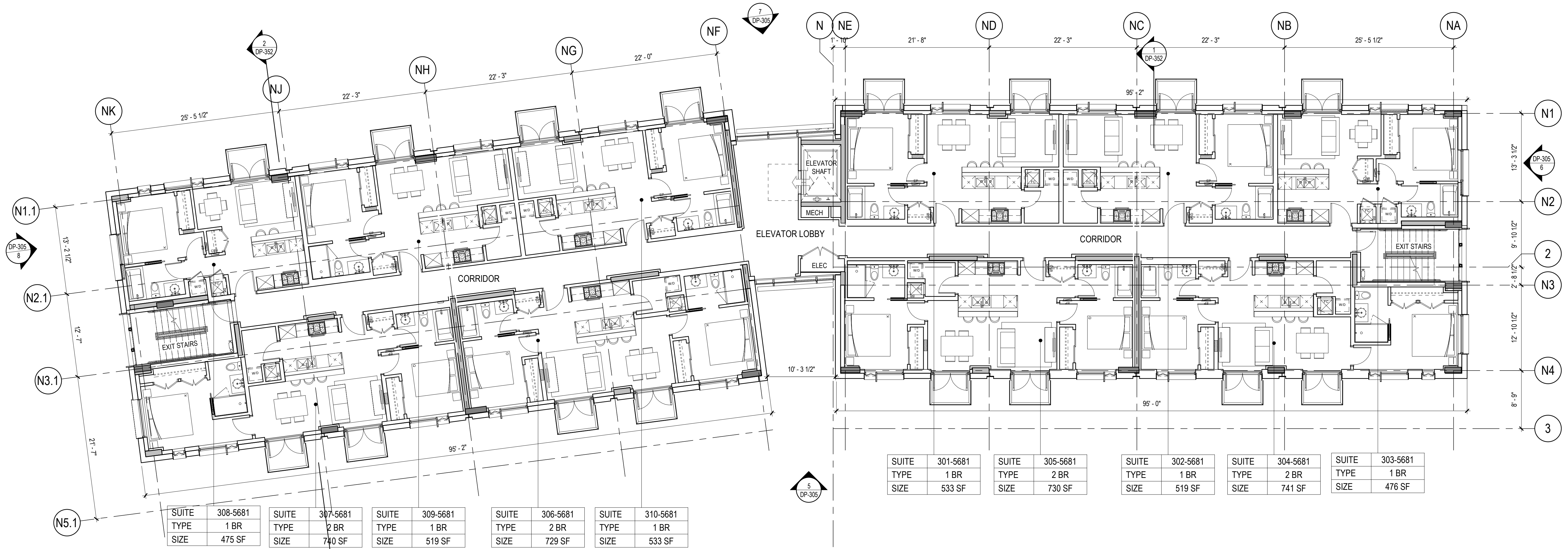
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
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- 7 DP AMENDMENT SUBMISSION 2018-12-07
- 8 DP AMENDMENT SUBMISSION 2019-08-21

FLOOR PLAN - MID-RISE  
& TOWNHOUSE - LEVEL 02

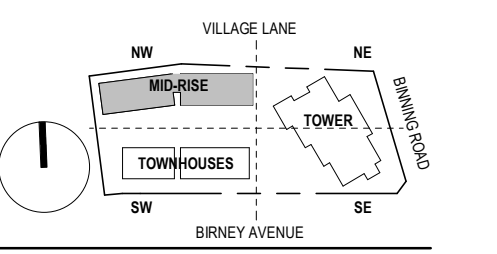
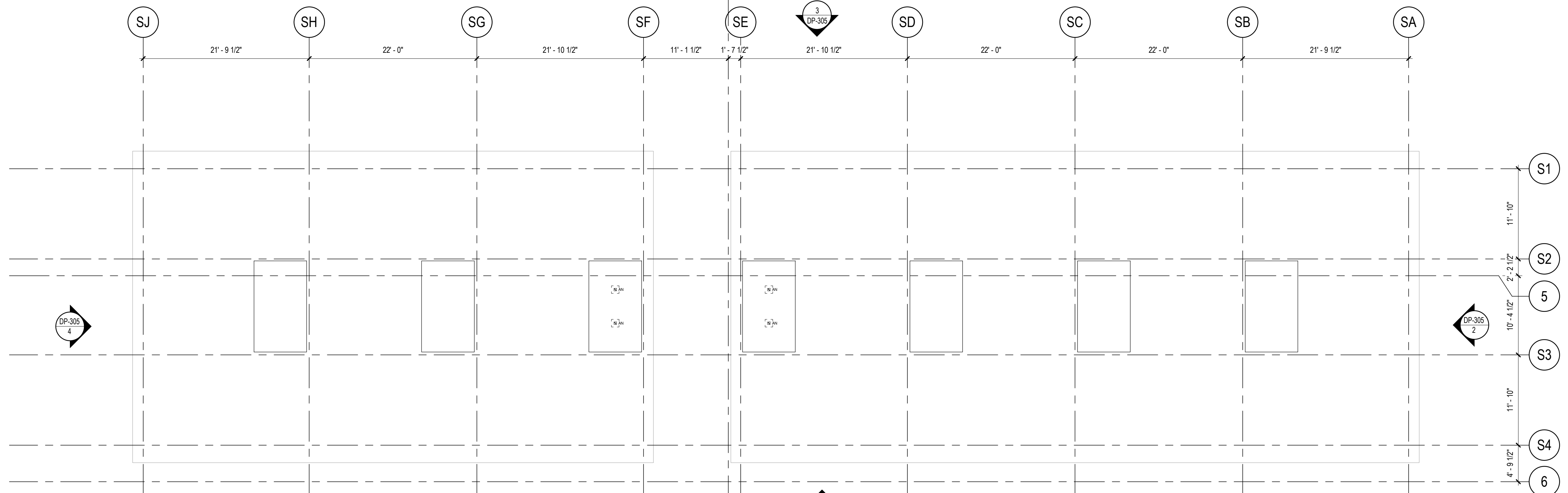
1 MIDRISE & TOWNHOUSE PLAN - LEVEL 02  
1/8" = 1'-0"

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- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 6 DP AMENDMENT SUBMISSION 2018-07-24
- 7 DP AMENDMENT SUBMISSION 2018-12-07
- 8 DP AMENDMENT SUBMISSION 2019-08-21

1 MIDRISE & TOWNHOUSE PLAN - LEVEL 03  
1/8" = 1'-0"

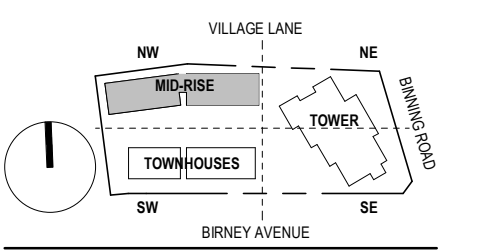
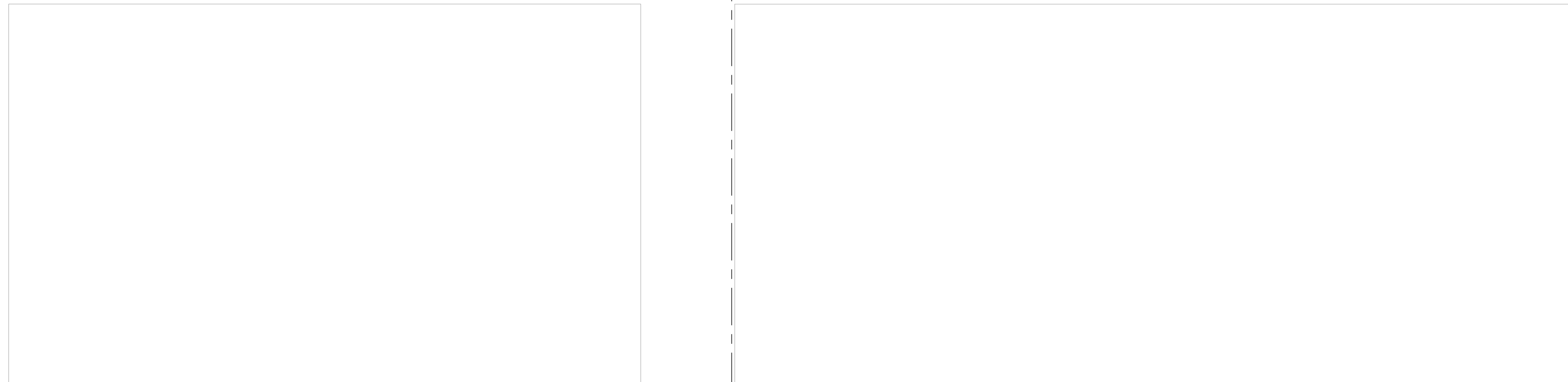
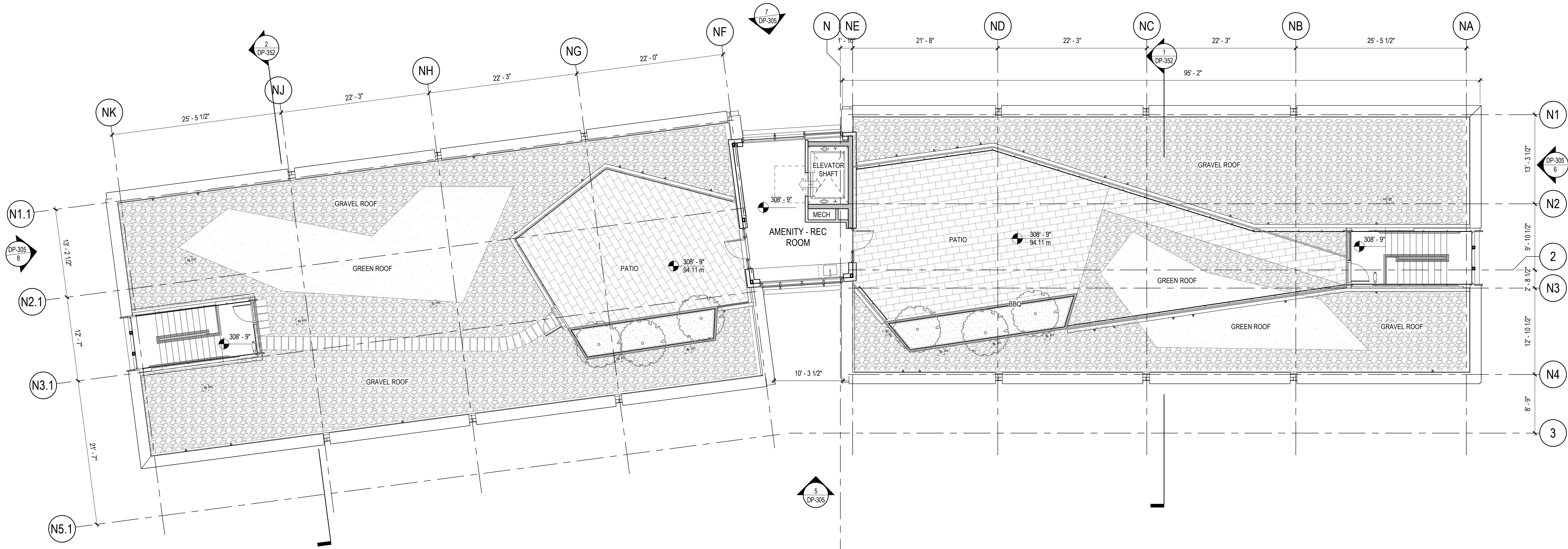


IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 6 DP AMENDMENT SUBMISSION 2018-07-24
- 7 DP AMENDMENT SUBMISSION 2018-12-07

FLOOR PLAN - MID-RISE -  
LEVEL 04



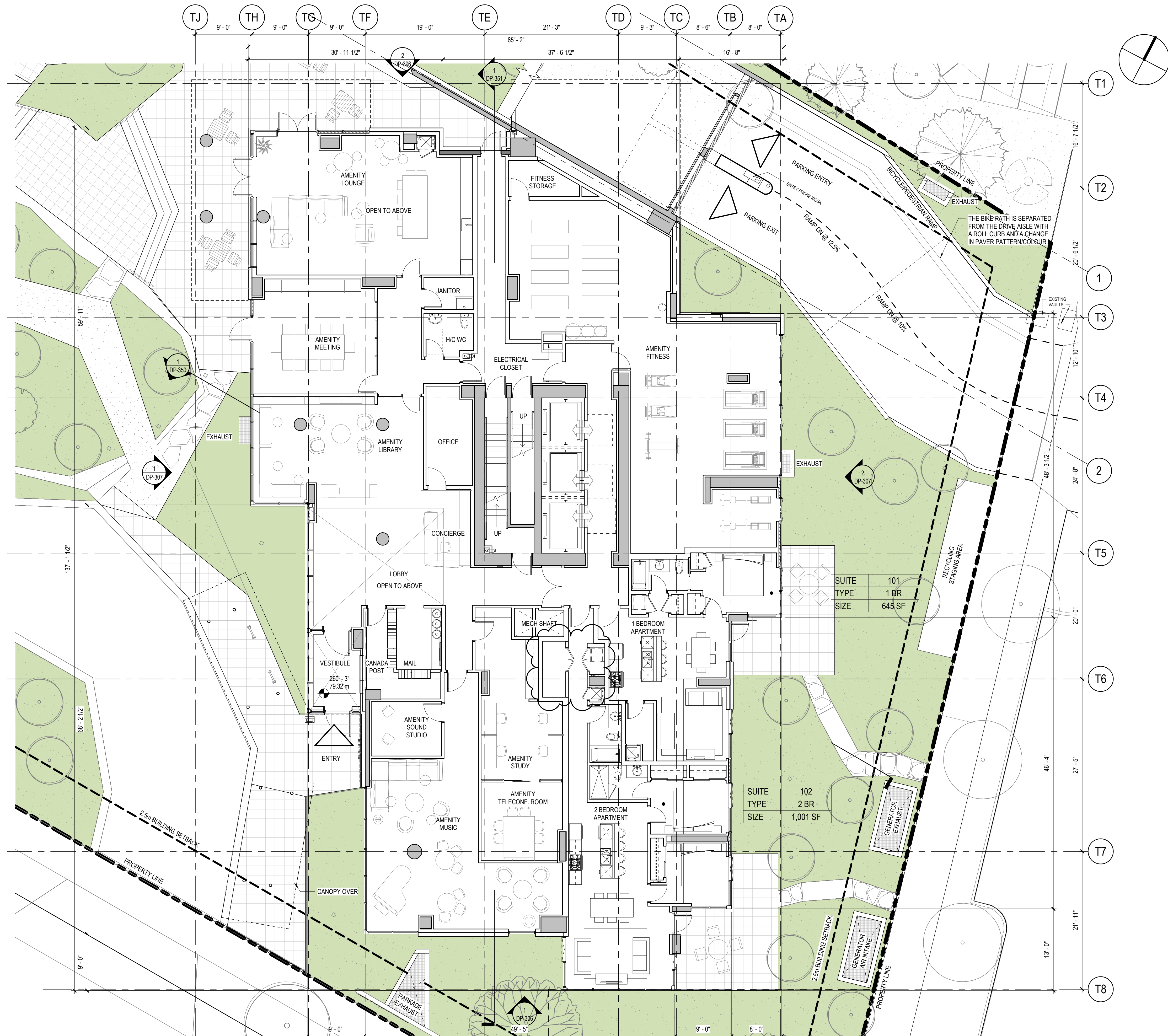


IVY ON THE PARK  
LOT 8

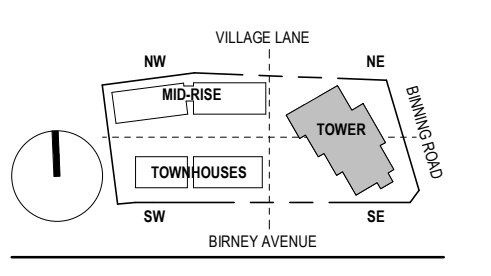
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
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- 6 DP AMENDMENT SUBMISSION 2018-12-07

FLOOR PLAN - MID-RISE -  
LEVEL 05

1 MIDRISE PLAN - LEVEL 05  
1/8" = 1'-0"



1 TOWER PLAN - LEVEL 01  
1/8" = 1'-0"

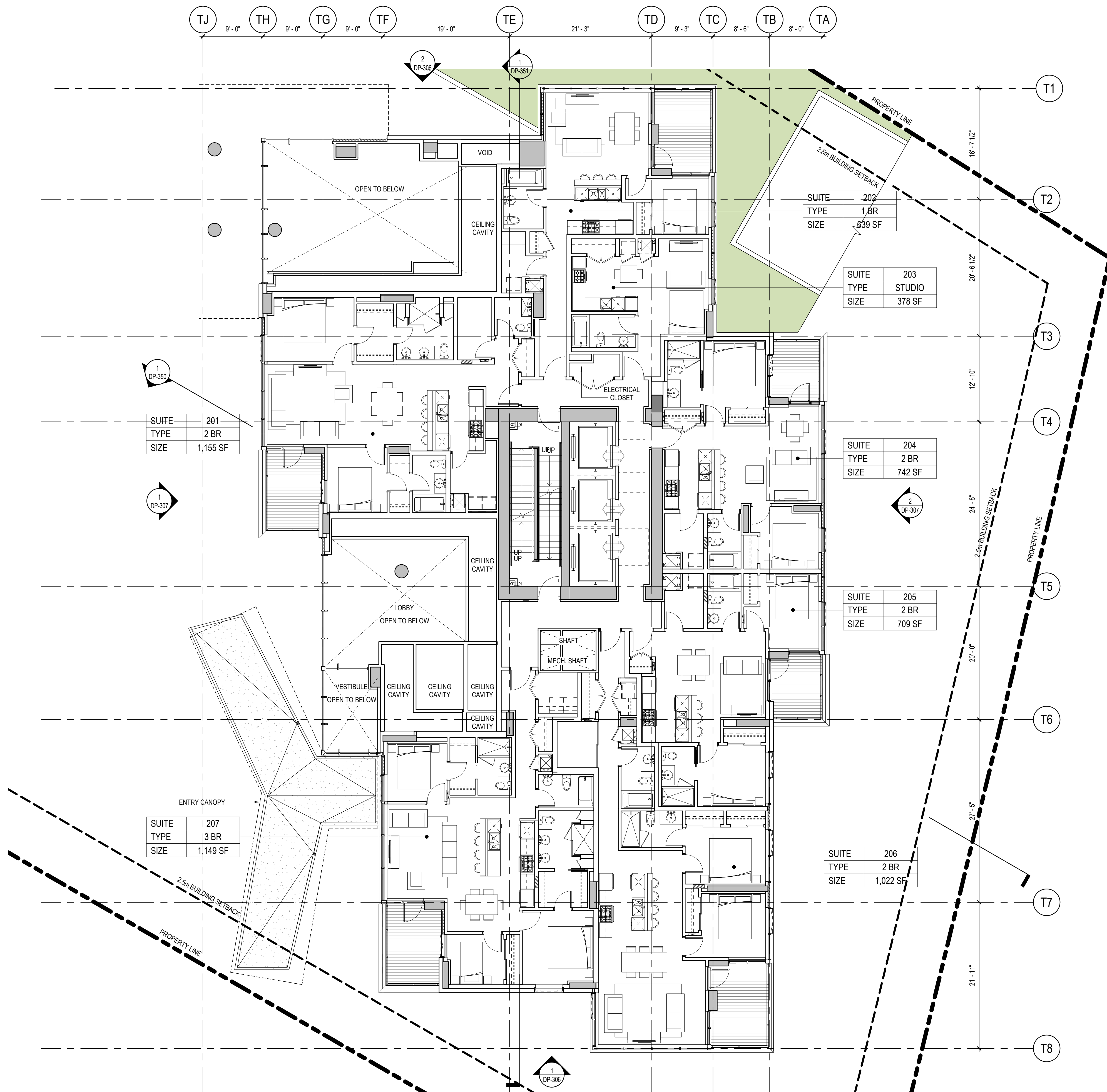


IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 8 DP AMENDMENT SUBMISSION 2019-08-21

FLOOR PLAN - TOWER -  
LEVEL 01

DP-121



SUITE	201
TYPE	2 BR
SIZE	1,155 SF

SUITE	207
TYPE	3 BR
SIZE	1,149 SF

SUITE	202
TYPE	1 BR
SIZE	639 SF

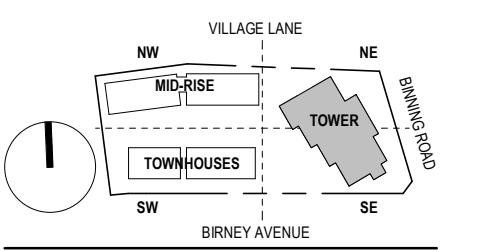
SUITE	203
TYPE	STUDIO
SIZE	378 SF

SUITE	204
TYPE	2 BR
SIZE	742 SF

SUITE	205
TYPE	2 BR
SIZE	709 SF

SUITE	206
TYPE	2 BR
SIZE	1,022 SF

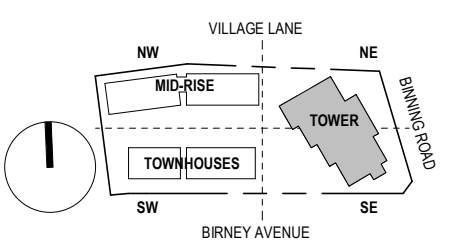
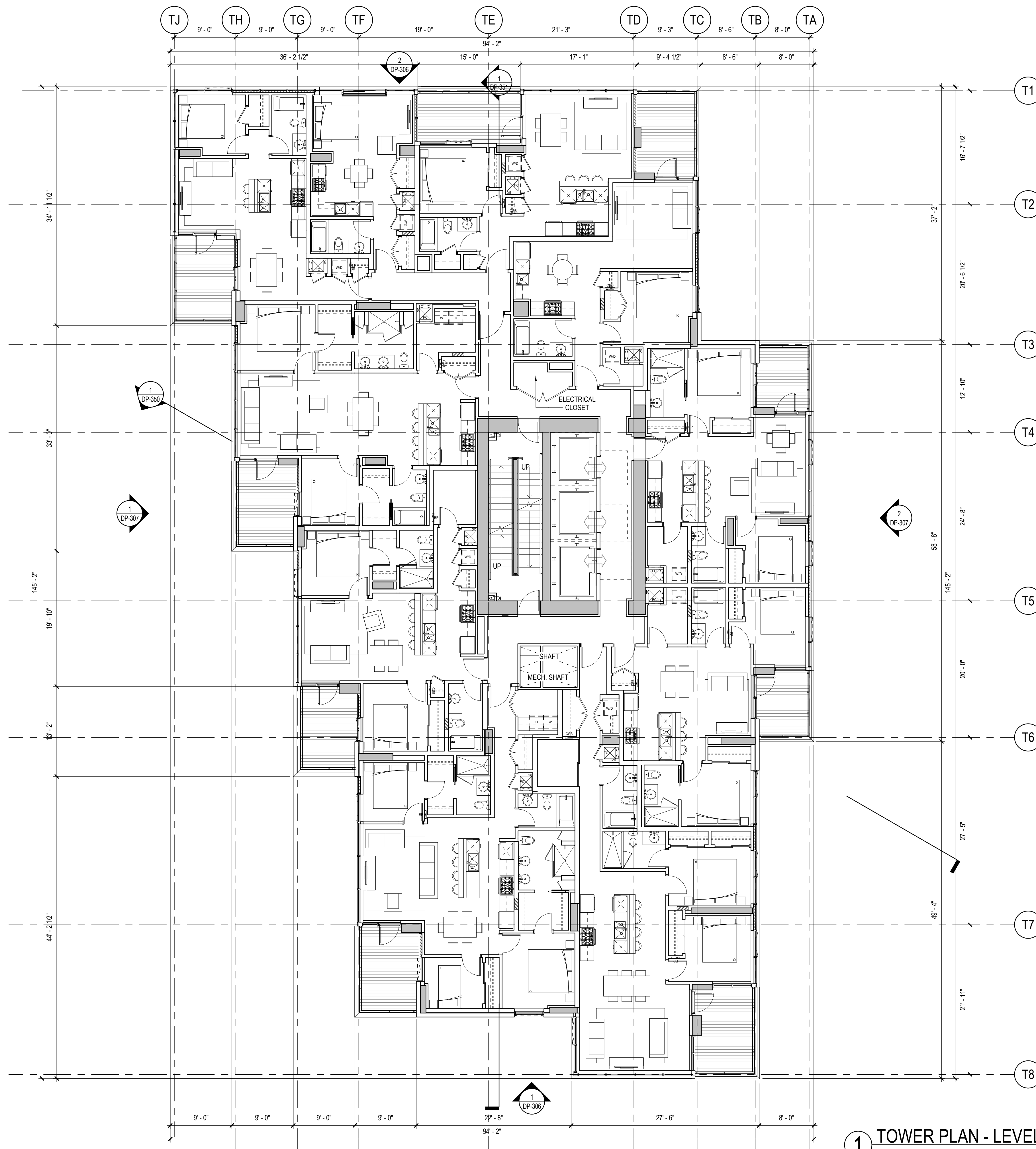
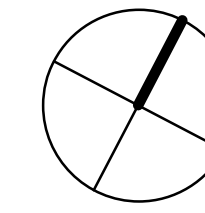
**2 TOWER PLAN - LEVEL 02**  
1/8" = 1'-0"



**IVY ON THE PARK**  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-07-24
- 6 DP AMENDMENT SUBMISSION 2018-12-07

**FLOOR PLAN - TOWER - LEVEL 02**



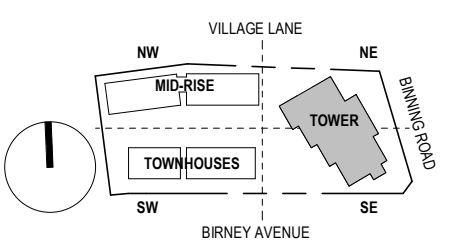
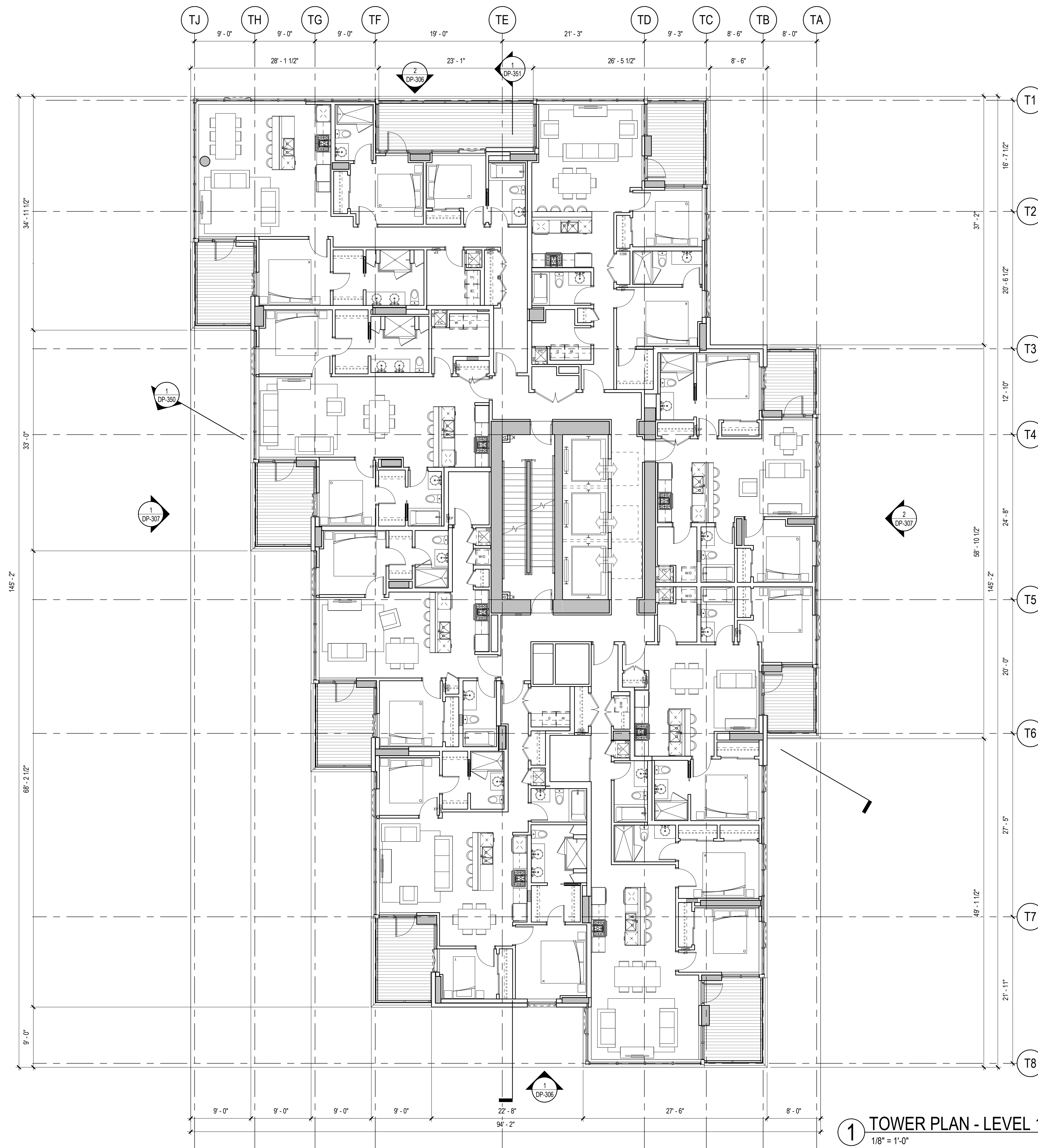
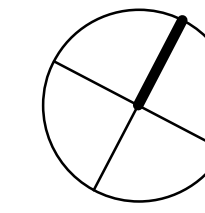
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
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- 5 DP AMENDMENT SUBMISSION 2018-07-24
- 6 DP AMENDMENT SUBMISSION 2018-12-07

FLOOR PLAN - TOWER -  
LEVELS 03-10

DP-123

1 TOWER PLAN - LEVEL 03-10  
1/8" = 1'-0"



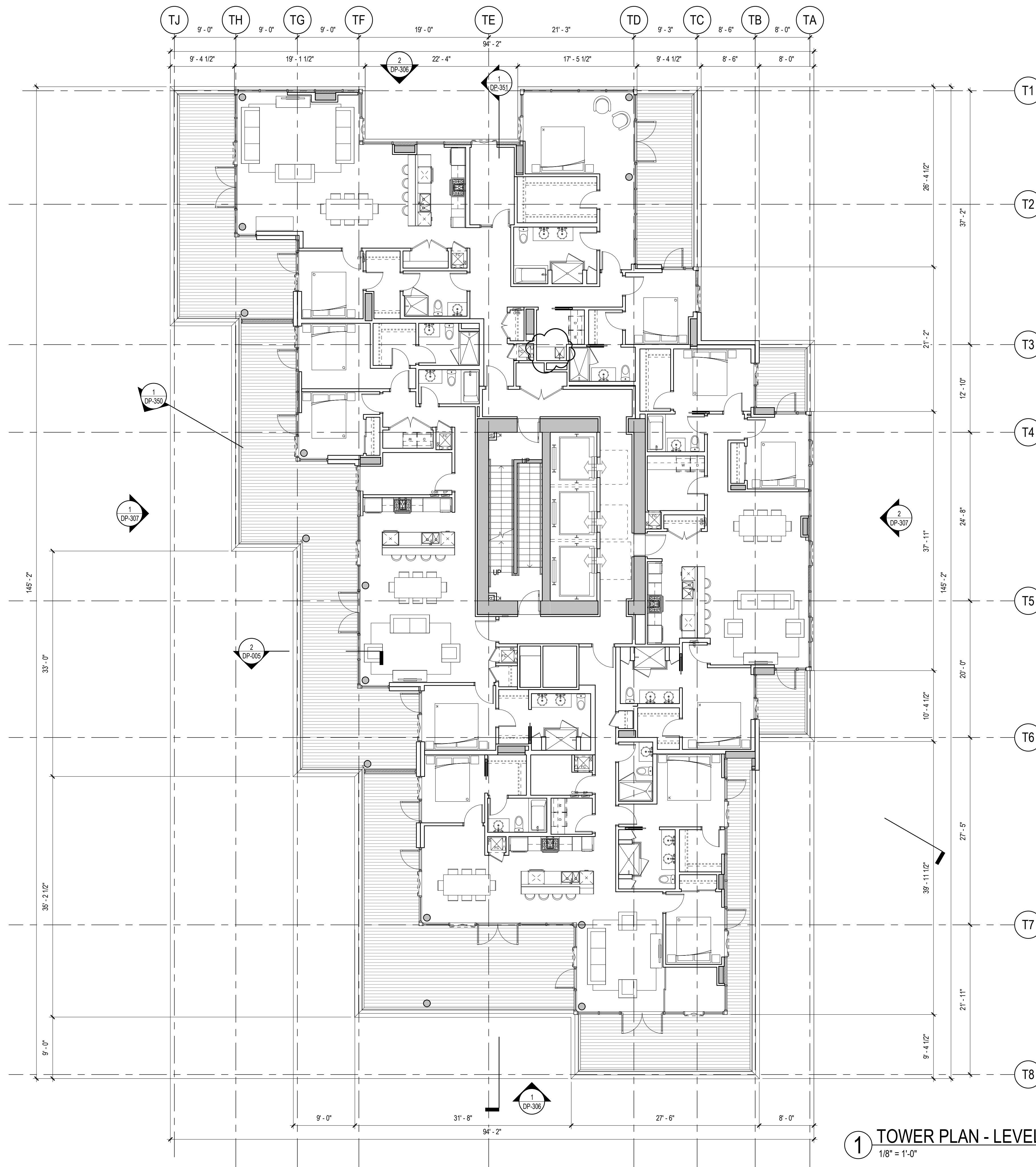
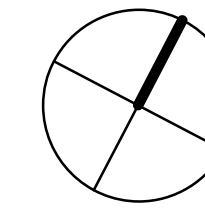
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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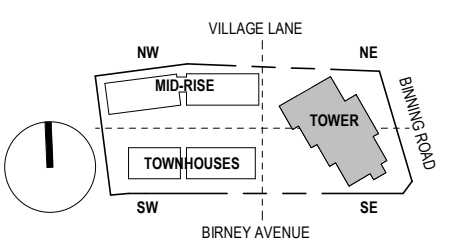
FLOOR PLAN - TOWER -  
LEVELS 11-21

DP-124

1 TOWER PLAN - LEVEL 11-21  
1/8" = 1'-0"



**1** TOWER PLAN - LEVEL 22  
1/8" = 1'-0"

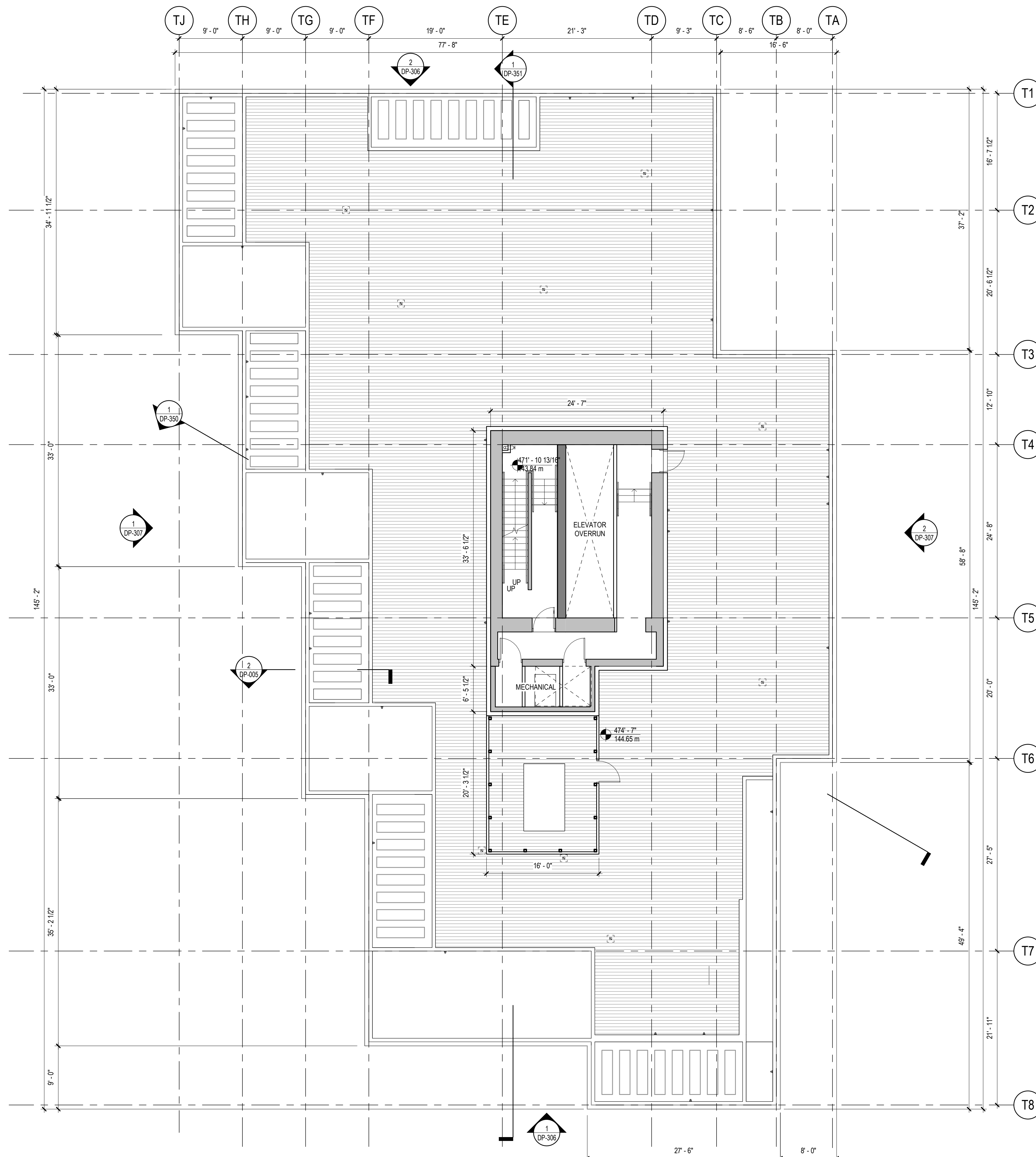
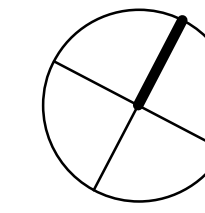


IVY ON THE PARK  
LOT 8

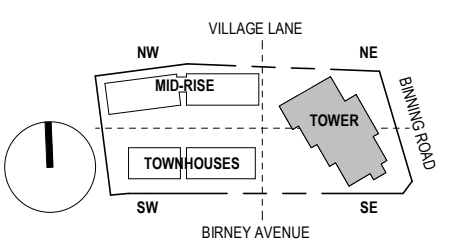
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4	PRICING SET	2018-03-29
5	DP AMENDMENT SUBMISSION	2018-05-24
6	DP AMENDMENT SUBMISSION	2018-12-07
7	DP AMENDMENT SUBMISSION	2019-08-21

FLOOR PLAN - TOWER -  
LEVEL 22

DP-125



1 TOWER PLAN - ROOF LEVEL  
1/8" = 1'-0"

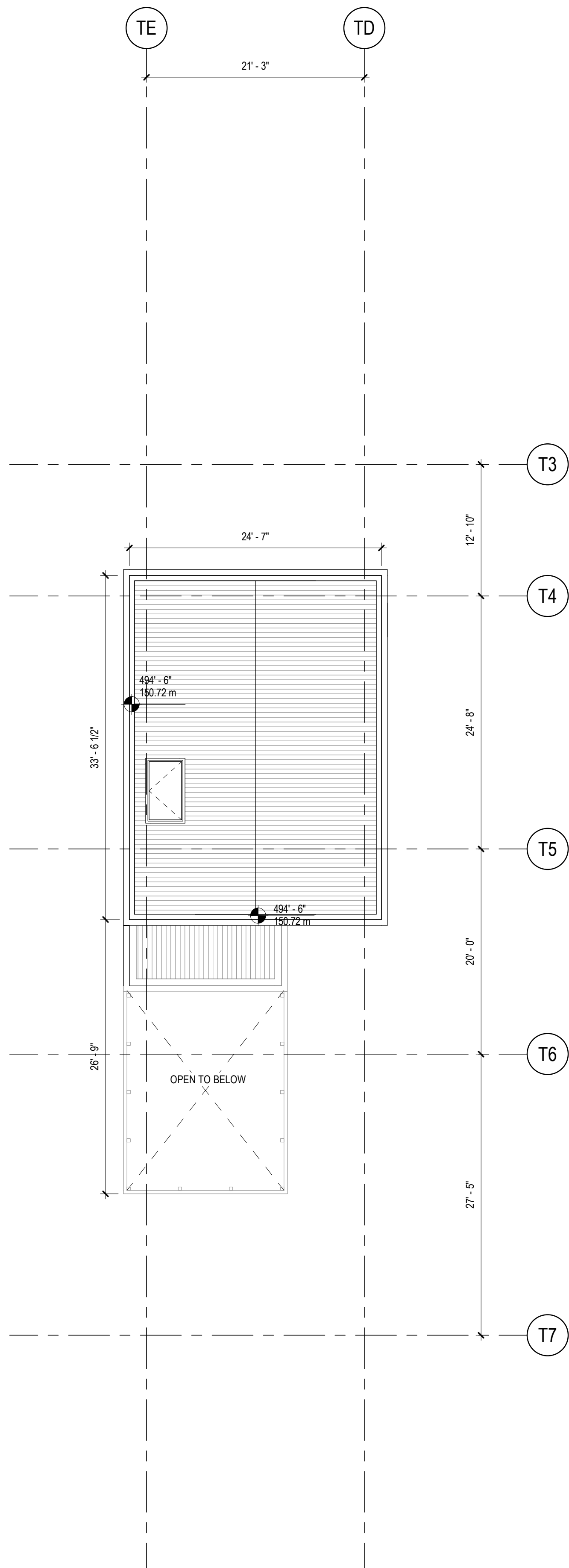
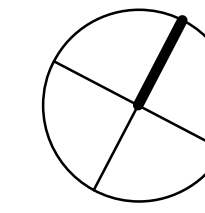


IVY ON THE PARK  
LOT 8

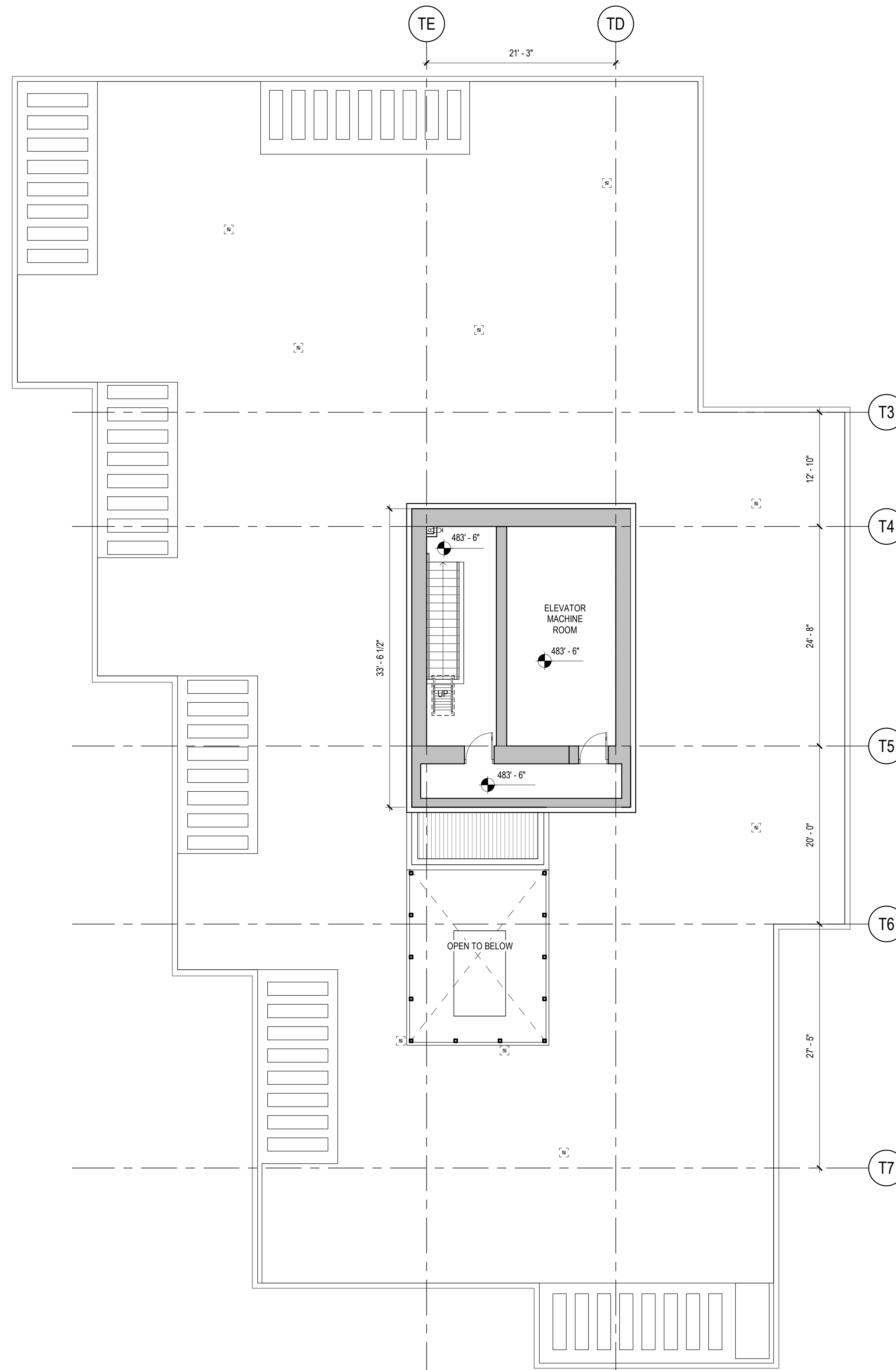
1	PRE-OP APPLICATION SUBMISSION	2017-12-06
2	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
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4	PRICING SET	2018-03-29
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6	DP AMENDMENT SUBMISSION	2018-07-24
7	DP AMENDMENT SUBMISSION	2018-12-07

FLOOR PLAN - TOWER -  
LEVEL ROOF

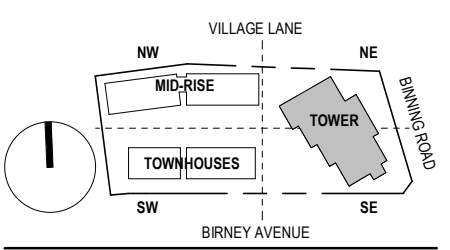
DP-126



**2** TOWER PLAN - LEVEL ELEVATOR  
MACHINE ROOM ROOF  
1/8" = 1'-0"



**1** TOWER PLAN - LEVEL ELEVATOR  
MACHINE ROOM  
1/8" = 1'-0"



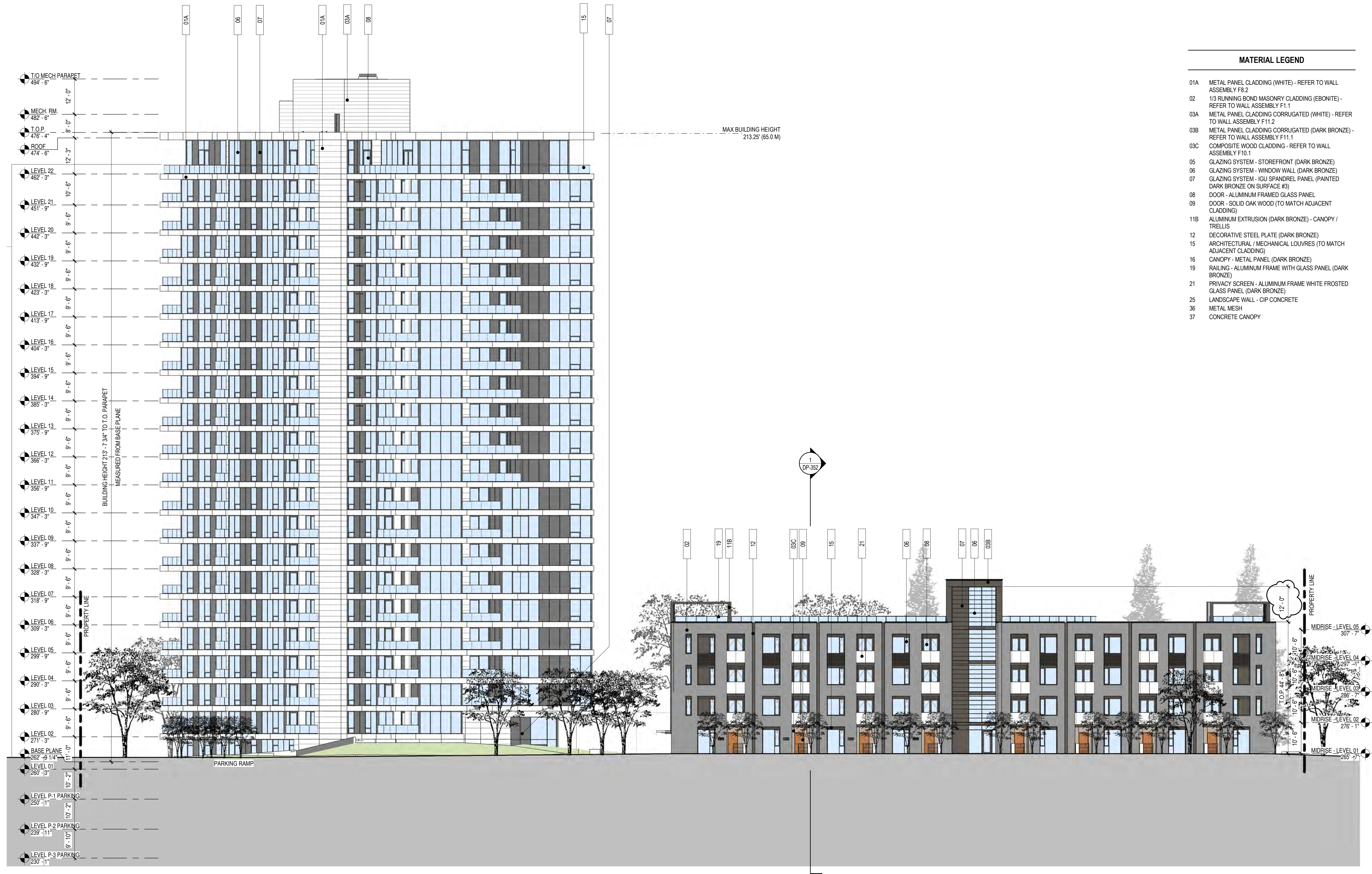
IVY ON THE PARK  
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4. PRICING SET 2018-03-29
- 5. DP AMENDMENT SUBMISSION 2018-05-24
- 6. DP AMENDMENT SUBMISSION 2018-07-24
- 7. DP AMENDMENT SUBMISSION 2018-12-07

FLOOR PLAN - TOWER -  
LEVEL ELEV MACHINE  
ROOM

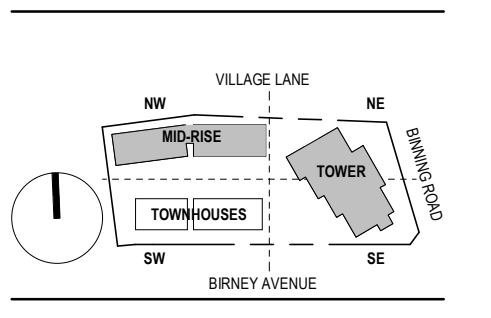
DP-127





**MATERIAL LEGEND**

01A	METAL PANEL CLADDING (WHITE) - REFER TO WALL ASSEMBLY F8.2
02	1/3 RUNNING BOND MASONRY CLADDING (EBONITE) - REFER TO WALL ASSEMBLY F1.1
03A	METAL PANEL CLADDING CORRUGATED (WHITE) - REFER TO WALL ASSEMBLY F11.2
03B	METAL PANEL CLADDING CORRUGATED (DARK BRONZE) - REFER TO WALL ASSEMBLY F11.1
03C	COMPOSITE WOOD CLADDING - REFER TO WALL ASSEMBLY F10.1
05	GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
06	GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
07	GLAZING SYSTEM - I-GU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
08	DOOR - ALUMINUM FRAMED GLASS PANEL
09	DOOR - SOLID OAK WOOD (TO MATCH ADJACENT CLADDING)
11B	ALUMINUM EXTRUSION (DARK BRONZE) - CANOPY / TRELLIS
12	DECORATIVE STEEL PLATE (DARK BRONZE)
15	ARCHITECTURAL / MECHANICAL LOUVRES (TO MATCH ADJACENT CLADDING)
16	CANOPY - METAL PANEL (DARK BRONZE)
19	RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
21	PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
25	LANDSCAPE WALL - CIP CONCRETE
36	METAL MESH
37	CONCRETE CANOPY



IVY ON THE PARK  
LOT 8

- PRE-OP APPLICATION SUBMISSION 2017-12-06
- DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- PRICING SET 2018-03-29
- DP AMENDMENT SUBMISSION 2018-05-24
- DP AMENDMENT SUBMISSION 2018-07-24
- DP AMENDMENT SUBMISSION 2018-12-07
- DP AMENDMENT SUBMISSION 2019-08-21

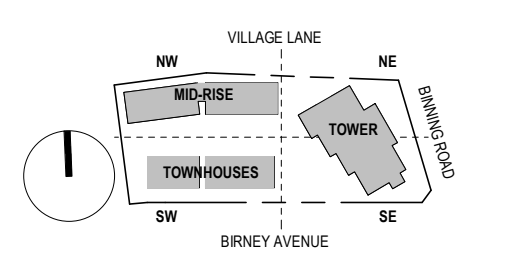
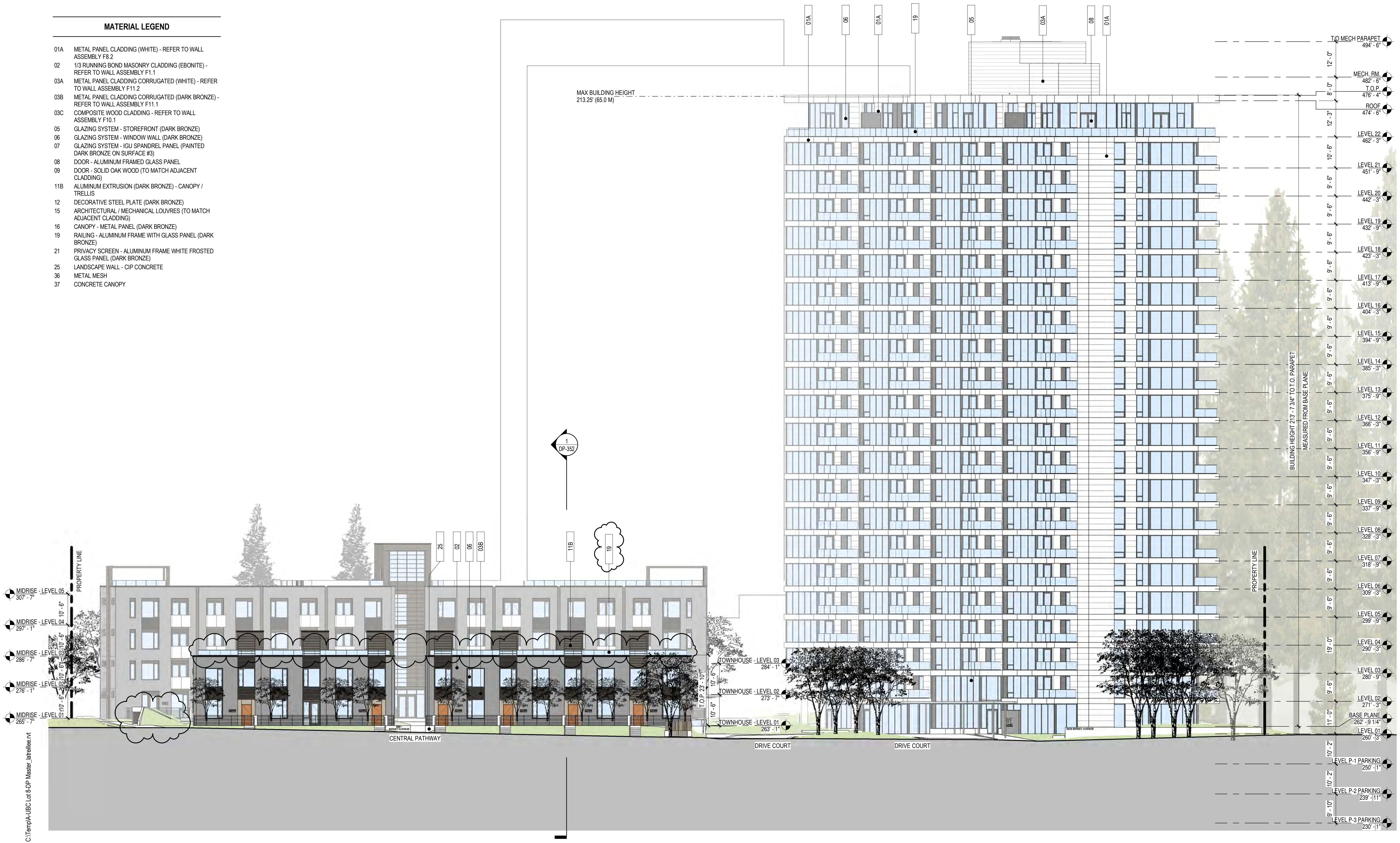
**NORTH ELEVATION**

1 NORTH ELEVATION  
1/16" = 1'-0"

DP-301

MATERIAL LEGEND

01A	METAL PANEL CLADDING (WHITE) - REFER TO WALL ASSEMBLY F8.2
02	1/3 RUNNING BOND MASONRY CLADDING (EBONITE) - REFER TO WALL ASSEMBLY F1.1
03A	METAL PANEL CLADDING CORRUGATED (WHITE) - REFER TO WALL ASSEMBLY F11.2
03B	METAL PANEL CLADDING CORRUGATED (DARK BRONZE) - REFER TO WALL ASSEMBLY F11.1
03C	COMPOSITE WOOD CLADDING - REFER TO WALL ASSEMBLY F10.1
05	GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
06	GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
07	GLAZING SYSTEM - I-GU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
08	DOOR - ALUMINUM FRAMED GLASS PANEL
09	DOOR - SOLID OAK WOOD (TO MATCH ADJACENT CLADDING)
11B	ALUMINUM EXTRUSION (DARK BRONZE) - CANOPY / TRELLIS
12	DECORATIVE STEEL PLATE (DARK BRONZE)
15	ARCHITECTURAL / MECHANICAL LOUVRES (TO MATCH ADJACENT CLADDING)
16	CANOPY - METAL PANEL (DARK BRONZE)
19	RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
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25	LANDSCAPE WALL - CIP CONCRETE
36	METAL MESH
37	CONCRETE CANOPY



IVY ON THE PARK  
LOT 8

1. PRE-OP APPLICATION SUBMISSION 2017-12-06
2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
4. PRICING SET 2018-03-29
5. DP AMENDMENT SUBMISSION 2018-05-24
6. DP AMENDMENT SUBMISSION 2018-12-07
7. DP AMENDMENT SUBMISSION 2019-08-21

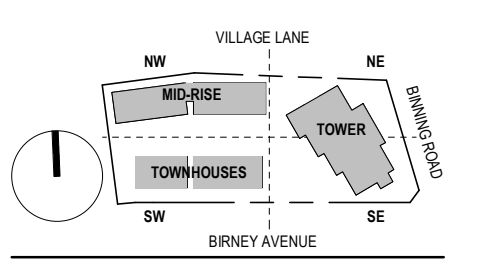
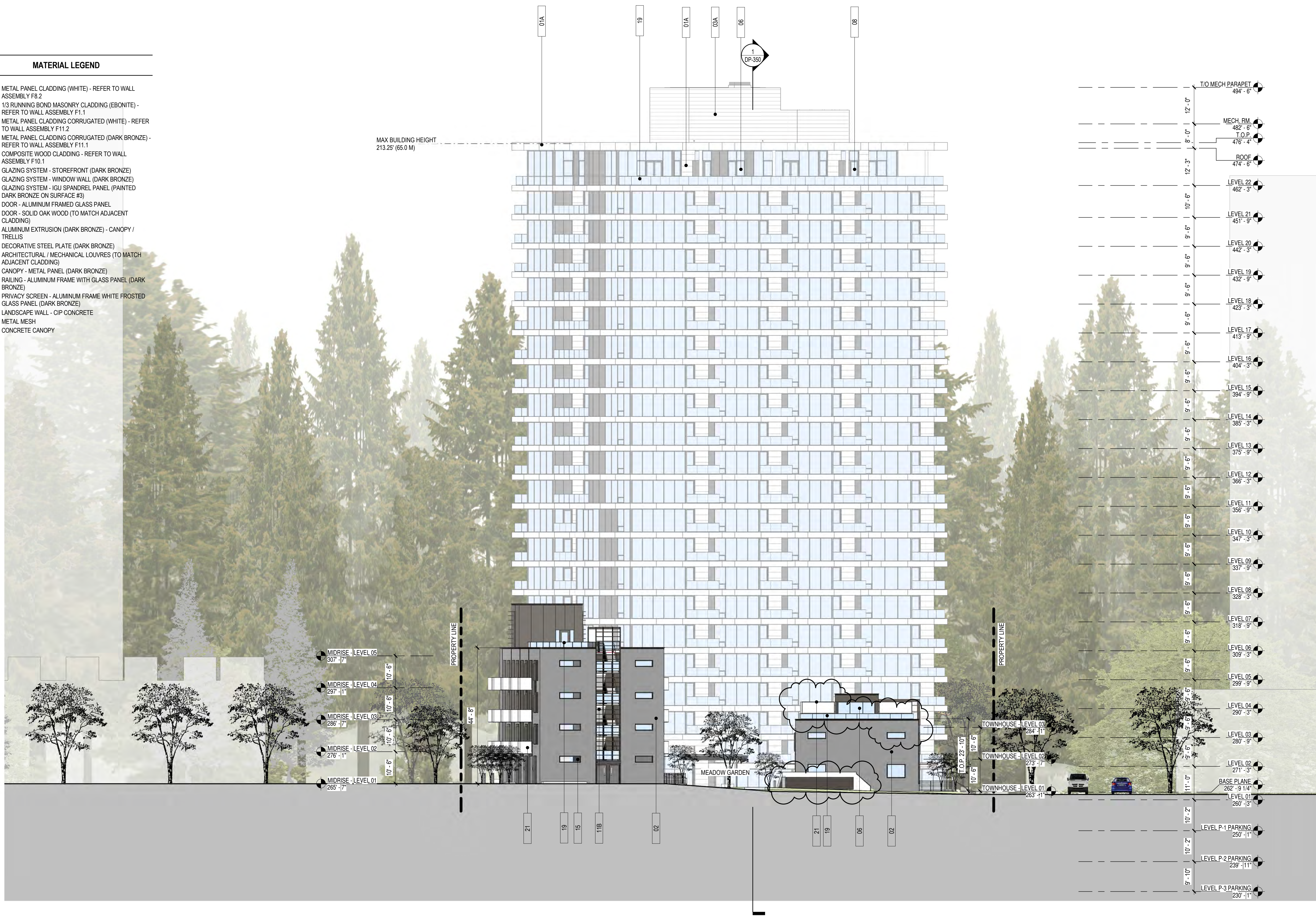
SOUTH ELEVATION

1 SOUTH ELEVATION  
1/16" = 1'-0"

**MATERIAL LEGEND**

- 01A METAL PANEL CLADDING (WHITE) - REFER TO WALL ASSEMBLY F8.2
- 02 1/3 RUNNING BOND MASONRY CLADDING (EBONITE) - REFER TO WALL ASSEMBLY F1.1
- 03A METAL PANEL CLADDING CORRUGATED (WHITE) - REFER TO WALL ASSEMBLY F11.2
- 03B METAL PANEL CLADDING CORRUGATED (DARK BRONZE) - REFER TO WALL ASSEMBLY F11.1
- 03C COMPOSITE WOOD CLADDING - REFER TO WALL ASSEMBLY F10.1
- 05 GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
- 06 GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- 07 GLAZING SYSTEM - IGU SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
- 08 DOOR - ALUMINUM FRAMED GLASS PANEL
- 09 DOOR - SOLID OAK WOOD (TO MATCH ADJACENT CLADDING)
- 11B ALUMINUM EXTRUSION (DARK BRONZE) - CANOPY / TRELLIS
- 12 DECORATIVE STEEL PLATE (DARK BRONZE)
- 15 ARCHITECTURAL / MECHANICAL LOUVRES (TO MATCH ADJACENT CLADDING)
- 16 CANOPY - METAL PANEL (DARK BRONZE)
- 19 RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- 21 PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
- 25 LANDSCAPE WALL - CIP CONCRETE
- 36 METAL MESH
- 37 CONCRETE CANOPY

MAX BUILDING HEIGHT  
213.25' (65.0 M)



IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 5 DP AMENDMENT SUBMISSION 2018-07-24
- 6 DP AMENDMENT SUBMISSION 2018-12-07
- 7 DP AMENDMENT SUBMISSION 2019-08-21

WEST ELEVATION

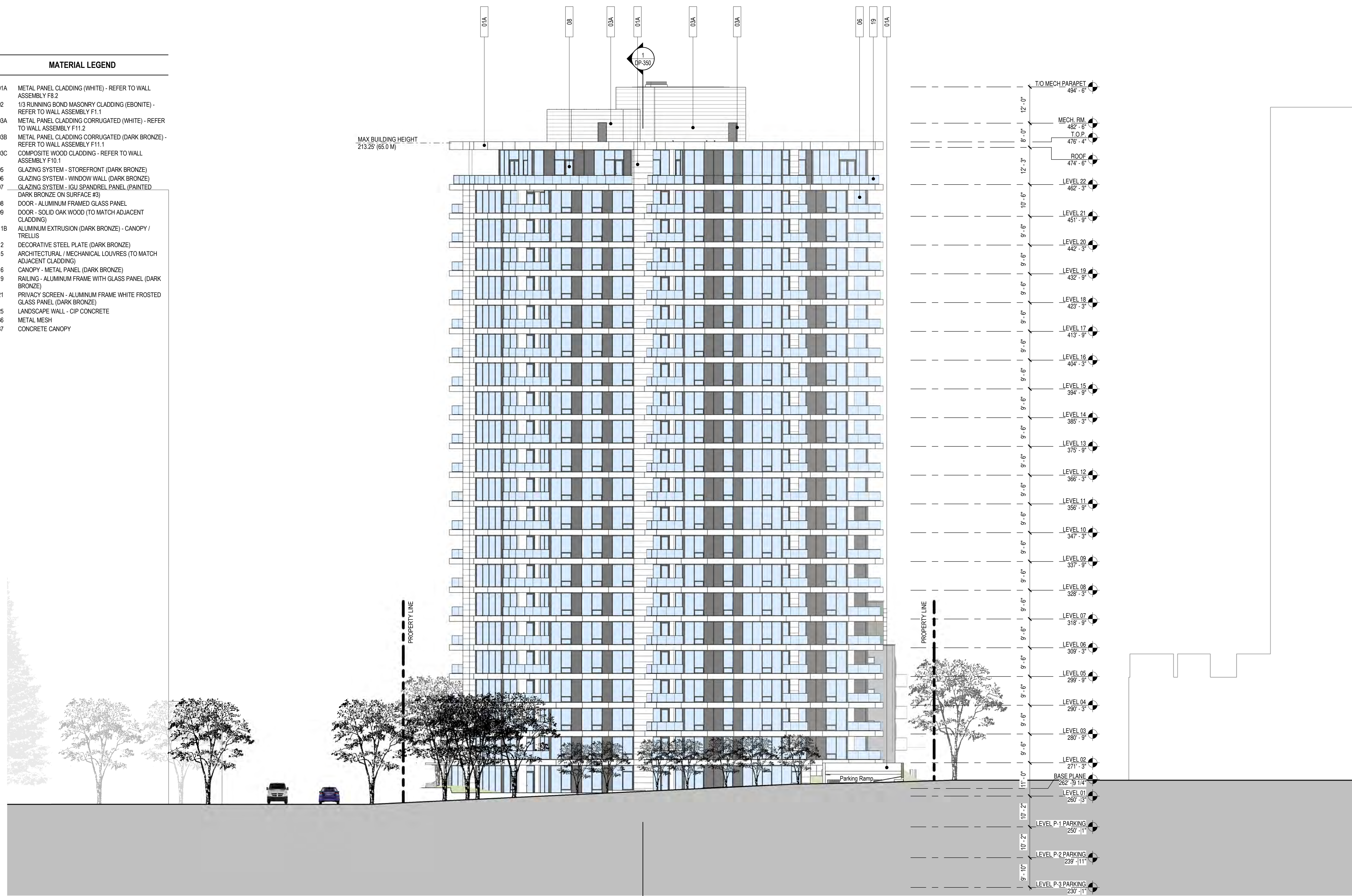
DP-303

1 WEST ELEVATION  
1/16" = 1'-0"

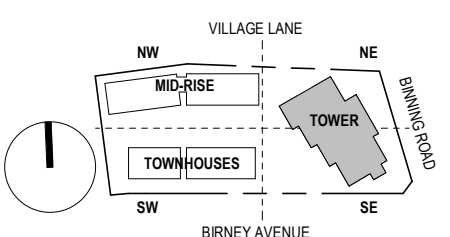
MATERIAL LEGEND

- 01A METAL PANEL CLADDING (WHITE) - REFER TO WALL ASSEMBLY F8.2
- 02 1/3 RUNNING BOND MASONRY CLADDING (EBONITE) - REFER TO WALL ASSEMBLY F1.1
- 03A METAL PANEL CLADDING CORRUGATED (WHITE) - REFER TO WALL ASSEMBLY F11.2
- 03B METAL PANEL CLADDING CORRUGATED (DARK BRONZE) - REFER TO WALL ASSEMBLY F11.1
- 03C COMPOSITE WOOD CLADDING - REFER TO WALL ASSEMBLY F10.1
- 05 GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
- 06 GLAZING SYSTEM - WINDOW WALL (DARK BRONZE)
- 07 GLAZING SYSTEM - IGI SPANDREL PANEL (PAINTED DARK BRONZE ON SURFACE #3)
- 08 DOOR - ALUMINUM FRAMED GLASS PANEL
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- 15 ARCHITECTURAL / MECHANICAL LOUVRES (TO MATCH ADJACENT CLADDING)
- 16 CANOPY - METAL PANEL (DARK BRONZE)
- 19 RAILING - ALUMINUM FRAME WITH GLASS PANEL (DARK BRONZE)
- 21 PRIVACY SCREEN - ALUMINUM FRAME WHITE FROSTED GLASS PANEL (DARK BRONZE)
- 25 LANDSCAPE WALL - CIP CONCRETE
- 36 METAL MESH
- 37 CONCRETE CANOPY

MAX BUILDING HEIGHT  
213.25' (65.0 M)



1 EAST ELEVATION  
1/16" = 1'-0"



IVY ON THE PARK  
LOT 8

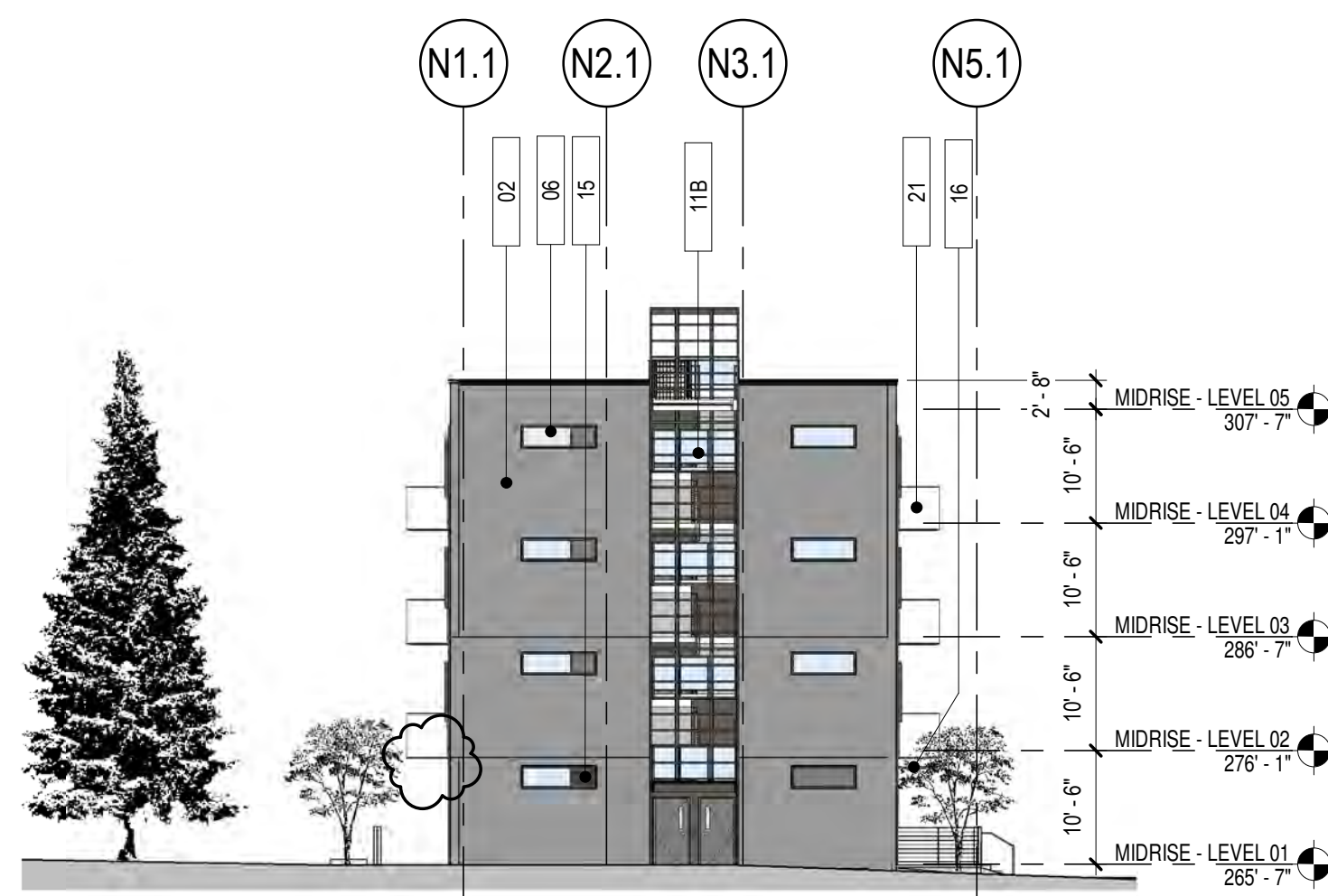
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 5 DP AMENDMENT SUBMISSION 2018-05-24
- 6 DP AMENDMENT SUBMISSION 2018-07-24
- 7 DP AMENDMENT SUBMISSION 2018-12-07

EAST ELEVATION

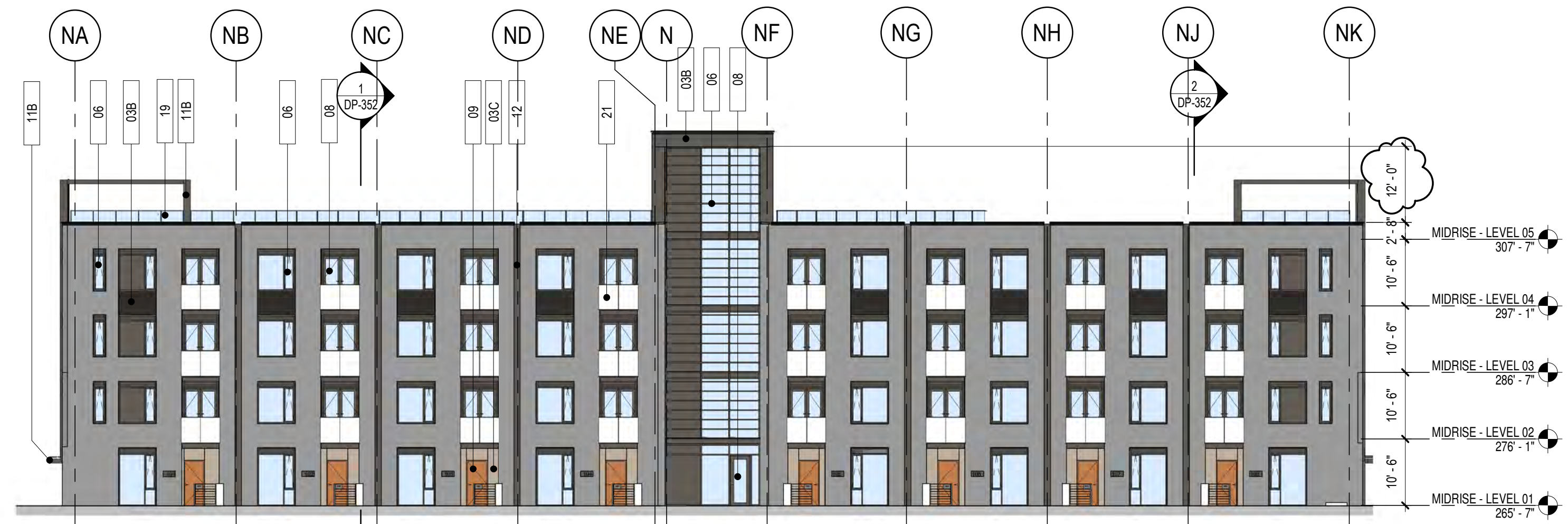
DP-304

MATERIAL LEGEND

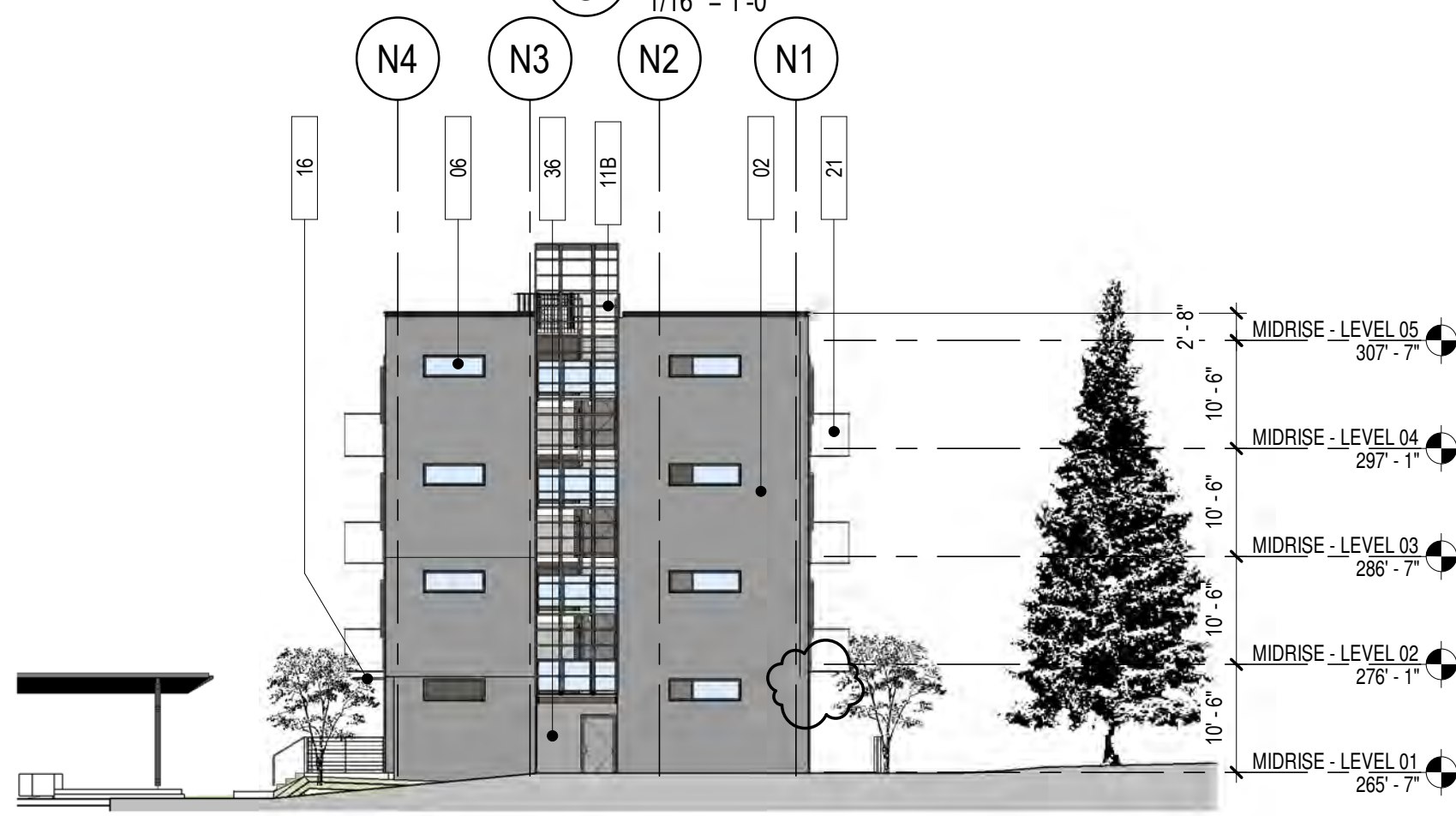
- 01A METAL PANEL CLADDING (WHITE) - REFER TO WALL ASSEMBLY F8.2
- 02 1/3 RUNNING BOND MASONRY CLADDING (EBONITE) - REFER TO WALL ASSEMBLY F1.1
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- 03C COMPOSITE WOOD CLADDING - REFER TO WALL ASSEMBLY F10.1
- 05 GLAZING SYSTEM - STOREFRONT (DARK BRONZE)
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- 25 LANDSCAPE WALL - CIP CONCRETE
- 36 METAL MESH
- 37 CONCRETE CANOPY



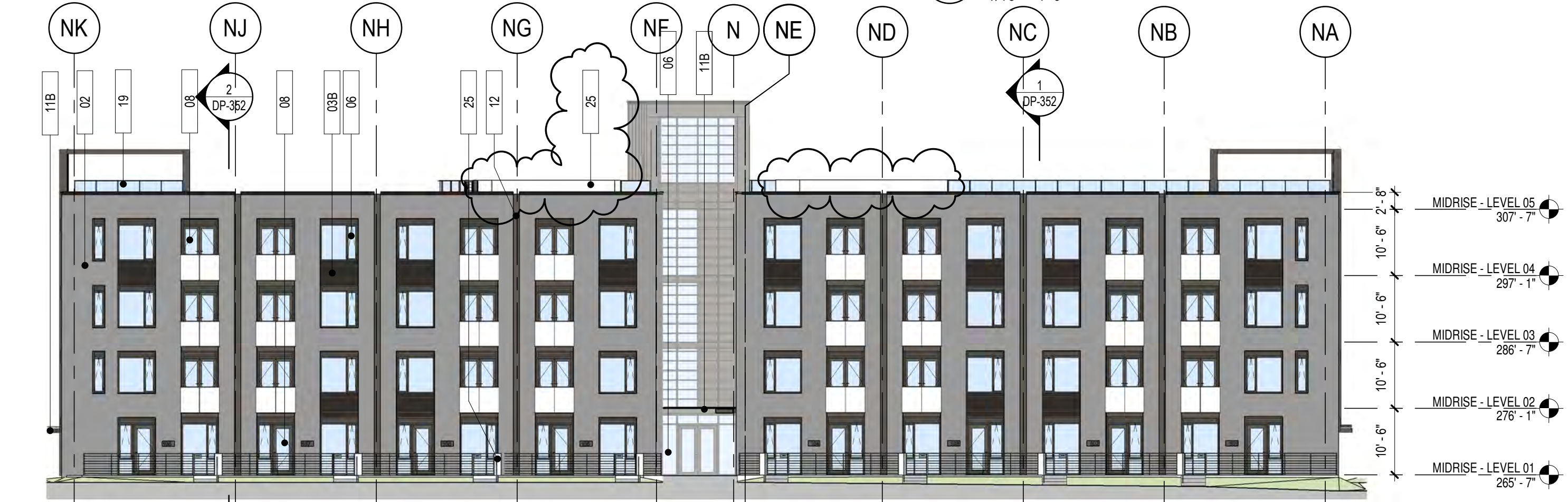
8 MID-RISE WEST ELEVATION  
1/16" = 1'-0"



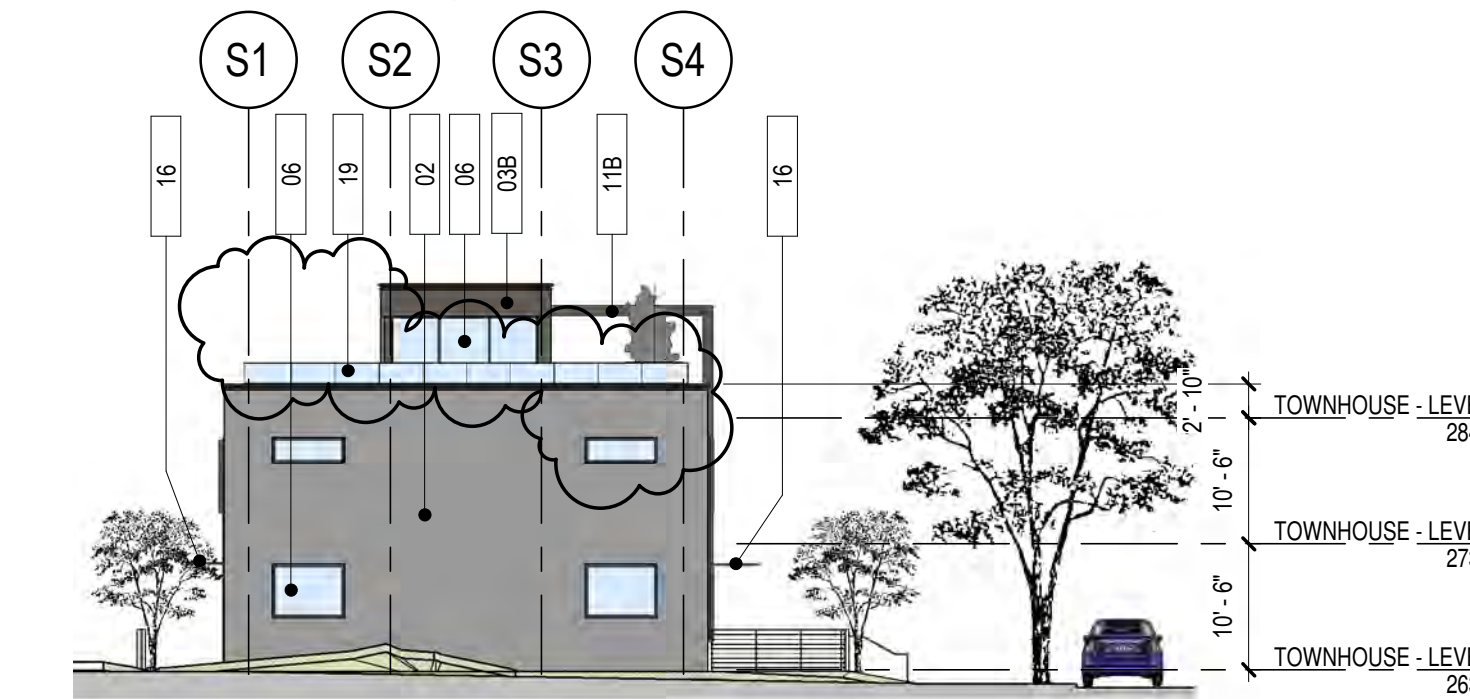
7 MID-RISE NORTH ELEVATION  
1/16" = 1'-0"



6 MID-RISE EAST ELEVATION  
1/16" = 1'-0"



5 MID-RISE SOUTH ELEVATION  
1/16" = 1'-0"



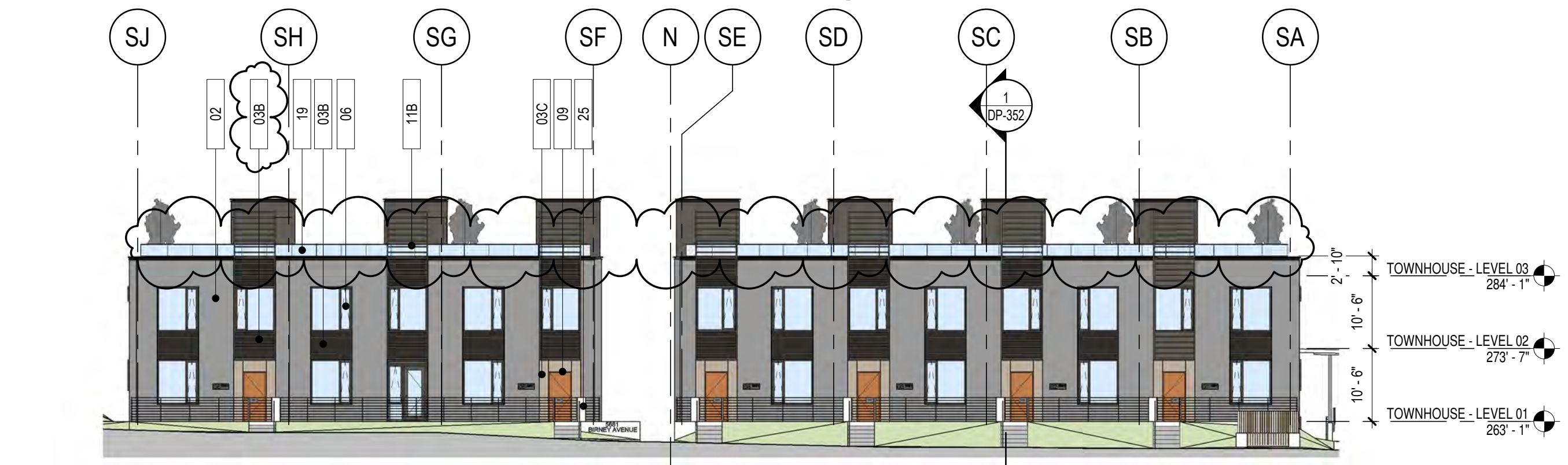
4 TOWNHOUSE WEST ELEVATION  
1/16" = 1'-0"



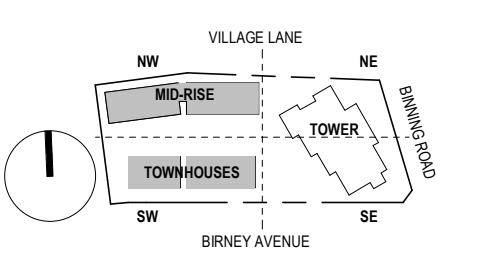
3 TOWNHOUSE NORTH ELEVATION  
1/16" = 1'-0"



2 TOWNHOUSE EAST ELEVATION  
1/16" = 1'-0"

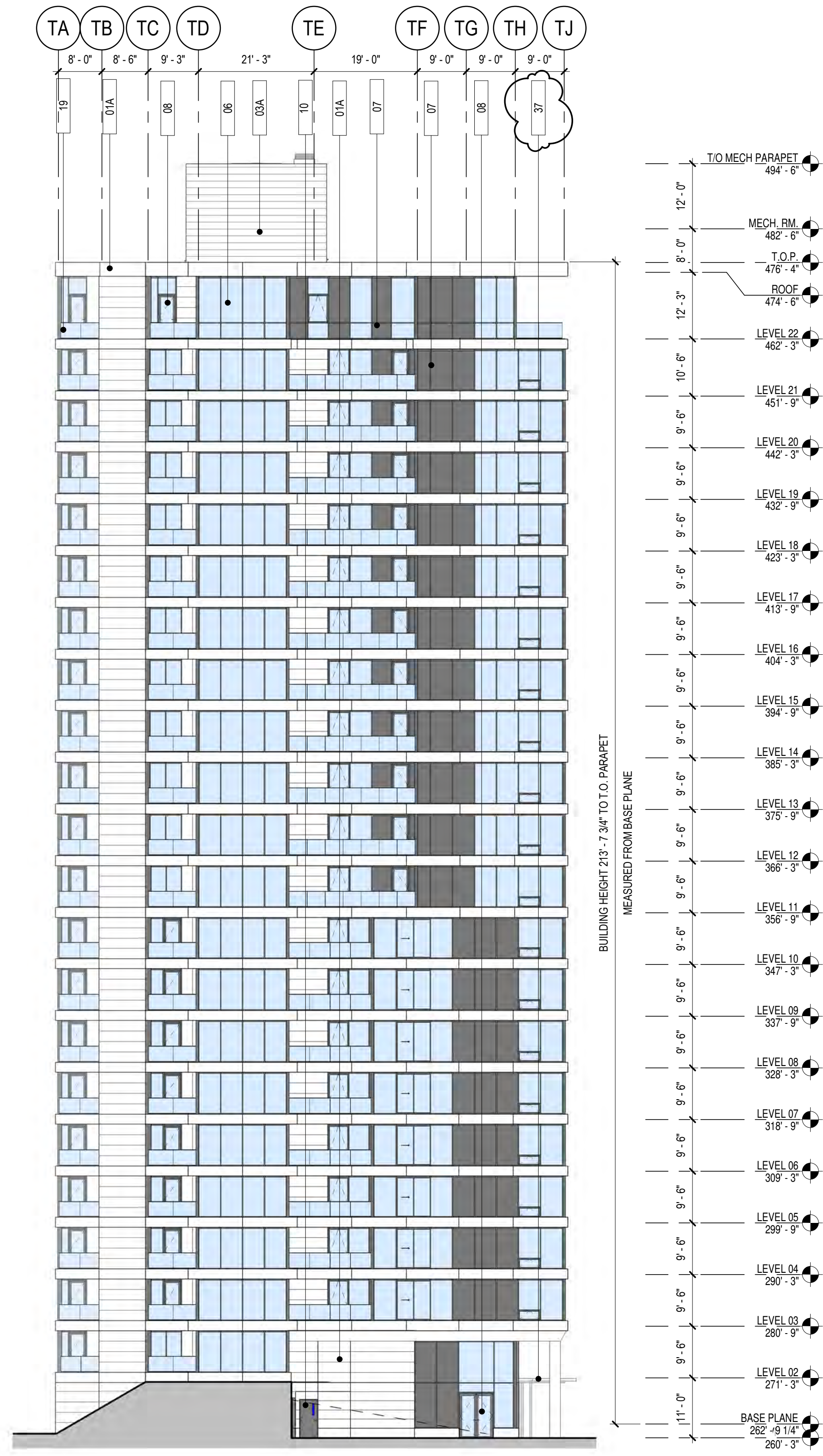


1 TOWNHOUSE SOUTH ELEVATION  
1/16" = 1'-0"

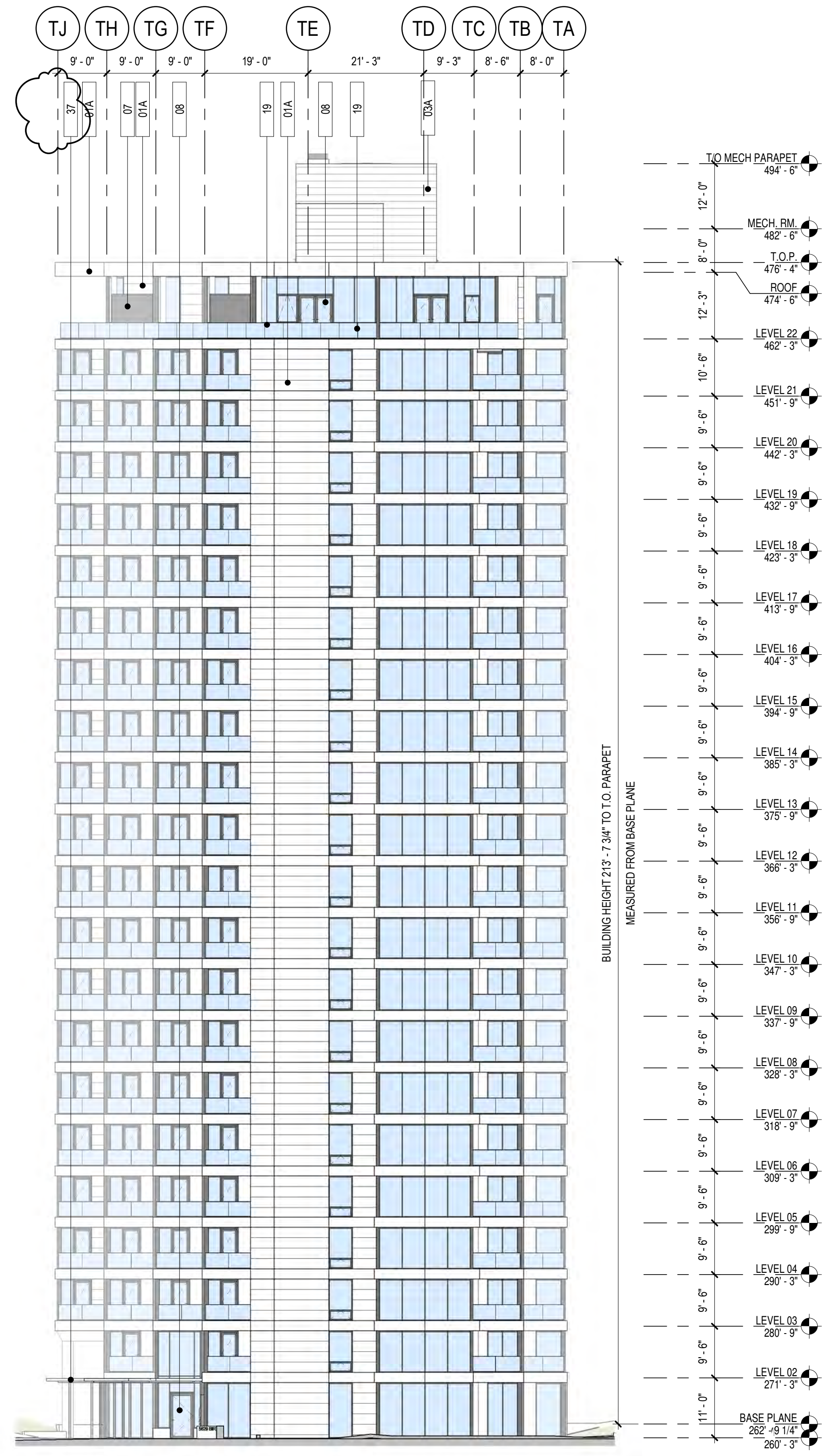


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- 7 DP AMENDMENT SUBMISSION 2019-08-21

MID-RISE & TOWNHOUSE  
ELEVATIONS



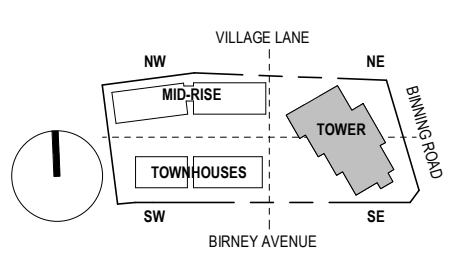
2 TOWER NORTH ELEVATION  
1/16" = 1'-0"



1 TOWER SOUTH ELEVATION  
1/16" = 1'-0"

MATERIAL LEGEND

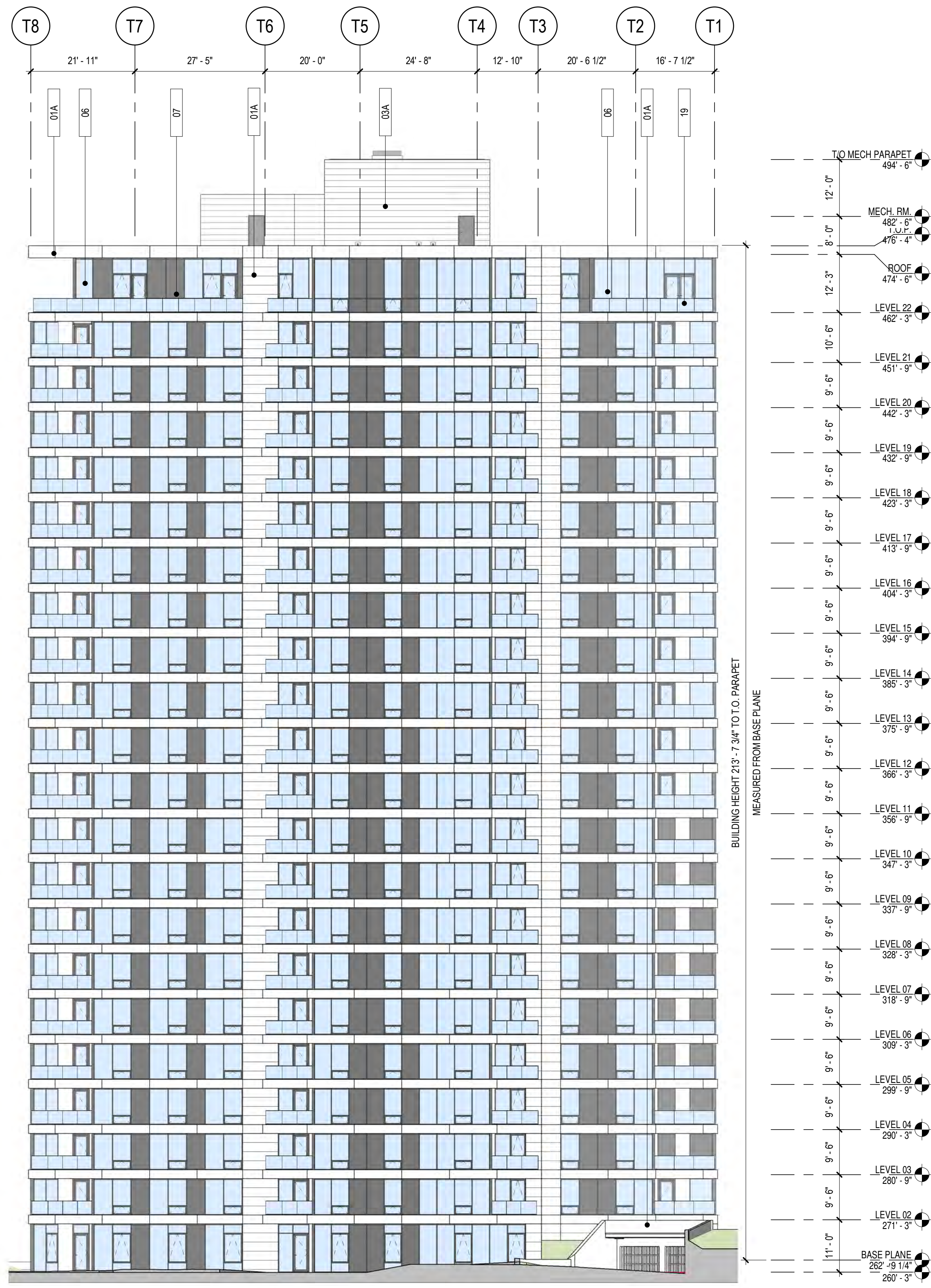
- 01A METAL PANEL CLADDING (WHITE) - REFER TO WALL ASSEMBLY F8.2
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- 25 LANDSCAPE WALL - CIP CONCRETE
- 36 METAL MESH
- 37 CONCRETE CANOPY



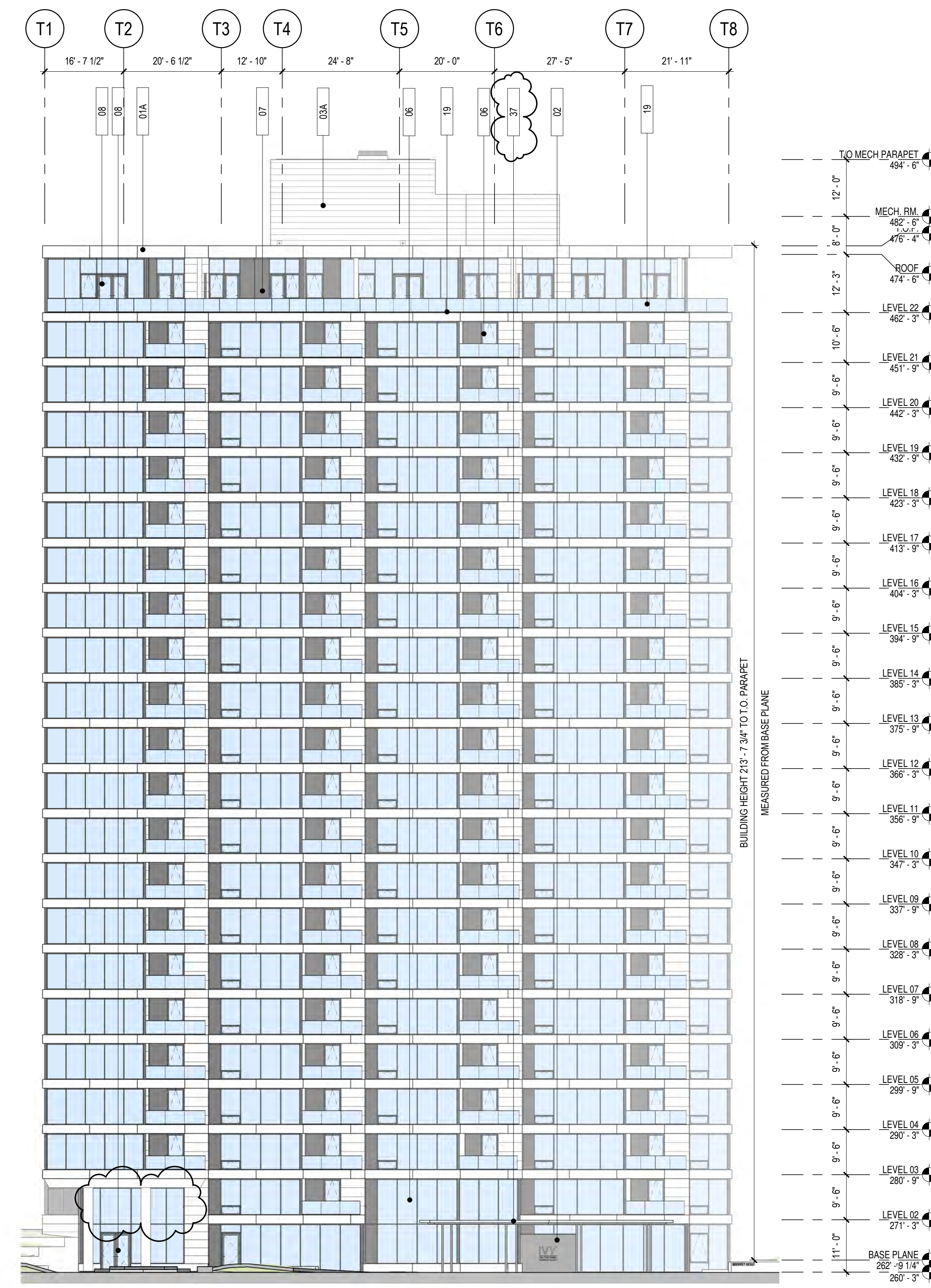
IVY ON THE PARK  
LOT 8

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- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 7 DP AMENDMENT SUBMISSION 2018-12-07
- 8 DP AMENDMENT SUBMISSION 2019-08-21

TOWER NORTH & SOUTH ELEVATIONS



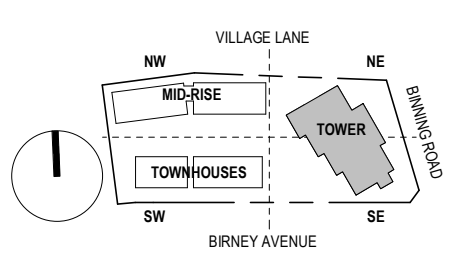
**2 TOWER EAST ELEVATION**  
1/16" = 1'-0"



**1 TOWER WEST ELEVATION**  
1/16" = 1'-0"

**MATERIAL LEGEND**

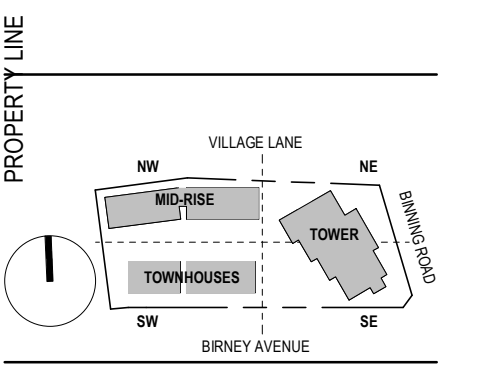
- 01A METAL PANEL CLADDING (WHITE) - REFER TO WALL ASSEMBLY F8.2
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- 36 METAL MESH
- 37 CONCRETE CANOPY



**IVY ON THE PARK**  
LOT 8

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- 6 DP AMENDMENT SUBMISSION 2018-07-24
- 7 DP AMENDMENT SUBMISSION 2018-12-07
- 8 DP AMENDMENT SUBMISSION 2019-08-21

**TOWER WEST & EAST ELEVATIONS**



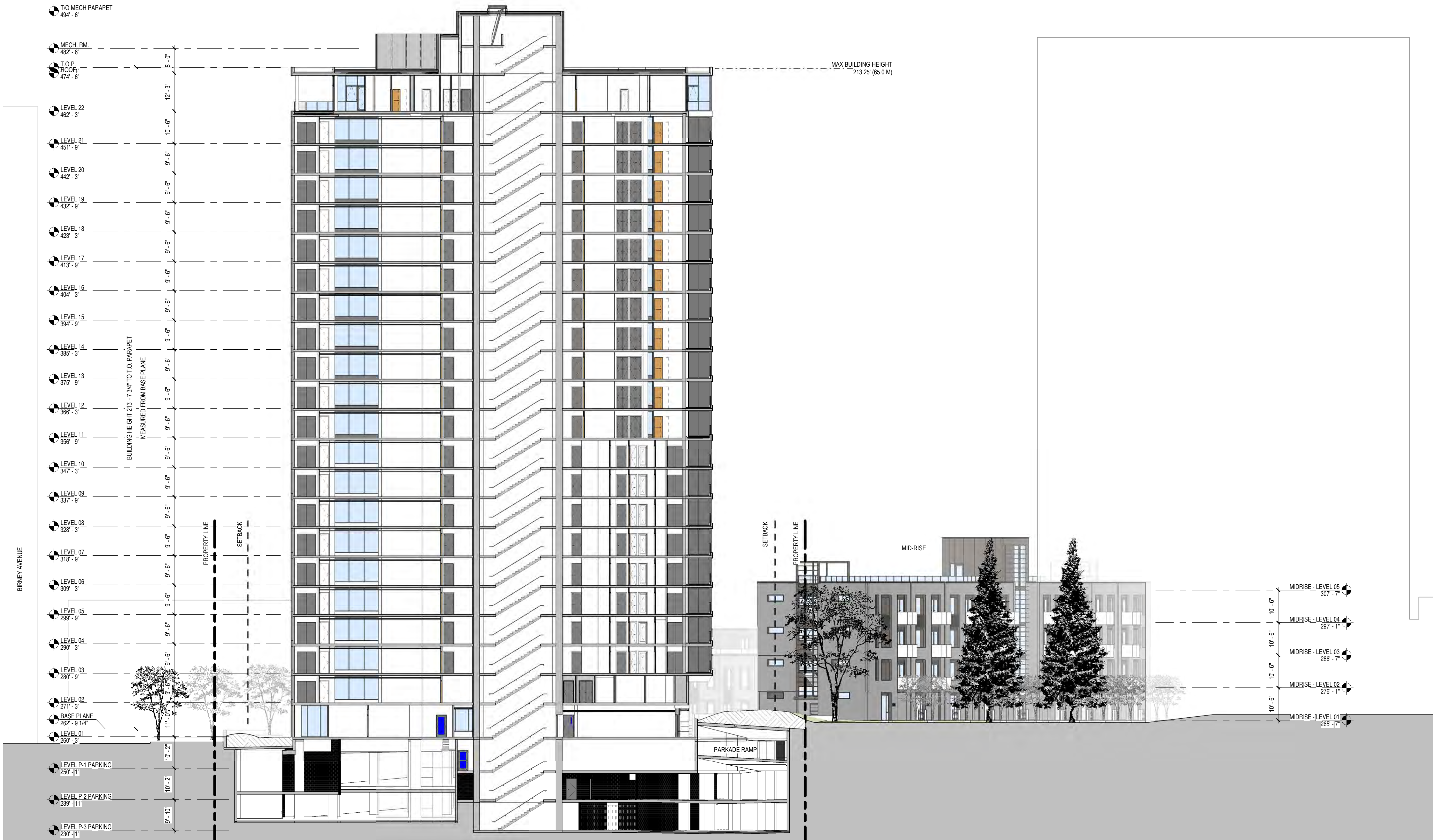
IVY ON THE PARK  
LOT 8

1. PRE-OP APPLICATION SUBMISSION 2017-12-06
2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
4. PRICING SET 2018-03-29
5. DP AMENDMENT SUBMISSION 2018-05-24
6. DP AMENDMENT SUBMISSION 2018-07-24
7. DP AMENDMENT SUBMISSION 2018-12-07
8. DP AMENDMENT SUBMISSION 2019-08-21

BUILDING SECTIONS

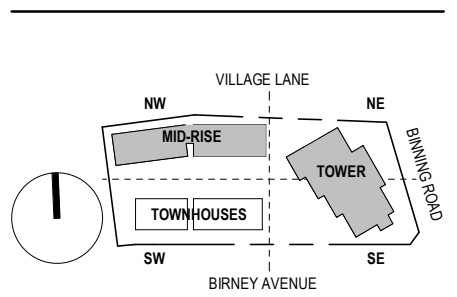
1 TWR / TH SECTION - EAST / WEST  
1/16" = 1'-0"





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1 TOWER SECTION - NW / SE  
1/16" = 1'-0"



IVY ON THE PARK  
LOT 8

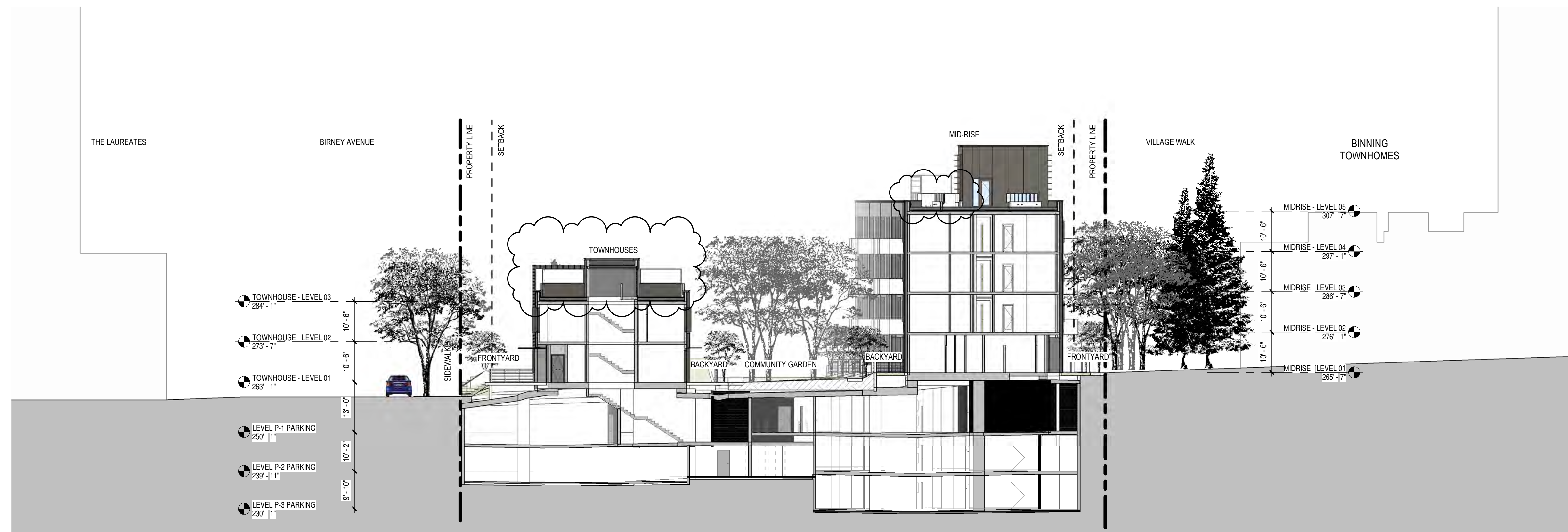
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-07-24
- 6 DP AMENDMENT SUBMISSION 2018-12-07

BUILDING SECTIONS

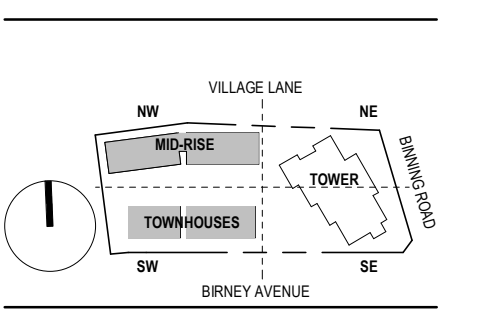
DP-351



② TOWNHOUSE/MID-RISE SECTION B - NORTH / SOUTH  
1/16" = 1'-0"



① TOWNHOUSE/MIDRISE SECTION A / C - NORTH / SOUTH  
1/16" = 1'-0"

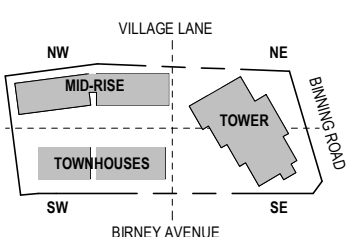


IVY ON THE PARK  
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2. DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4. PRICING SET 2018-03-29
- 5. DP AMENDMENT SUBMISSION 2018-05-24
- 6. DP AMENDMENT SUBMISSION 2018-12-07
- 7. DP AMENDMENT SUBMISSION 2019-08-21

BUILDING SECTIONS

DP-352

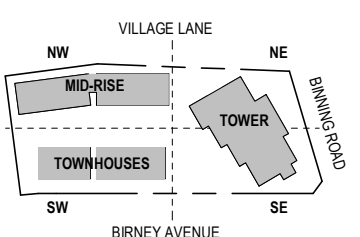


IVY ON THE PARK  
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4. PRICING SET 2018-03-29
- 5. DP AMENDMENT SUBMISSION 2018-05-24
- 6. DP AMENDMENT SUBMISSION 2018-12-07
- 7. DP AMENDMENT SUBMISSION 2019-08-21

PERSPECTIVE VIEW

DP-401



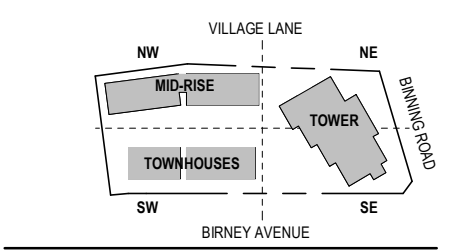
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

PERSPECTIVE VIEW

1 STREET VIEW - BIRNEY AVENUE LOOKING EAST  
NOT TO SCALE

DP-402



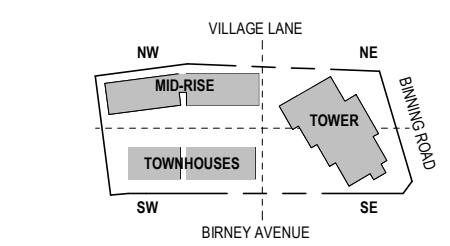
IVY ON THE PARK  
LOT 8

- 1. PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 3. DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4. PRICING SET 2018-03-29
- 5. DP AMENDMENT SUBMISSION 2018-05-24
- 6. DP AMENDMENT SUBMISSION 2018-12-07
- 7. DP AMENDMENT SUBMISSION 2019-08-21

PERSPECTIVE VIEW

① STREET VIEW - VILLAGE WALK LOOKING SOUTH/EAST  
NOT TO SCALE

DP-403



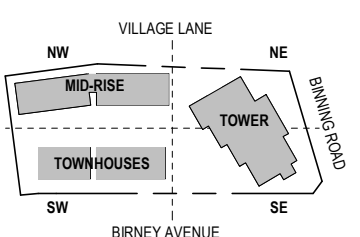
IVY ON THE PARK  
LOT 8

1	PRE-OP APPLICATION SUBMISSION	2017-12-06
2	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
3	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
4	PRICING SET	2018-03-29
5	DP AMENDMENT SUBMISSION	2018-05-24
6	DP AMENDMENT SUBMISSION	2018-12-07

PERSPECTIVE VIEW

① STREET VIEW - BINNING ROAD LOOKING SOUTHWEST  
NOT TO SCALE

DP-404



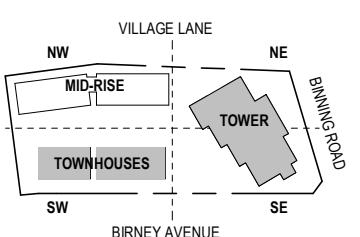
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 PRICING SET 2018-03-29
- 5 DP AMENDMENT SUBMISSION 2018-05-24

PERSPECTIVE VIEW

1 STREET VIEW - CLOSE-UP OF DROP-OFF AREA  
NOT TO SCALE

DP-405



IVY ON THE PARK  
LOT 8

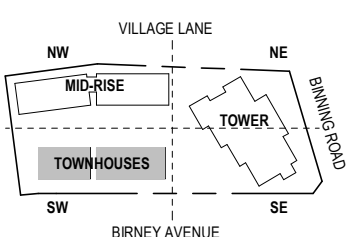
1	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
3	PRICING SET	2018-03-29
4	DP AMENDMENT SUBMISSION	2018-05-24

PERSPECTIVE VIEW

① STREET VIEW - BINNING ROAD LOOKING NORTH  
NOT TO SCALE

DP-406





IVY ON THE PARK  
LOT 8

1	DEVELOPMENT PERMIT RE-SUBMISSION	2018-03-02
2	PRICING SET	2018-03-29
3	DP AMENDMENT SUBMISSION	2018-05-24

PERSPECTIVE VIEW

① STREET VIEW - TOWNHOMES ALONG BIRNEY  
NOT TO SCALE

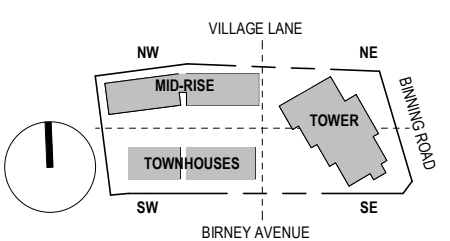
DP-407

### FSR CALCULATIONS

RESIDENTIAL							
LEVEL	RESIDENTIAL GFA	EXCLUSIONS				RESIDENTIAL FSR	RESIDENTIAL OPEN BALCONY
		AMENITY R EXCLUSION	STORAGE R EXCLUSION	MECHANICAL R EXCLUSION	ELECTRICAL R EXCLUSION		
LEVEL 01	8694.77 SF	4646.04 SF	66.87 SF	46.36 SF	7.63 SF	3927.87 SF	0.00 SF
MIDRISE & TOWNHOUSE - LEVEL 01	12986.30 SF	0.00 SF	396.92 SF	92.29 SF	2.80 SF	12494.29 SF	0.00 SF
LEVEL 02	7047.51 SF	0.00 SF	218.32 SF	92.20 SF	25.89 SF	6711.10 SF	625.04 SF
MIDRISE & TOWNHOUSE - LEVEL 02	13392.89 SF	0.00 SF	223.56 SF	112.88 SF	13.25 SF	13043.20 SF	402.33 SF
LEVEL 03	9023.03 SF	0.00 SF	243.19 SF	113.98 SF	30.02 SF	8635.85 SF	975.06 SF
MIDRISE & TOWNHOUSE - LEVEL 03	8138.94 SF	0.00 SF	223.39 SF	72.51 SF	13.25 SF	7829.79 SF	402.33 SF
LEVEL 04	9023.03 SF	0.00 SF	243.19 SF	113.98 SF	30.02 SF	8635.85 SF	975.06 SF
MIDRISE - LEVEL 04	7412.59 SF	0.00 SF	222.40 SF	72.61 SF	13.25 SF	7104.34 SF	402.33 SF
LEVEL 05	9023.03 SF	0.00 SF	243.19 SF	113.98 SF	30.02 SF	8635.85 SF	975.06 SF
MIDRISE - LEVEL 05	346.88 SF	336.88 SF	0.00 SF	10.00 SF	0.00 SF	0.00 SF	0.00 SF
LEVEL 06	9023.03 SF	0.00 SF	243.19 SF	113.98 SF	30.02 SF	8635.85 SF	975.06 SF
LEVEL 07	9023.03 SF	0.00 SF	243.19 SF	113.98 SF	30.02 SF	8635.85 SF	975.06 SF
LEVEL 08	9023.03 SF	0.00 SF	243.19 SF	113.98 SF	30.02 SF	8635.85 SF	975.06 SF
LEVEL 09	9023.03 SF	0.00 SF	243.19 SF	113.98 SF	30.02 SF	8635.85 SF	975.06 SF
LEVEL 10	9023.03 SF	0.00 SF	243.19 SF	113.98 SF	30.02 SF	8635.85 SF	975.06 SF
LEVEL 11	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 12	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 13	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 14	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 15	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 16	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 17	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 18	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 19	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 20	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 21	8959.78 SF	0.00 SF	302.10 SF	98.24 SF	23.85 SF	8535.58 SF	1038.31 SF
LEVEL 22	7477.06 SF	4982.92 SF	158.21 SF	97.79 SF	26.00 SF	6898.03 SF	2639.52 SF
<b>TOTAL</b>	<b>235938.85 SF</b>		<b>6778.38 SF</b>	<b>2586.15 SF</b>	<b>604.63 SF</b>	<b>220986.76 SF</b>	<b>23693.46 SF</b>

### FSR SUMMARY

FSR AREA			
PERMITTED		PROVIDED	
FSR		FSR	
RESIDENTIAL	221025.00 SF	RESIDENTIAL	208734.40 SF
		RESIDENTIAL - TOWNHOUSE	12252.36 SF
		<b>TOTAL</b>	<b>220986.76 SF</b>



IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 4 DP AMENDMENT SUBMISSION 2018-07-24
- 5 DP AMENDMENT SUBMISSION 2018-12-07
- 6 DP AMENDMENT SUBMISSION 2019-08-21

FSR SUMMARY SHEET

FSR-001



RESIDENTIAL AREA SUMMARY - TH LEVEL 01	
RESIDENTIAL - TOWNHOUSE	5586.23 SF
MECHANICAL	44.50 SF
STORAGE	197.10 SF
<b>TOTAL GROSS FLOOR AREA</b>	<b>5827.83 SF</b>

RESIDENTIAL AREA SUMMARY - MIDRISE LEVEL 01	
RESIDENTIAL	6908.07 SF
ELECTRICAL	2.80 SF
MECHANICAL	47.79 SF
STORAGE	199.82 SF
<b>TOTAL GROSS FLOOR AREA</b>	<b>7158.47 SF</b>

RESIDENTIAL FSR AREA - TH LEVEL 01		
RESIDENTIAL - TOWNHOUSE	R-THL01.1	798.04 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.2	791.48 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.3	791.48 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.4	797.93 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.5	797.96 SF
RESIDENTIAL - TOWNHOUSE	R-THL01.6	1609.33 SF
<b>TOTAL RESIDENTIAL FSR AREA</b>		<b>5586.23 SF</b>

RESIDENTIAL FSR AREA - M LEVEL 01		
RESIDENTIAL	R-ML01.01	886.65 SF
RESIDENTIAL	R-ML01.02	815.06 SF
RESIDENTIAL	R-ML01.03	817.05 SF
RESIDENTIAL	R-ML01.04	816.05 SF
RESIDENTIAL	R-ML01.05	817.14 SF
RESIDENTIAL	R-ML01.06	816.96 SF
RESIDENTIAL	R-ML01.07	814.71 SF
RESIDENTIAL	R-ML01.08	808.35 SF
RESIDENTIAL	R-ML01.09	316.09 SF
<b>TOTAL RESIDENTIAL FSR AREA</b>		<b>6908.07 SF</b>

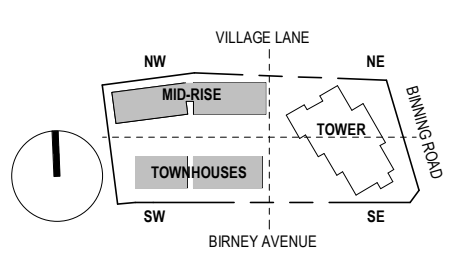
MECHANICAL R EXCLUSION - TH LEVEL 01		
MECHANICAL	M-THL01.1	5.94 SF
MECHANICAL	M-THL01.2	5.94 SF
MECHANICAL	M-THL01.3	5.94 SF
MECHANICAL	M-THL01.4	5.94 SF
MECHANICAL	M-THL01.5	5.91 SF
MECHANICAL	M-THL01.6	9.07 SF
MECHANICAL	M-THL01.6	5.78 SF
<b>TOTAL MECHANICAL EXCLUSION</b>		<b>44.50 SF</b>

MECHANICAL R EXCLUSION - M LEVEL 01		
MECHANICAL	M-ML01.02	6.27 SF
MECHANICAL	M-ML01.03	6.27 SF
MECHANICAL	M-ML01.04	6.27 SF
MECHANICAL	M-ML01.05	6.37 SF
MECHANICAL	M-ML01.06	6.27 SF
MECHANICAL	M-ML01.07	6.27 SF
MECHANICAL	M-ML01.09	10.07 SF
<b>TOTAL MECHANICAL EXCLUSION</b>		<b>47.79 SF</b>

STORAGE R EXCLUSION - TH LEVEL 01		
STORAGE	S-THL01.1	31.33 SF
STORAGE	S-THL01.2	31.44 SF
STORAGE	S-THL01.3	31.44 SF
STORAGE	S-THL01.4	31.44 SF
STORAGE	S-THL01.5	31.44 SF
STORAGE	S-THL01.6	40.00 SF
<b>TOTAL STORAGE EXCLUSION</b>		<b>197.10 SF</b>

STORAGE R EXCLUSION - M LEVEL 01		
STORAGE	S-ML01.02	34.67 SF
STORAGE	S-ML01.03	32.68 SF
STORAGE	S-ML01.04	32.39 SF
STORAGE	S-ML01.05	32.39 SF
STORAGE	S-ML01.06	32.68 SF
STORAGE	S-ML01.07	35.02 SF
<b>TOTAL STORAGE EXCLUSION</b>		<b>199.82 SF</b>

ELECTRICAL R EXCLUSION - M LEVEL 01		
ELECTRICAL	E-ML01.09	2.80 SF
<b>TOTAL ELECTRICAL EXCLUSION</b>		<b>2.80 SF</b>



IVY ON THE PARK  
LOT 8

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- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
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- 4 DP AMENDMENT SUBMISSION 2018-07-24
- 5 DP AMENDMENT SUBMISSION 2018-12-07
- 6 DP AMENDMENT SUBMISSION 2019-08-21

FSR PLAN - MIDRISE & TOWNHOUSES - LEVEL 01

FSR-111

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1 FSR\_PLAN\_MIDRISE & TOWNHOUSES LEVEL 01  
1/8" = 1'-0"

SUITE	208-5681
TYPE	1 BR
SIZE	475 SF

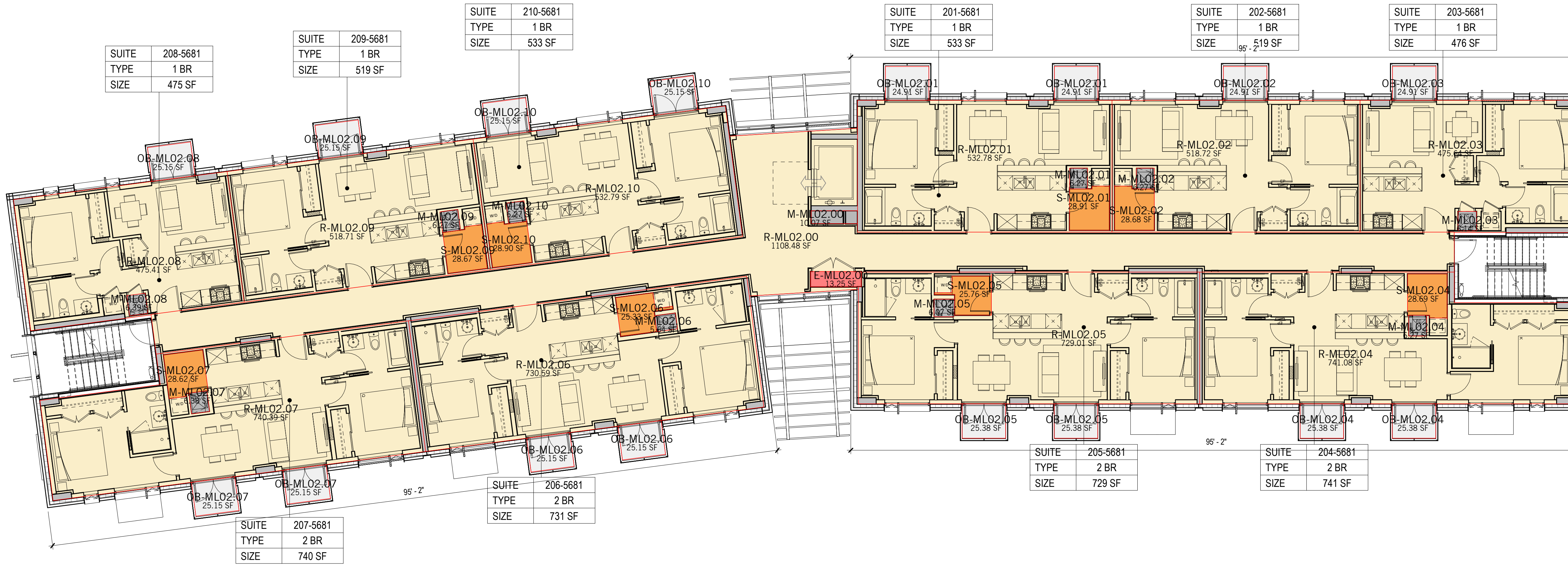
SUITE	209-5681
TYPE	1 BR
SIZE	519 SF

SUITE	210-5681
TYPE	1 BR
SIZE	533 SF

SUITE	201-5681
TYPE	1 BR
SIZE	533 SF

SUITE	202-5681
TYPE	1 BR
SIZE	519 SF

SUITE	203-5681
TYPE	1 BR
SIZE	476 SF



SUITE	207-5681
TYPE	2 BR
SIZE	740 SF

SUITE	206-5681
TYPE	2 BR
SIZE	731 SF

SUITE	205-5681
TYPE	2 BR
SIZE	729 SF

SUITE	204-5681
TYPE	2 BR
SIZE	741 SF

SUITE	TH6-5681
TYPE	3 BR+D
SIZE	1,696 SF

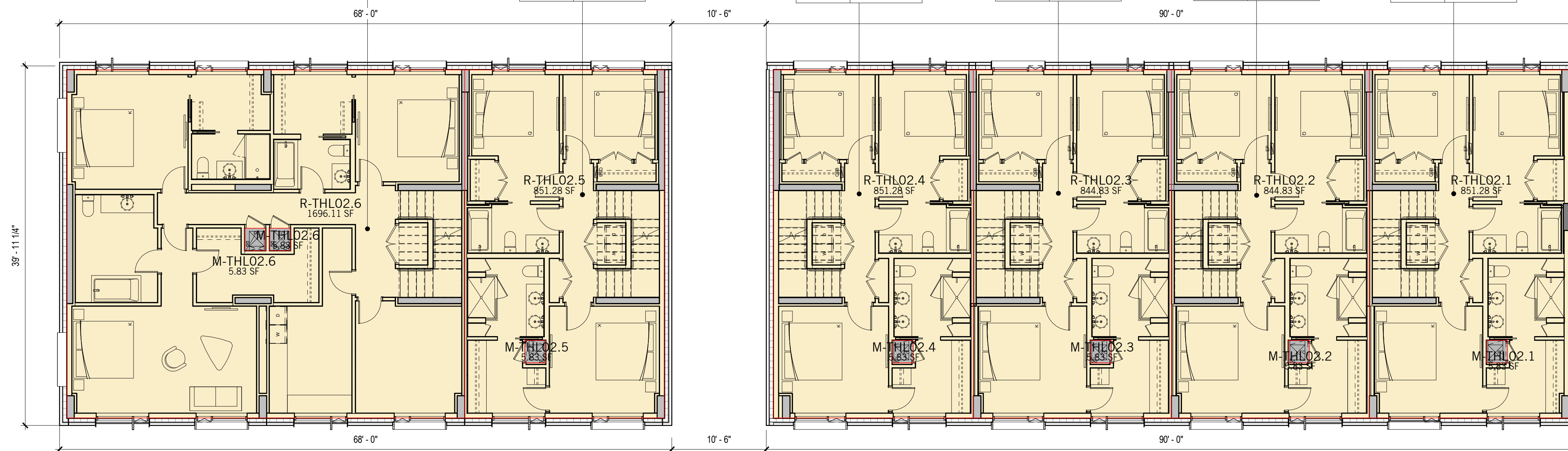
SUITE	TH5-5681
TYPE	3 BR+D
SIZE	851 SF

SUITE	TH4-5681
TYPE	3 BR+D
SIZE	851 SF

SUITE	TH3-5681
TYPE	3 BR+D
SIZE	845 SF

SUITE	TH2-5681
TYPE	3 BR+D
SIZE	845 SF

SUITE	TH1-5681
TYPE	3 BR+D
SIZE	851 SF



RESIDENTIAL AREA SUMMARY - TH LEVEL 02		
RESIDENTIAL - TOWNHOUSE		5939.61 SF
MECHANICAL		40.84 SF
<b>TOTAL GROSS FLOOR AREA</b>		<b>5980.44 SF</b>

RESIDENTIAL AREA SUMMARY - MIDRISE LEVEL 02		
RESIDENTIAL		7103.60 SF
ELECTRICAL		13.25 SF
MECHANICAL		72.04 SF
STORAGE		223.56 SF
<b>TOTAL GROSS FLOOR AREA</b>		<b>7412.45 SF</b>

RESIDENTIAL FSR AREA - TH LEVEL 02		
RESIDENTIAL - TOWNHOUSE	R-THL02.1	851.28 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.2	844.83 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.3	844.83 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.4	851.28 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.5	851.28 SF
RESIDENTIAL - TOWNHOUSE	R-THL02.6	1696.11 SF
<b>TOTAL RESIDENTIAL FSR AREA</b>		<b>5939.61 SF</b>

RESIDENTIAL FSR AREA - M LEVEL 02		
RESIDENTIAL	R-ML02.00	1108.48 SF
RESIDENTIAL	R-ML02.01	532.78 SF
RESIDENTIAL	R-ML02.02	518.72 SF
RESIDENTIAL	R-ML02.03	475.64 SF
RESIDENTIAL	R-ML02.04	741.08 SF
RESIDENTIAL	R-ML02.05	729.01 SF
RESIDENTIAL	R-ML02.06	730.59 SF
RESIDENTIAL	R-ML02.07	740.39 SF
RESIDENTIAL	R-ML02.08	475.41 SF
RESIDENTIAL	R-ML02.09	518.71 SF
RESIDENTIAL	R-ML02.10	532.79 SF
<b>TOTAL RESIDENTIAL FSR AREA</b>		<b>7103.60 SF</b>

MECHANICAL R EXCLUSION - TH LEVEL 02		
MECHANICAL	M-THL02.1	5.83 SF
MECHANICAL	M-THL02.2	5.83 SF
MECHANICAL	M-THL02.3	5.83 SF
MECHANICAL	M-THL02.4	5.83 SF
MECHANICAL	M-THL02.5	5.83 SF
MECHANICAL	M-THL02.6	5.83 SF
<b>TOTAL MECHANICAL EXCLUSION</b>		<b>40.84 SF</b>

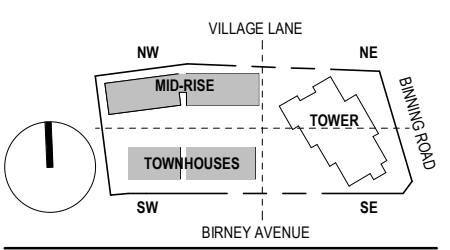
MECHANICAL R EXCLUSION - M LEVEL 02		
MECHANICAL	M-ML02.00	10.07 SF
MECHANICAL	M-ML02.01	6.27 SF
MECHANICAL	M-ML02.02	6.27 SF
MECHANICAL	M-ML02.03	6.14 SF
MECHANICAL	M-ML02.04	6.27 SF
MECHANICAL	M-ML02.05	6.07 SF
MECHANICAL	M-ML02.06	5.64 SF
MECHANICAL	M-ML02.07	6.38 SF
MECHANICAL	M-ML02.08	6.39 SF
MECHANICAL	M-ML02.09	6.27 SF
MECHANICAL	M-ML02.10	6.27 SF
<b>TOTAL MECHANICAL EXCLUSION</b>		<b>72.04 SF</b>

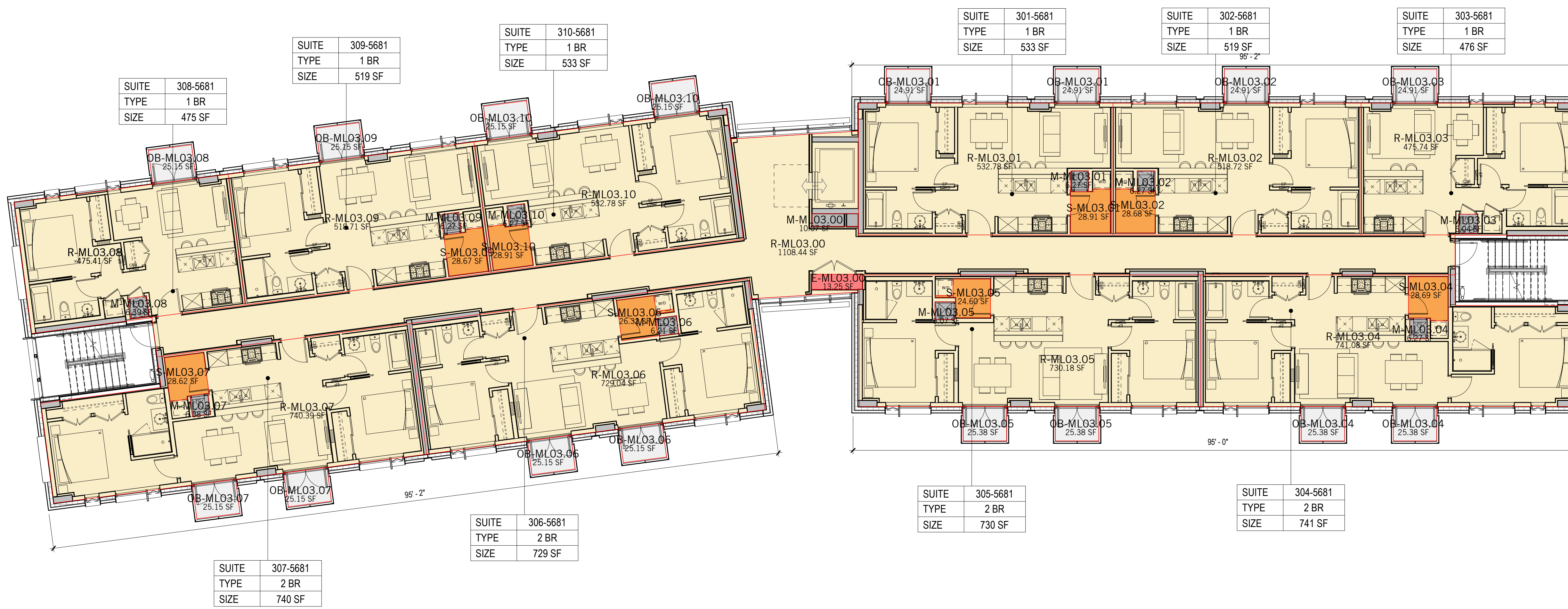
STORAGE R EXCLUSION - M LEVEL 02		
STORAGE	S-ML02.01	28.91 SF
STORAGE	S-ML02.02	28.68 SF
STORAGE	S-ML02.04	28.69 SF
STORAGE	S-ML02.05	25.76 SF
STORAGE	S-ML02.06	25.33 SF
STORAGE	S-ML02.07	28.62 SF
STORAGE	S-ML02.09	28.67 SF
STORAGE	S-ML02.10	28.90 SF
<b>TOTAL STORAGE EXCLUSION</b>		<b>223.56 SF</b>

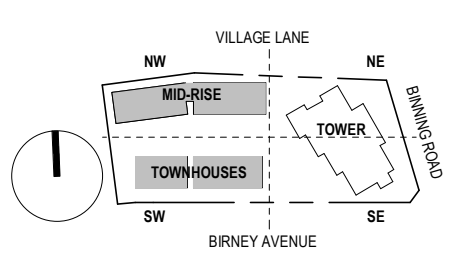
ELECTRICAL R EXCLUSION - M LEVEL 02		
ELECTRICAL	E-ML02.00	13.25 SF
<b>TOTAL ELECTRICAL EXCLUSION</b>		<b>13.25 SF</b>



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- 4 RE-SUBMISSION
- 5 DP AMENDMENT SUBMISSION 2018-07-24
- 6 DP AMENDMENT SUBMISSION 2018-12-07
- 7 DP AMENDMENT SUBMISSION 2019-08-21



RESIDENTIAL AREA SUMMARY - MIDRISE & TH LEVEL 03	
RESIDENTIAL	7103.26 SF
RESIDENTIAL - TOWNHOUSE	726.53 SF
FSR R AREA	7829.79 SF
ELECTRICAL	13.25 SF
MECHANICAL	72.51 SF
STORAGE	223.39 SF
FSR R EXCLUSION	309.15 SF
TOTAL GROSS FLOOR AREA	8138.94 SF
RESIDENTIAL FSR AREA - TH LEVEL 03	
RESIDENTIAL - TOWNHOUSE	R-THL03.1 103.79 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.2 103.79 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.3 103.79 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.4 103.79 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.5 103.79 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.6 103.79 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.6 103.79 SF
RESIDENTIAL - TOWNHOUSE	R-THL03.6 103.79 SF
TOTAL RESIDENTIAL FSR AREA	726.53 SF
RESIDENTIAL FSR AREA - M LEVEL 03	
RESIDENTIAL	R-ML03.00 1108.44 SF
RESIDENTIAL	R-ML03.01 532.78 SF
RESIDENTIAL	R-ML03.02 518.72 SF
RESIDENTIAL	R-ML03.03 475.74 SF
RESIDENTIAL	R-ML03.04 741.08 SF
RESIDENTIAL	R-ML03.05 730.18 SF
RESIDENTIAL	R-ML03.06 729.04 SF
RESIDENTIAL	R-ML03.07 740.39 SF
RESIDENTIAL	R-ML03.08 475.41 SF
RESIDENTIAL	R-ML03.09 518.71 SF
RESIDENTIAL	R-ML03.10 532.78 SF
TOTAL RESIDENTIAL FSR AREA	7103.26 SF
MECHANICAL R EXCLUSION - M LEVEL 03	
MECHANICAL	M-ML03.00 10.07 SF
MECHANICAL	M-ML03.01 6.27 SF
MECHANICAL	M-ML03.02 6.27 SF
MECHANICAL	M-ML03.03 6.04 SF
MECHANICAL	M-ML03.04 6.27 SF
MECHANICAL	M-ML03.05 6.07 SF
MECHANICAL	M-ML03.06 6.21 SF
MECHANICAL	M-ML03.07 6.38 SF
MECHANICAL	M-ML03.08 6.39 SF
MECHANICAL	M-ML03.09 6.27 SF
MECHANICAL	M-ML03.10 6.27 SF
TOTAL MECHANICAL EXCLUSION	72.51 SF
STORAGE R EXCLUSION - M LEVEL 03	
STORAGE	S-ML03.01 28.91 SF
STORAGE	S-ML03.02 28.68 SF
STORAGE	S-ML03.04 28.69 SF
STORAGE	S-ML03.05 24.60 SF
STORAGE	S-ML03.06 26.32 SF
STORAGE	S-ML03.07 28.62 SF
STORAGE	S-ML03.09 28.67 SF
STORAGE	S-ML03.10 28.91 SF
TOTAL STORAGE EXCLUSION	223.39 SF
OPEN BALCONY R NON GFA - M LEVEL 03	
OPEN BALCONY	OB-ML03.01 49.82 SF
OPEN BALCONY	OB-ML03.02 24.91 SF
OPEN BALCONY	OB-ML03.03 24.91 SF
OPEN BALCONY	OB-ML03.04 50.76 SF
OPEN BALCONY	OB-ML03.05 50.76 SF
OPEN BALCONY	OB-ML03.06 50.29 SF
OPEN BALCONY	OB-ML03.07 50.29 SF
OPEN BALCONY	OB-ML03.08 25.15 SF
OPEN BALCONY	OB-ML03.09 25.15 SF
OPEN BALCONY	OB-ML03.10 50.29 SF
TOTAL ENCLOSED BALCONY EXCLUSION	402.33 SF
ELECTRICAL R EXCLUSION - M LEVEL 03	
ELECTRICAL	E-ML03.00 13.25 SF
TOTAL ELECTRICAL EXCLUSION	13.25 SF



IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 5 DP AMENDMENT SUBMISSION 2018-12-07
- 6 DP AMENDMENT SUBMISSION 2019-08-21

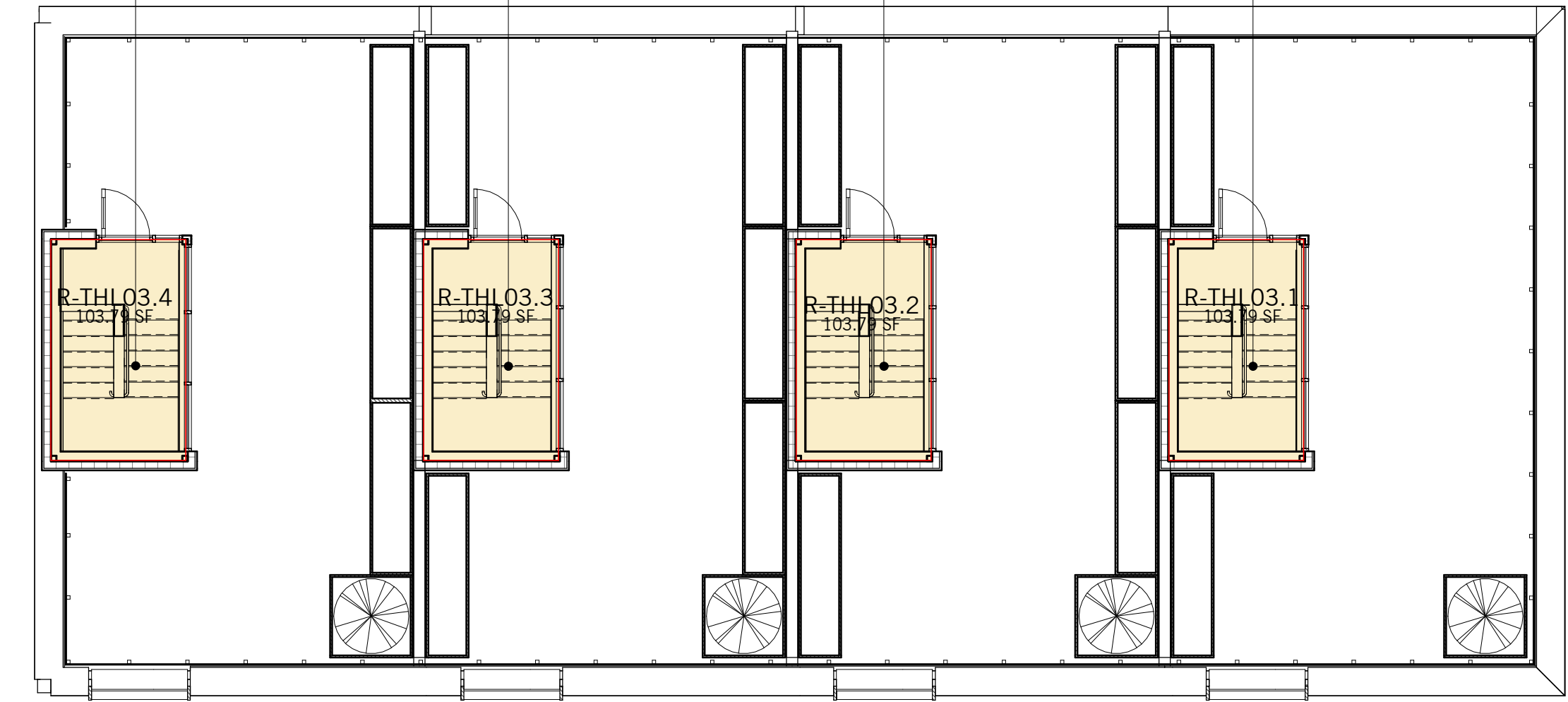
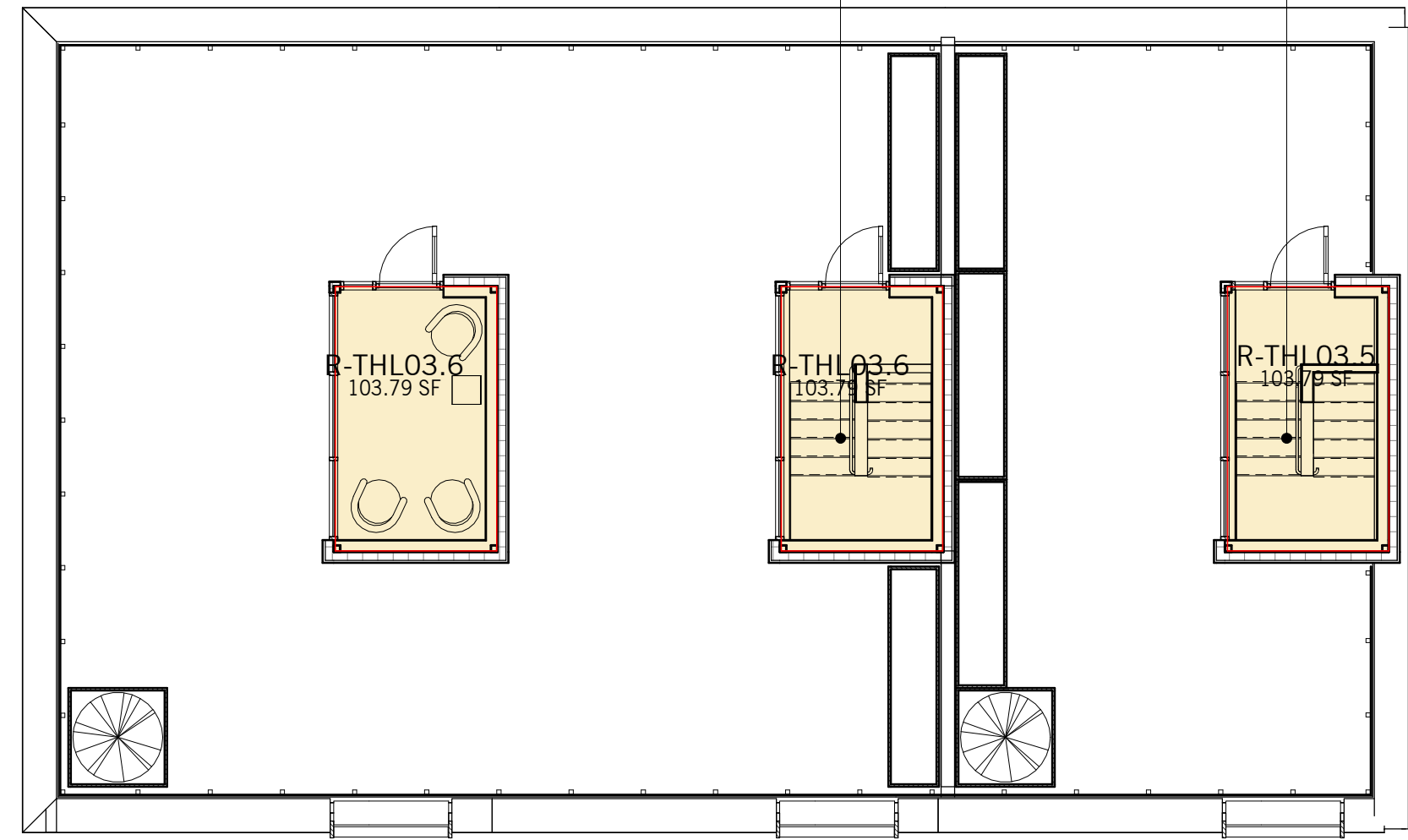
FSR PLAN - MIDRISE &  
TOWNHOUSES - LEVEL  
03

FSR-113

TH	TH6-5681	TH	TH5-5681
TYPE	3 BR+D	TYPE	3 BR+D
SIZE	104 SF	SIZE	104 SF

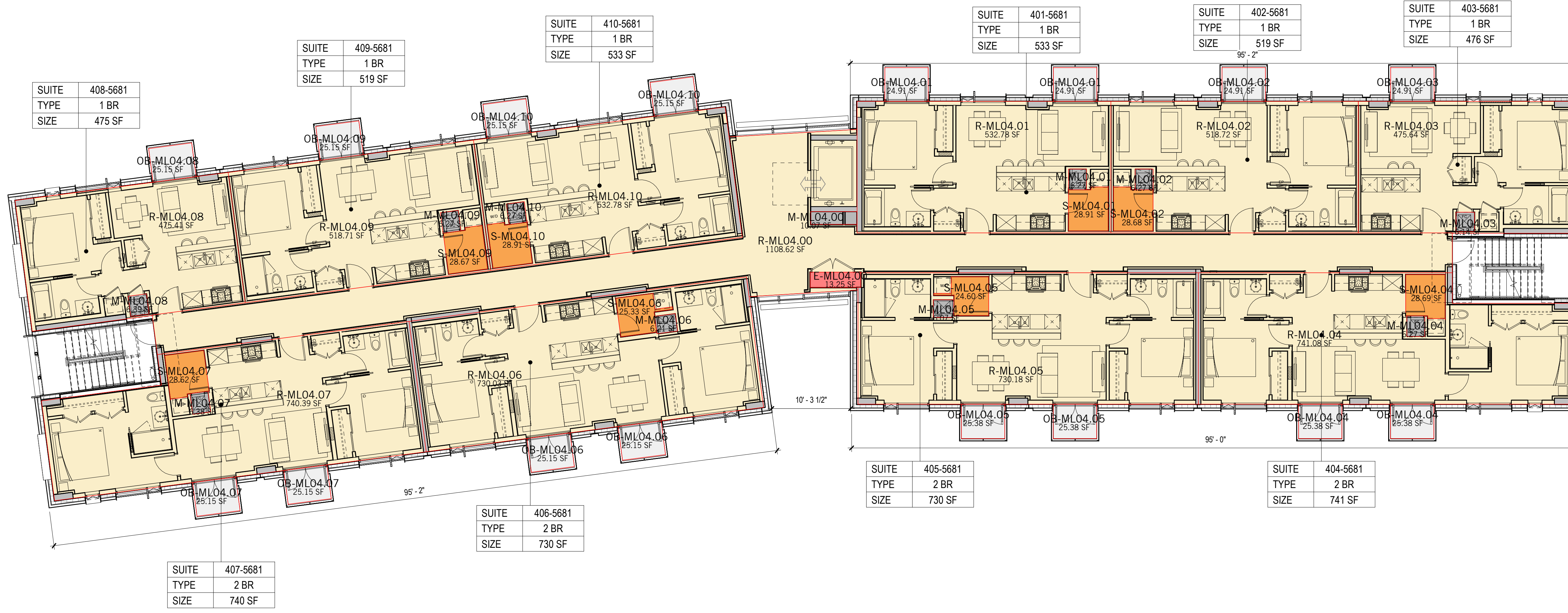
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TYPE	3 BR+D	TYPE	3 BR+D
SIZE	104 SF	SIZE	104 SF

TH	TH2-5681	TH	TH1-5681
TYPE	3 BR+D	TYPE	3 BR+D
SIZE	104 SF	SIZE	104 SF

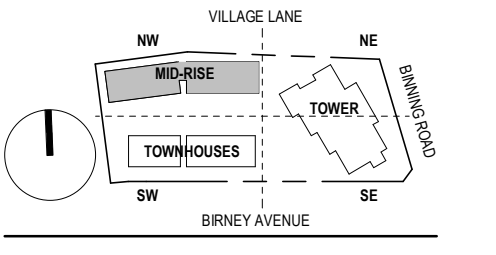


FSR\_PLAN\_MIDRISE &  
TOWNHOUSES LEVEL 03

1  
1/8" = 1'-0"



RESIDENTIAL AREA SUMMARY - MIDRISE LEVEL 04		
RESIDENTIAL		7104.34 SF
FSR R AREA		7104.34 SF
ELECTRICAL		13.25 SF
MECHANICAL		72.61 SF
STORAGE		222.40 SF
FSR R EXCLUSION		308.26 SF
TOTAL GROSS FLOOR AREA		7412.59 SF
RESIDENTIAL FSR AREA - M LEVEL 04		
RESIDENTIAL	R-ML04.00	1108.62 SF
RESIDENTIAL	R-ML04.01	532.78 SF
RESIDENTIAL	R-ML04.02	518.72 SF
RESIDENTIAL	R-ML04.03	475.64 SF
RESIDENTIAL	R-ML04.04	741.08 SF
RESIDENTIAL	R-ML04.05	730.18 SF
RESIDENTIAL	R-ML04.06	730.03 SF
RESIDENTIAL	R-ML04.07	740.39 SF
RESIDENTIAL	R-ML04.08	475.41 SF
RESIDENTIAL	R-ML04.09	518.71 SF
RESIDENTIAL	R-ML04.10	532.78 SF
TOTAL RESIDENTIAL FSR AREA		7104.34 SF
MECHANICAL R EXCLUSION - M LEVEL 04		
MECHANICAL	M-ML04.00	10.07 SF
MECHANICAL	M-ML04.01	6.27 SF
MECHANICAL	M-ML04.02	6.27 SF
MECHANICAL	M-ML04.03	6.14 SF
MECHANICAL	M-ML04.04	6.27 SF
MECHANICAL	M-ML04.05	6.07 SF
MECHANICAL	M-ML04.06	6.21 SF
MECHANICAL	M-ML04.07	6.38 SF
MECHANICAL	M-ML04.08	6.39 SF
MECHANICAL	M-ML04.09	6.27 SF
MECHANICAL	M-ML04.10	6.27 SF
TOTAL MECHANICAL EXCLUSION		72.61 SF
STORAGE R EXCLUSION - M LEVEL 04		
STORAGE	S-ML04.01	28.91 SF
STORAGE	S-ML04.02	28.68 SF
STORAGE	S-ML04.04	28.69 SF
STORAGE	S-ML04.05	24.60 SF
STORAGE	S-ML04.06	25.33 SF
STORAGE	S-ML04.07	28.62 SF
STORAGE	S-ML04.09	28.67 SF
STORAGE	S-ML04.10	28.91 SF
TOTAL STORAGE EXCLUSION		222.40 SF
OPEN BALCONY R NON GFA - M LEVEL 04		
OPEN BALCONY	OB-ML04.01	49.82 SF
OPEN BALCONY	OB-ML04.02	24.91 SF
OPEN BALCONY	OB-ML04.03	24.91 SF
OPEN BALCONY	OB-ML04.04	50.76 SF
OPEN BALCONY	OB-ML04.05	50.76 SF
OPEN BALCONY	OB-ML04.06	50.29 SF
OPEN BALCONY	OB-ML04.07	50.29 SF
OPEN BALCONY	OB-ML04.08	25.15 SF
OPEN BALCONY	OB-ML04.09	25.15 SF
OPEN BALCONY	OB-ML04.10	50.29 SF
TOTAL ENCLOSED BALCONY EXCLUSION		402.33 SF
ELECTRICAL R EXCLUSION - M LEVEL 04		
ELECTRICAL	E-ML04.00	13.25 SF
TOTAL ELECTRICAL EXCLUSION		13.25 SF



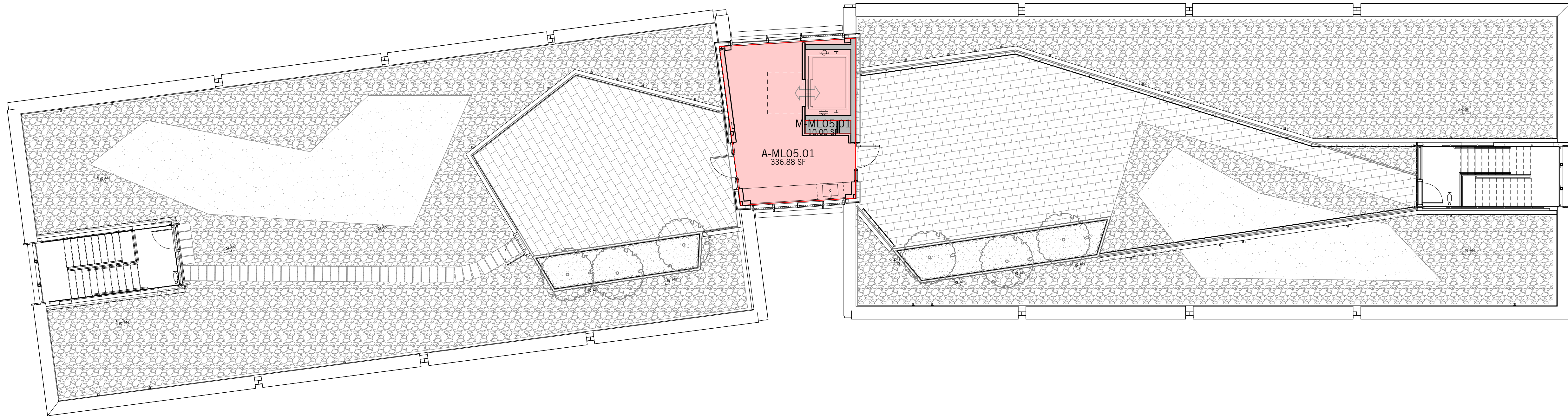
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-07-24
- 5 DP AMENDMENT SUBMISSION 2018-12-07
- 6 DP AMENDMENT SUBMISSION 2019-08-21

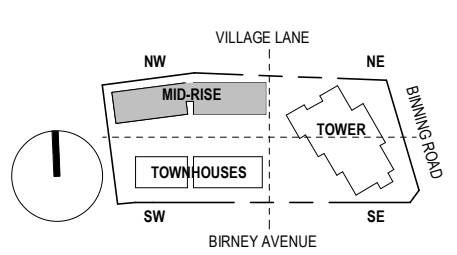
FSR PLAN - MIDRISE - LEVEL 04

FSR-114

1 FSR PLAN MIDRISE LEVEL 04  
1/8" = 1'-0"



RESIDENTIAL AREA SUMMARY - MIDRISE LEVEL 05		
AMENITY		336.88 SF
MECHANICAL		10.00 SF
FSR R EXCLUSION		346.88 SF
<b>TOTAL GROSS FLOOR AREA</b>		<b>346.88 SF</b>
AMENITY R EXCLUSION - M LEVEL 05		
AMENITY	A-ML05.01	336.88 SF
<b>TOTAL AMENITY EXCLUSION</b>		<b>336.88 SF</b>

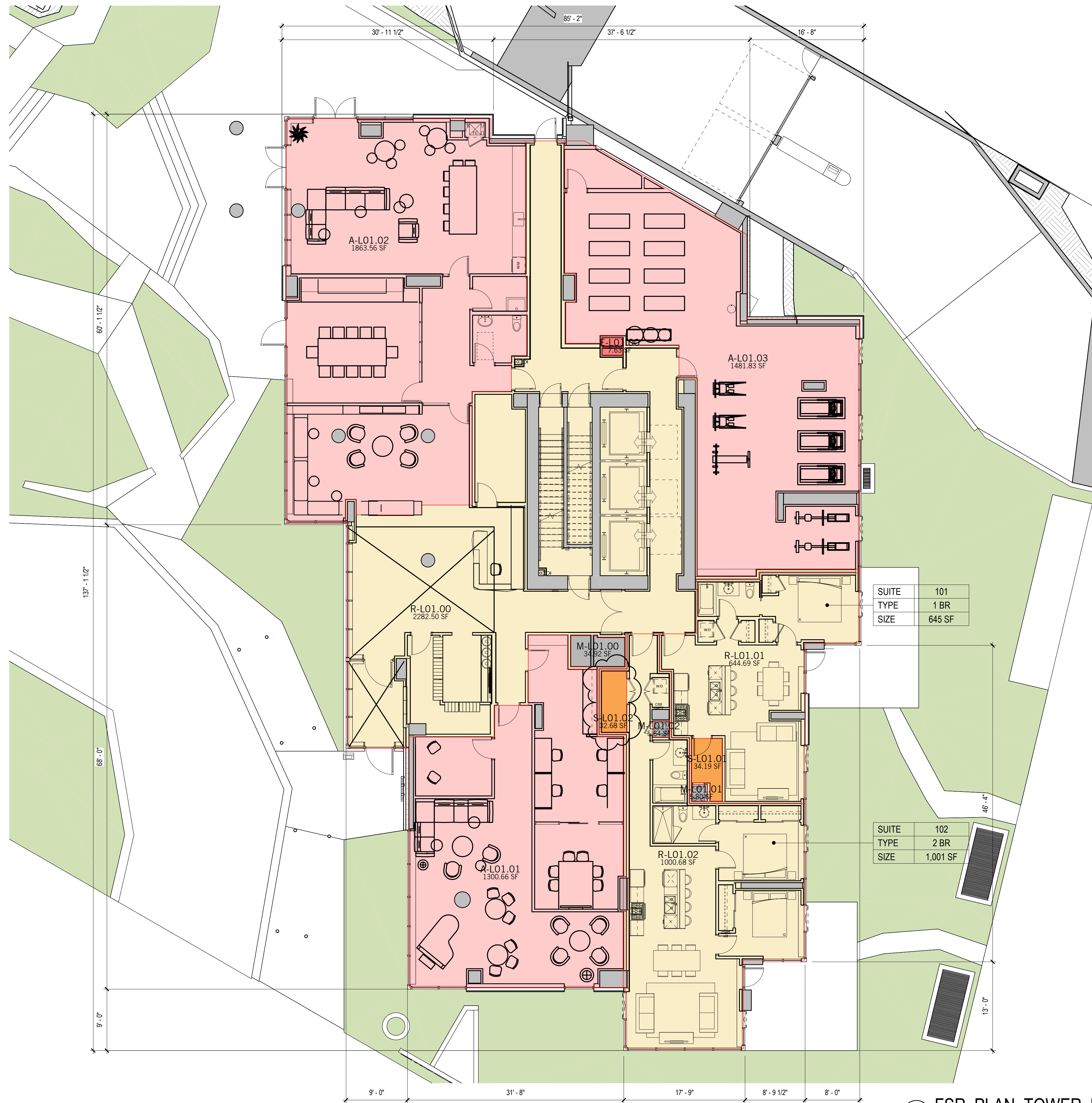


IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-07-24
- 5 DP AMENDMENT SUBMISSION 2018-12-07

FSR PLAN - MIDRISE -  
LEVEL 05

FSR-115



RESIDENTIAL AREA SUMMARY - LEVEL 01	
RESIDENTIAL	3927.87 SF
FSR R AREA	3927.87 SF
AMENITY	4646.04 SF
ELECTRICAL	7.63 SF
MECHANICAL	46.36 SF
STORAGE	66.87 SF
FSR R EXCLUSION	4766.90 SF
TOTAL GROSS FLOOR AREA	8694.77 SF

RESIDENTIAL FSR AREA - LEVEL 01		
RESIDENTIAL	R-L01.00	2282.50 SF
RESIDENTIAL	R-L01.01	644.69 SF
RESIDENTIAL	R-L01.02	1000.68 SF
TOTAL RESIDENTIAL FSR AREA		3927.87 SF

ELECTRICAL R EXCLUSION - LEVEL 01	
ELECTRICAL	E-L01.00 7.63 SF
TOTAL WALL EXCLUSION	7.63 SF

MECHANICAL R EXCLUSION - LEVEL 01	
MECHANICAL	M-L01.00 34.92 SF
MECHANICAL	M-L01.01 5.80 SF
MECHANICAL	M-L01.02 5.64 SF
TOTAL MECHANICAL EXCLUSION	46.36 SF

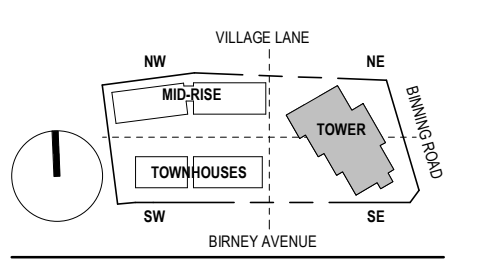
STORAGE R EXCLUSION - LEVEL 01	
STORAGE	S-L01.01 34.19 SF
STORAGE	S-L01.02 32.68 SF
TOTAL STORAGE EXCLUSION	66.87 SF

AMENITY R EXCLUSION - LEVEL 01	
AMENITY	A-L01.01 1300.66 SF
AMENITY	A-L01.02 1863.56 SF
AMENITY	A-L01.03 1481.83 SF
TOTAL AMENITY EXCLUSION	4646.04 SF

SUITE	101
TYPE	1 BR
SIZE	645 SF

SUITE	102
TYPE	2 BR
SIZE	1,001 SF



IVY ON THE PARK  
LOT 8

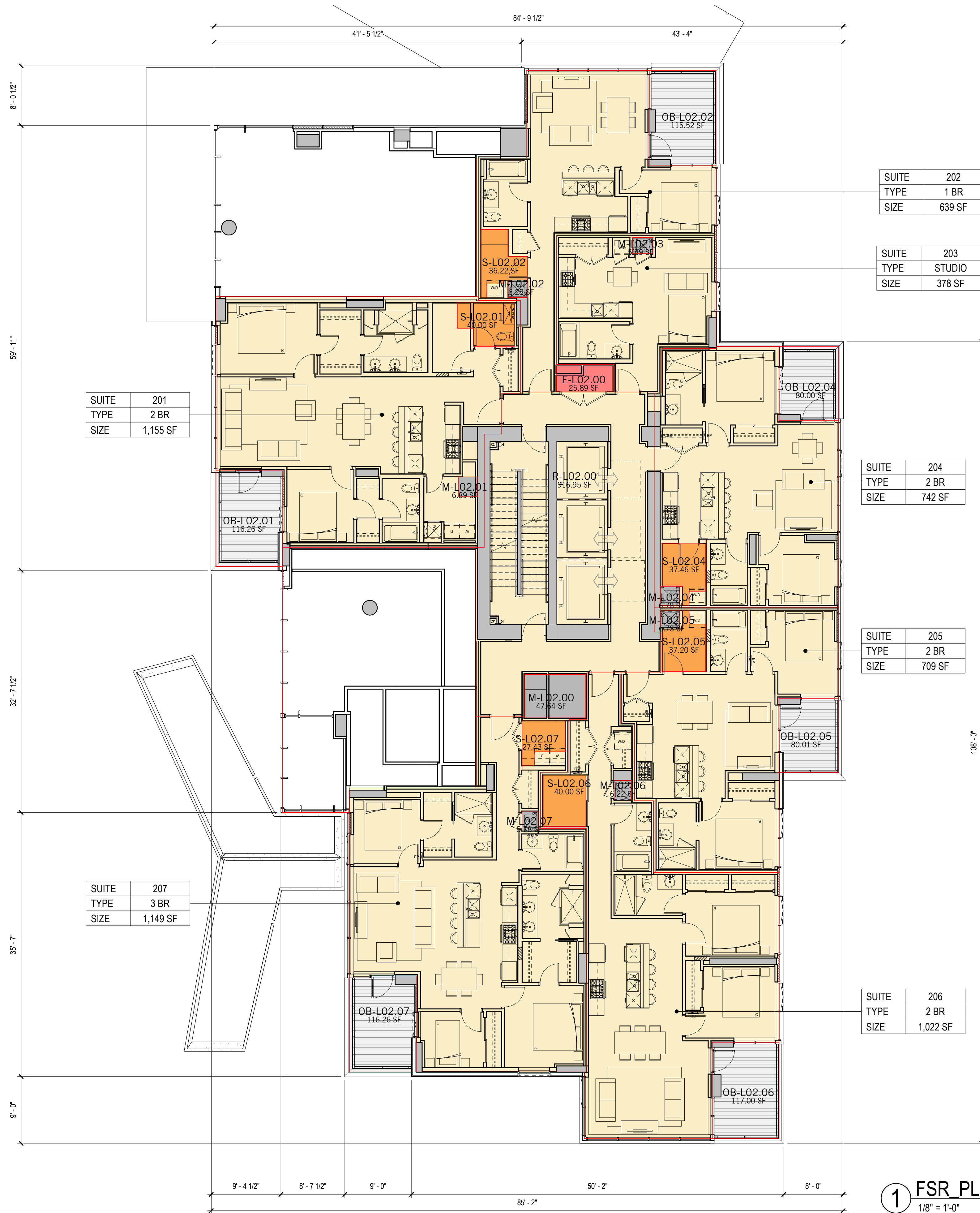
- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
- 2 DEVELOPMENT PERMIT SUBMISSION 2018-01-23
- 3 DEVELOPMENT PERMIT RE-SUBMISSION 2018-03-02
- 4 DP AMENDMENT SUBMISSION 2018-05-24
- 5 DP AMENDMENT SUBMISSION 2018-12-07
- 6 DP AMENDMENT SUBMISSION 2019-08-21

FSR PLAN - TOWER -  
LEVEL 01

FSR-121

1 FSR PLAN TOWER LEVEL 01  
1/8" = 1'-0"





SUITE	201
TYPE	2 BR
SIZE	1,155 SF

SUITE	207
TYPE	3 BR
SIZE	1,149 SF

SUITE	202
TYPE	1 BR
SIZE	639 SF

SUITE	203
TYPE	STUDIO
SIZE	378 SF

SUITE	204
TYPE	2 BR
SIZE	742 SF

SUITE	205
TYPE	2 BR
SIZE	709 SF

SUITE	206
TYPE	2 BR
SIZE	1,022 SF

RESIDENTIAL AREA SUMMARY - LEVEL 02	
RESIDENTIAL	6711.10 SF
FSR R AREA	6711.10 SF
ELECTRICAL	25.89 SF
MECHANICAL	92.20 SF
STORAGE	218.32 SF
FSR R EXCLUSION	336.41 SF
TOTAL GROSS FLOOR AREA	7047.51 SF

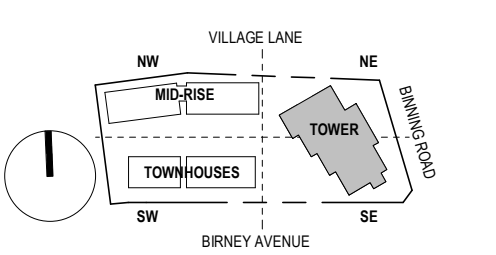
RESIDENTIAL FSR AREA - LEVEL 02		
RESIDENTIAL	R-L02.00	916.95 SF
RESIDENTIAL	R-L02.01	1155.33 SF
RESIDENTIAL	R-L02.02	639.17 SF
RESIDENTIAL	R-L02.03	377.78 SF
RESIDENTIAL	R-L02.04	741.88 SF
RESIDENTIAL	R-L02.05	708.65 SF
RESIDENTIAL	R-L02.06	1021.86 SF
RESIDENTIAL	R-L02.07	1149.48 SF
TOTAL RESIDENTIAL FSR AREA		6711.10 SF

ELECTRICAL R EXCLUSION - LEVEL 02		
ELECTRICAL	E-L02.00	25.89 SF
TOTAL WALL EXCLUSION		25.89 SF

MECHANICAL R EXCLUSION - LEVEL 02		
MECHANICAL	M-L02.00	47.64 SF
MECHANICAL	M-L02.01	6.89 SF
MECHANICAL	M-L02.02	6.28 SF
MECHANICAL	M-L02.03	5.89 SF
MECHANICAL	M-L02.04	6.78 SF
MECHANICAL	M-L02.05	6.73 SF
MECHANICAL	M-L02.06	6.22 SF
MECHANICAL	M-L02.07	5.78 SF
TOTAL MECHANICAL EXCLUSION		92.20 SF

STORAGE R EXCLUSION - LEVEL 02		
STORAGE	S-L02.01	40.00 SF
STORAGE	S-L02.02	36.22 SF
STORAGE	S-L02.04	37.46 SF
STORAGE	S-L02.05	37.20 SF
STORAGE	S-L02.06	40.00 SF
STORAGE	S-L02.07	27.43 SF
TOTAL STORAGE EXCLUSION		218.32 SF

OPEN BALCONY R NON GFA - LEVEL 02		
OPEN BALCONY	OB-L02.01	116.26 SF
OPEN BALCONY	OB-L02.02	115.52 SF
OPEN BALCONY	OB-L02.04	80.00 SF
OPEN BALCONY	OB-L02.05	80.01 SF
OPEN BALCONY	OB-L02.06	117.00 SF
OPEN BALCONY	OB-L02.07	116.26 SF
TOTAL ENCLOSED BALCONY EXCLUSION		625.04 SF



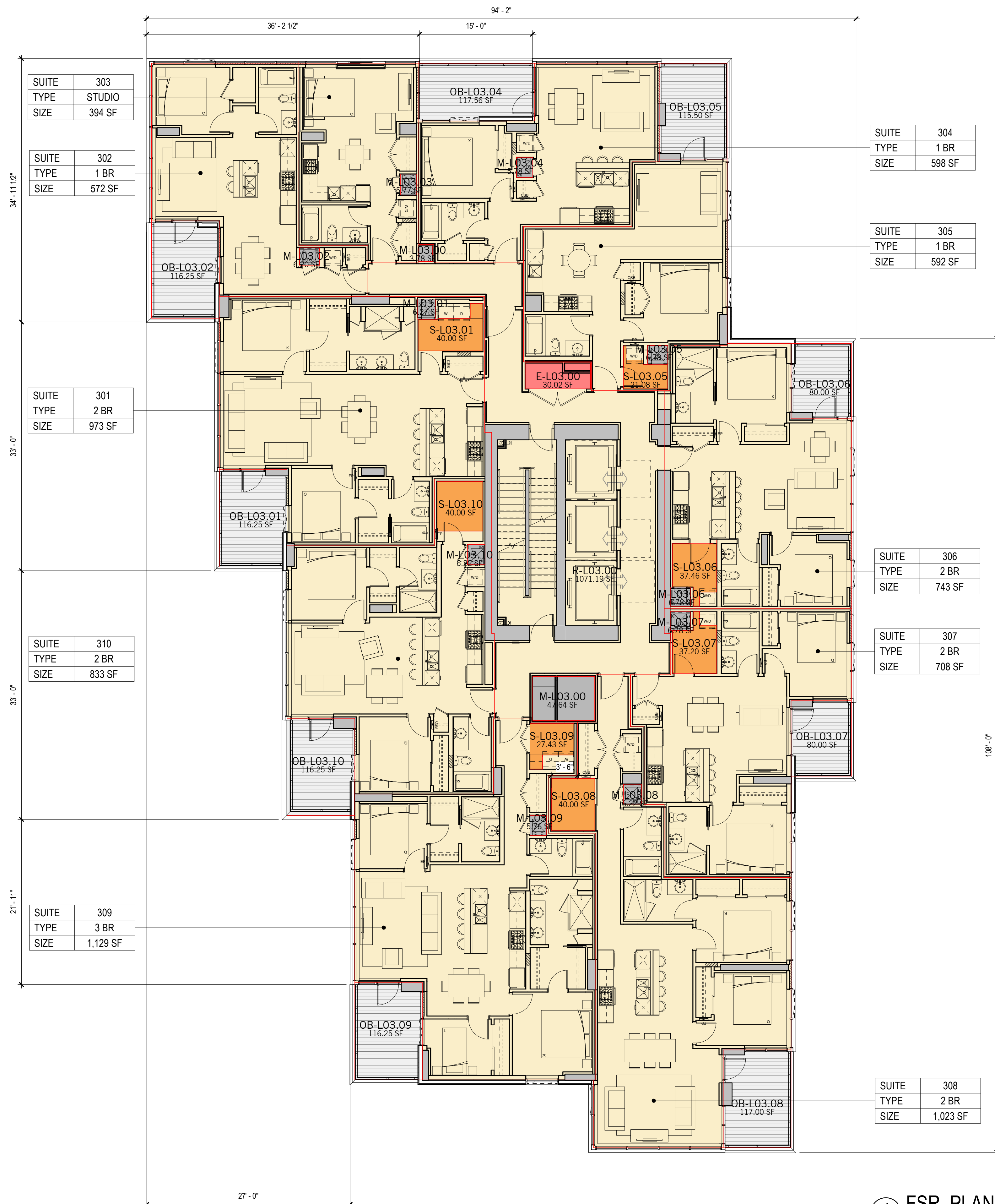
IVY ON THE PARK  
LOT 8

- 1 PRE-OP APPLICATION SUBMISSION 2017-12-06
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- 4 DP AMENDMENT SUBMISSION 2018-07-24
- 5 DP AMENDMENT SUBMISSION 2018-12-07

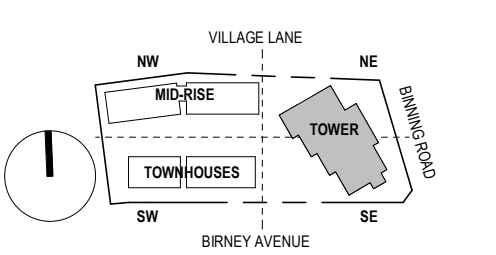
FSR PLAN - TOWER -  
LEVEL 02

FSR-122

1 FSR PLAN TOWER LEVEL 02  
1/8" = 1'-0"

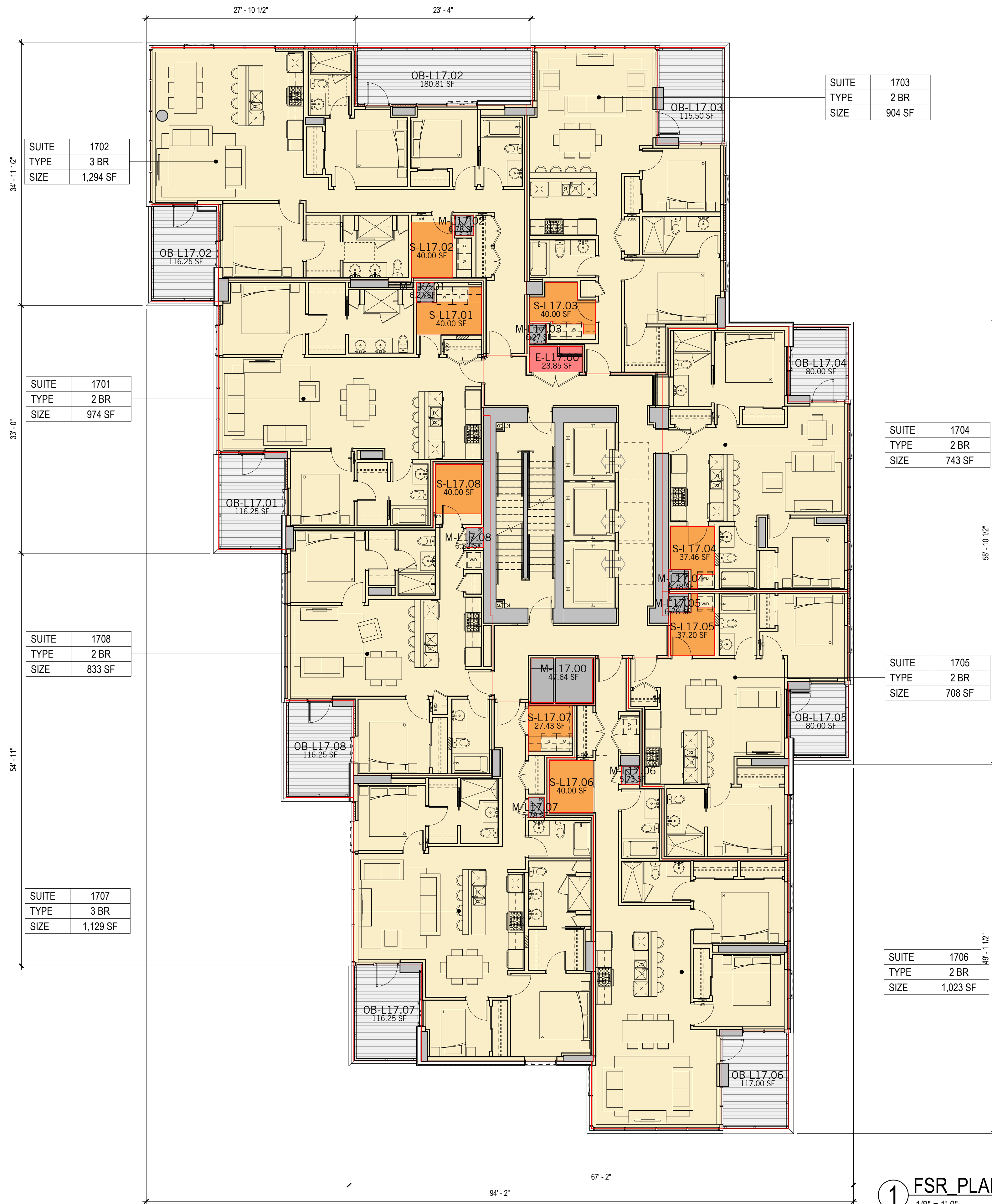


RESIDENTIAL AREA SUMMARY - LEVELS 03-10		
RESIDENTIAL		8635.85 SF
FSR R AREA		8635.85 SF
ELECTRICAL		30.02 SF
MECHANICAL		113.98 SF
STORAGE		243.19 SF
FSR R EXCLUSION		387.19 SF
TOTAL GROSS FLOOR AREA		9023.03 SF
RESIDENTIAL FSR AREA - LEVELS 03-10		
RESIDENTIAL	R-L03.00	1071.19 SF
RESIDENTIAL	R-L03.01	973.26 SF
RESIDENTIAL	R-L03.02	571.66 SF
RESIDENTIAL	R-L03.03	394.15 SF
RESIDENTIAL	R-L03.04	597.83 SF
RESIDENTIAL	R-L03.05	591.89 SF
RESIDENTIAL	R-L03.06	742.83 SF
RESIDENTIAL	R-L03.07	708.26 SF
RESIDENTIAL	R-L03.08	1022.52 SF
RESIDENTIAL	R-L03.09	1129.24 SF
RESIDENTIAL	R-L03.10	833.03 SF
TOTAL RESIDENTIAL FSR AREA		8635.85 SF
ELECTRICAL R EXCLUSION - LEVELS 03-10		
ELECTRICAL	E-L03.00	30.02 SF
TOTAL WALL EXCLUSION		30.02 SF
MECHANICAL R EXCLUSION - LEVELS 03-10		
MECHANICAL	M-L03.00	47.64 SF
MECHANICAL	M-L03.01	3.78 SF
MECHANICAL	M-L03.02	6.27 SF
MECHANICAL	M-L03.03	6.20 SF
MECHANICAL	M-L03.04	5.77 SF
MECHANICAL	M-L03.05	5.78 SF
MECHANICAL	M-L03.06	6.78 SF
MECHANICAL	M-L03.07	6.78 SF
MECHANICAL	M-L03.08	6.22 SF
MECHANICAL	M-L03.09	5.76 SF
MECHANICAL	M-L03.10	6.22 SF
TOTAL MECHANICAL EXCLUSION		113.98 SF
STORAGE R EXCLUSION - LEVELS 03-10		
STORAGE	S-L03.01	40.00 SF
STORAGE	S-L03.05	21.08 SF
STORAGE	S-L03.06	37.46 SF
STORAGE	S-L03.07	37.20 SF
STORAGE	S-L03.08	40.00 SF
STORAGE	S-L03.09	27.43 SF
STORAGE	S-L03.10	40.00 SF
TOTAL STORAGE EXCLUSION		243.19 SF
OPEN BALCONY R NON GFA - LEVELS 03-10		
OPEN BALCONY	OB-L03.01	116.25 SF
OPEN BALCONY	OB-L03.02	116.25 SF
OPEN BALCONY	OB-L03.04	117.56 SF
OPEN BALCONY	OB-L03.05	115.50 SF
OPEN BALCONY	OB-L03.06	80.00 SF
OPEN BALCONY	OB-L03.07	80.00 SF
OPEN BALCONY	OB-L03.08	117.00 SF
OPEN BALCONY	OB-L03.09	116.25 SF
OPEN BALCONY	OB-L03.10	116.25 SF
TOTAL ENCLOSED BALCONY EXCLUSION		975.06 SF



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- 5 DP AMENDMENT SUBMISSION 2018-12-07

1 FSR PLAN TOWER LEVELS 03-10  
1/8" = 1'-0"



SUITE	1703
TYPE	2 BR
SIZE	904 SF

SUITE	1702
TYPE	3 BR
SIZE	1,294 SF

SUITE	1701
TYPE	2 BR
SIZE	974 SF

SUITE	1708
TYPE	2 BR
SIZE	833 SF

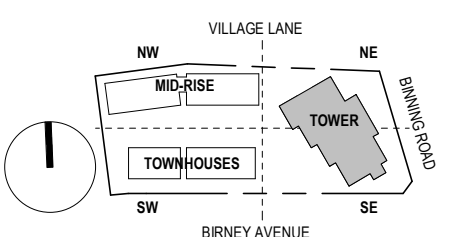
SUITE	1707
TYPE	3 BR
SIZE	1,129 SF

SUITE	1704
TYPE	2 BR
SIZE	743 SF

SUITE	1705
TYPE	2 BR
SIZE	708 SF

SUITE	1706
TYPE	2 BR
SIZE	1,023 SF

RESIDENTIAL AREA SUMMARY - LEVELS 11-21		
RESIDENTIAL		8535.58 SF
FSR R AREA		8535.58 SF
ELECTRICAL		23.85 SF
MECHANICAL		98.24 SF
STORAGE		302.10 SF
FSR R EXCLUSION		424.20 SF
TOTAL GROSS FLOOR AREA		8959.78 SF
RESIDENTIAL FSR AREA - LEVELS 11-21		
RESIDENTIAL	R-L03.00	926.29 SF
RESIDENTIAL	R-L03.06	1023.02 SF
RESIDENTIAL	R-L17.01	974.30 SF
RESIDENTIAL	R-L17.02	1294.39 SF
RESIDENTIAL	R-L17.03	904.24 SF
RESIDENTIAL	R-L17.04	742.83 SF
RESIDENTIAL	R-L17.05	708.26 SF
RESIDENTIAL	R-L17.07	1129.22 SF
RESIDENTIAL	R-L17.08	833.03 SF
TOTAL RESIDENTIAL FSR AREA		8535.58 SF
ELECTRICAL R EXCLUSION - LEVELS 11-21		
ELECTRICAL	E-L17.00	23.85 SF
TOTAL WALL EXCLUSION		23.85 SF
MECHANICAL R EXCLUSION - LEVELS 11-21		
MECHANICAL	M-L17.00	47.64 SF
MECHANICAL	M-L17.01	6.27 SF
MECHANICAL	M-L17.02	6.78 SF
MECHANICAL	M-L17.03	6.27 SF
MECHANICAL	M-L17.04	6.78 SF
MECHANICAL	M-L17.05	6.78 SF
MECHANICAL	M-L17.06	5.73 SF
MECHANICAL	M-L17.07	5.78 SF
MECHANICAL	M-L17.08	6.22 SF
TOTAL MECHANICAL EXCLUSION		98.24 SF
STORAGE R EXCLUSION - LEVELS 11-21		
STORAGE	S-L17.01	40.00 SF
STORAGE	S-L17.02	40.00 SF
STORAGE	S-L17.03	40.00 SF
STORAGE	S-L17.04	37.46 SF
STORAGE	S-L17.05	37.20 SF
STORAGE	S-L17.06	40.00 SF
STORAGE	S-L17.07	27.43 SF
STORAGE	S-L17.08	40.00 SF
TOTAL STORAGE EXCLUSION		302.10 SF
OPEN BALCONY R NON GFA - LEVELS 11-21		
OPEN BALCONY	OB-L17.01	116.25 SF
OPEN BALCONY	OB-L17.02	116.25 SF
OPEN BALCONY	OB-L17.03	180.81 SF
OPEN BALCONY	OB-L17.04	80.00 SF
OPEN BALCONY	OB-L17.05	80.00 SF
OPEN BALCONY	OB-L17.06	117.00 SF
OPEN BALCONY	OB-L17.07	116.25 SF
OPEN BALCONY	OB-L17.08	116.25 SF
TOTAL ENCLOSED BALCONY EXCLUSION		1038.31 SF



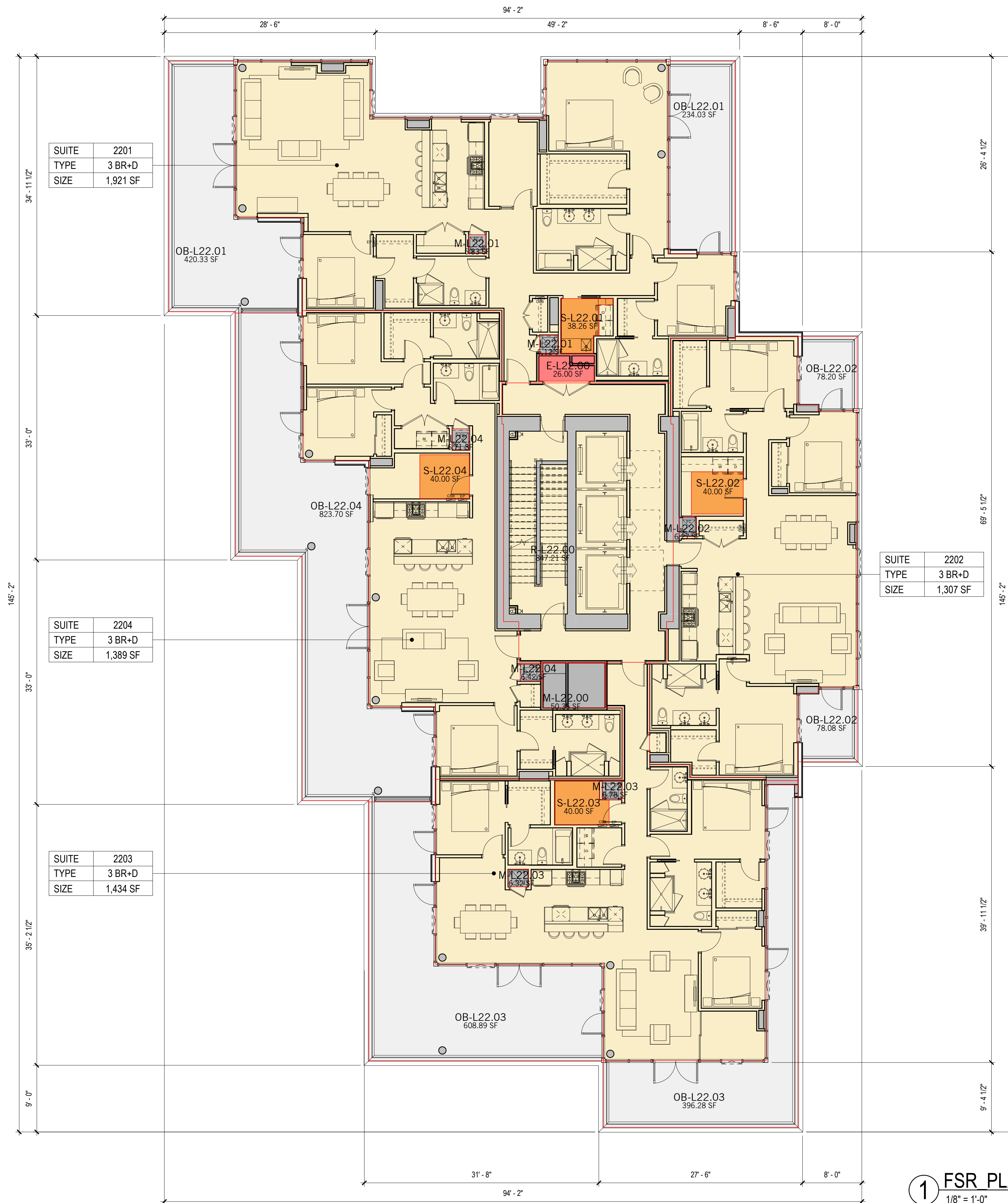
IVY ON THE PARK  
LOT 8

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- 5 DP AMENDMENT SUBMISSION 2018-12-07

FSR PLAN - TOWER -  
LEVELS 11-21

FSR-124

1 FSR PLAN TOWER LEVELS 11-21  
1/8" = 1'-0"



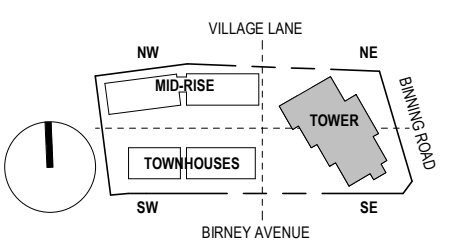
SUITE	2202
TYPE	3 BR+D
SIZE	1,307 SF

SUITE	2201
TYPE	3 BR+D
SIZE	1,921 SF

SUITE	2204
TYPE	3 BR+D
SIZE	1,389 SF

SUITE	2203
TYPE	3 BR+D
SIZE	1,434 SF

RESIDENTIAL AREA SUMMARY - LEVEL 22	
RESIDENTIAL	6898.03 SF
FSR R AREA	6898.03 SF
ELECTRICAL	26.00 SF
MECHANICAL	94.79 SF
STORAGE	158.27 SF
FSR R EXCLUSION	279.06 SF
TOTAL GROSS FLOOR AREA	7177.08 SF
RESIDENTIAL FSR AREA - LEVEL 22	
RESIDENTIAL	R-L22.00 847.21 SF
RESIDENTIAL	R-L22.01 1920.97 SF
RESIDENTIAL	R-L22.01 1307.25 SF
RESIDENTIAL	R-L22.01 1433.99 SF
RESIDENTIAL	R-L22.01 1388.61 SF
TOTAL RESIDENTIAL FSR AREA	6898.03 SF
ELECTRICAL R EXCLUSION - LEVEL 22	
ELECTRICAL	E-L22.00 26.00 SF
TOTAL WALL EXCLUSION	26.00 SF
MECHANICAL R EXCLUSION - LEVEL 22	
MECHANICAL	M-L22.00 50.35 SF
MECHANICAL	M-L22.01 6.12 SF
MECHANICAL	M-L22.01 5.83 SF
MECHANICAL	M-L22.02 6.27 SF
MECHANICAL	M-L22.03 6.32 SF
MECHANICAL	M-L22.03 6.78 SF
MECHANICAL	M-L22.04 6.71 SF
MECHANICAL	M-L22.04 6.42 SF
TOTAL MECHANICAL EXCLUSION	94.79 SF
STORAGE R EXCLUSION - LEVEL 22	
STORAGE	S-L22.01 38.26 SF
STORAGE	S-L22.02 40.00 SF
STORAGE	S-L22.03 40.00 SF
STORAGE	S-L22.04 40.00 SF
TOTAL STORAGE EXCLUSION	158.27 SF
OPEN BALCONY R NON GFA - LEVEL 22	
OPEN BALCONY	OB-L22.01 234.03 SF
OPEN BALCONY	OB-L22.01 420.33 SF
OPEN BALCONY	OB-L22.02 78.08 SF
OPEN BALCONY	OB-L22.02 78.20 SF
OPEN BALCONY	OB-L22.03 396.28 SF
OPEN BALCONY	OB-L22.03 608.89 SF
OPEN BALCONY	OB-L22.04 823.70 SF
TOTAL ENCLOSED BALCONY EXCLUSION	2639.52 SF



IVY ON THE PARK  
LOT 8

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- 4 DP AMENDMENT SUBMISSION 2018-05-24
- 5 DP AMENDMENT SUBMISSION 2018-12-07

FSR PLAN - TOWER -  
LEVEL 22

FSR-125

1 FSR PLAN TOWER LEVEL 22  
1/8" = 1'-0"

LANDSCAPE CONCEPT

The landscape vision exists on two levels: one - by creating an ecosystem-inspired sense of place, and, two - by considering programming which enriches the private and communal experience for residents. The landscape is grounded to its location directly adjacent to Pacific Spirit Park primarily through the use of planting. The vegetative strategy suggests a forest edge landscape typology.

A Forest Garden

While it would be impossible to recreate a mature coniferous forest in this built environment, we can attempt to evoke a more open, deciduous forest edge ecosystem with small ornamental trees such as vine maples, pacific dogwood and red alders. Underneath this light canopy is a garden of ferns and other ornamental groundcovers in a simplified, informal 'forest floor'.

Within the forest garden are two 'clearings', the Drive Court and the Community Patio. The Drive Court announces the entrance to the tower which is then reached by passing over a fern dell. From this space, one passes through a threshold to enter The Community Patio. This is the main open space connected to the tower's amenity spaces. This place is conceived of as the social and family gathering place for the residents of the tower. It contains a BBQ and moveable tables and chairs. Unit pavers are used to help bring a comfortable scale and finer level of detail to the paved areas.

At the corner of Binning and Birney avenues is a copse of larger deciduous feature trees which will be a focal point for the forest garden and for the development from the street.

A Landscape Bento Box

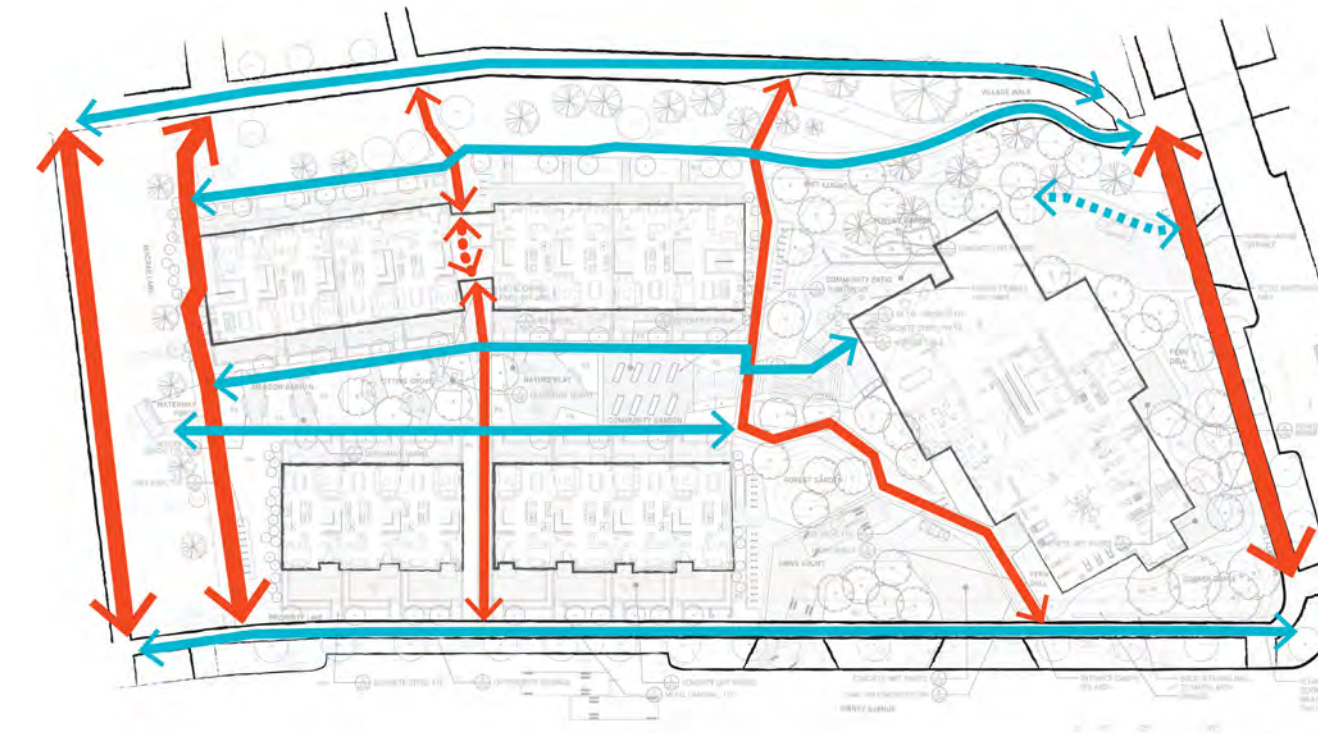
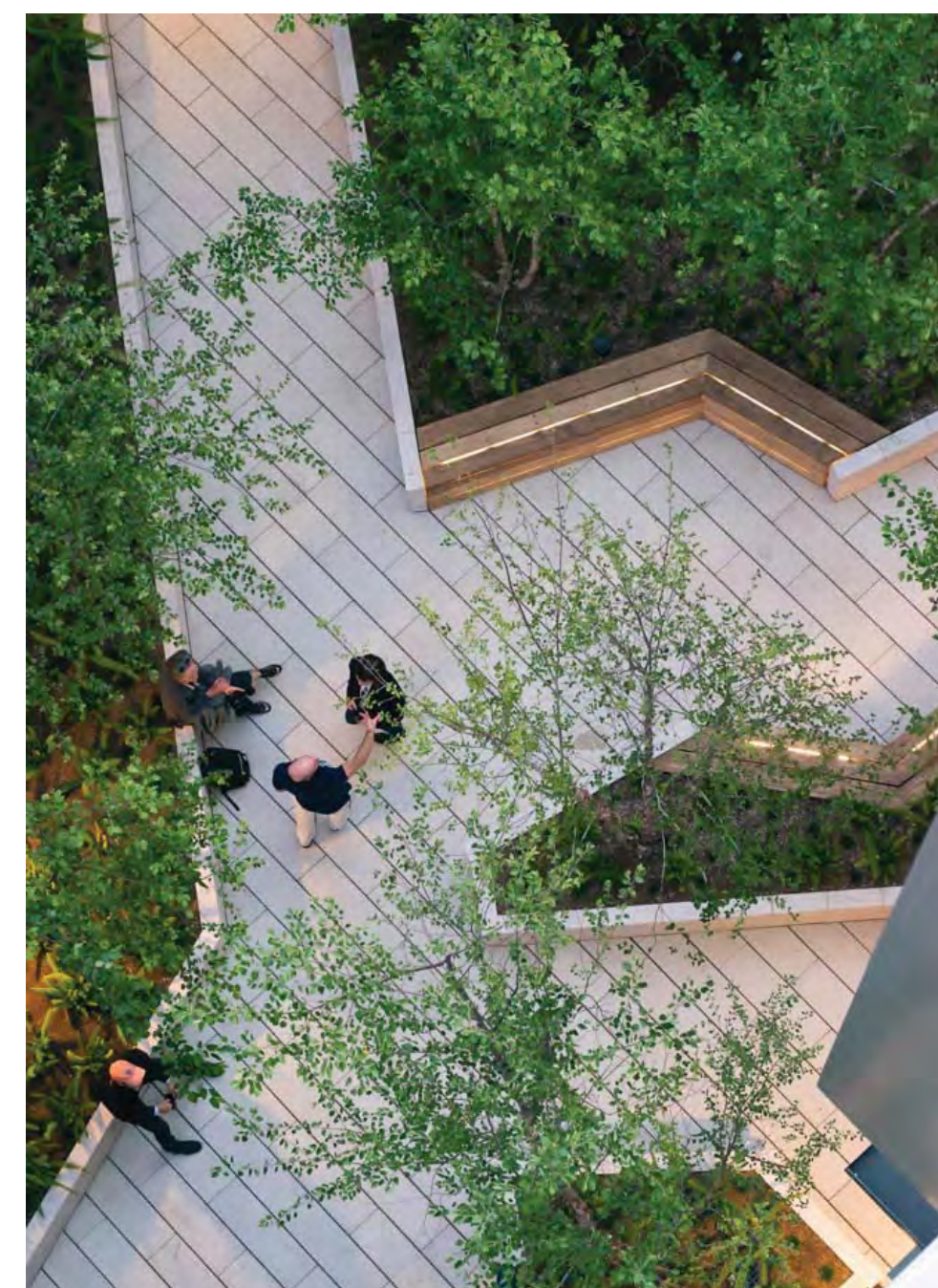
Moving west through the site, the Community Patio is bounded by a small pavilion. From here we enter a linear space which is framed by the back sides of the townhouses and midrise. The linearity is broken into three distinct gardens: a community agriculture zone, a nature play area, and a lawn framed by meadow plantings. This lawn/meadow planting follows the overall planting concept culminating the edge of the forest with an open field; it turns the corner and continues alongside the pathway to Birney. Moving from the more active to more passive landscape types as we move away from the tower, the series of spaces allows residents to step right out of their houses and into useful and communal spaces of a comfortable, intimate, scale.

A Perch

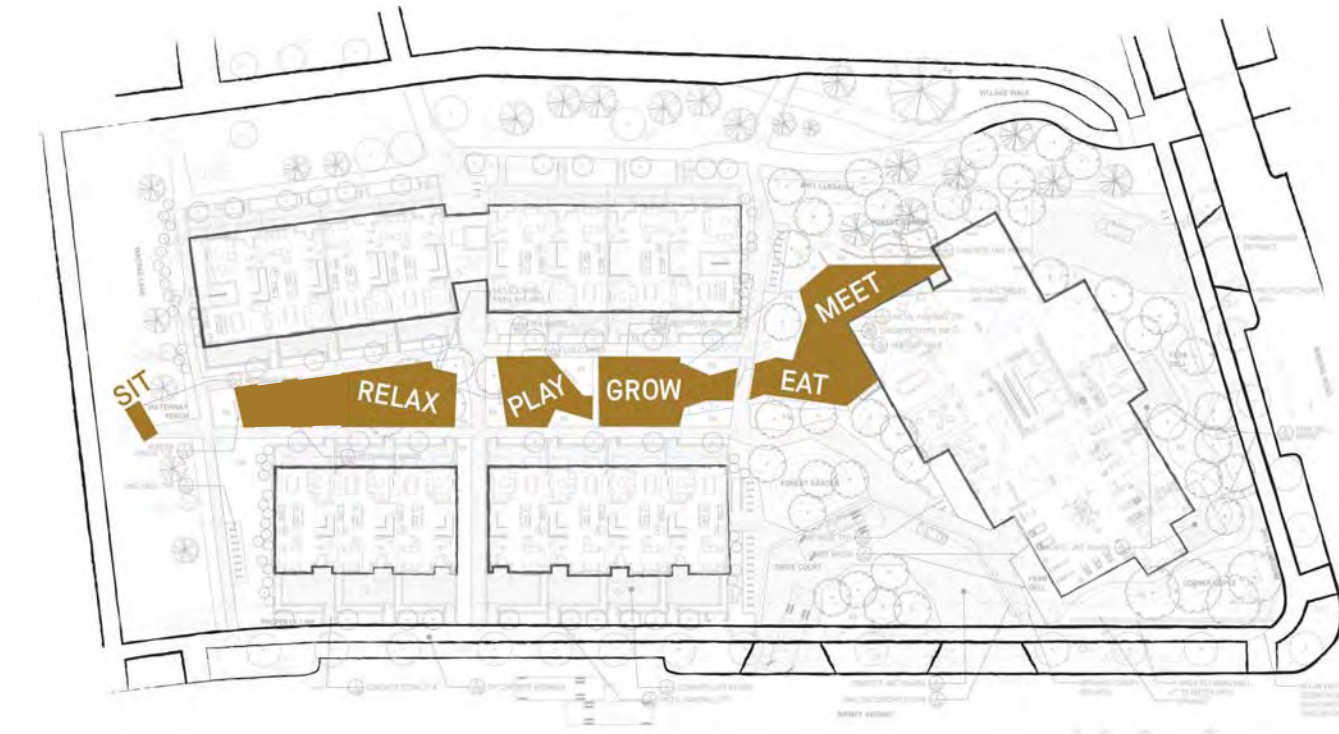
The four gardens end at a north south connection pathway which links Birney road to Khorana Park. Just past this pathway a small perch platform with bench engages with the existing waterway, culminating the procession of landscape experiences.

Edges

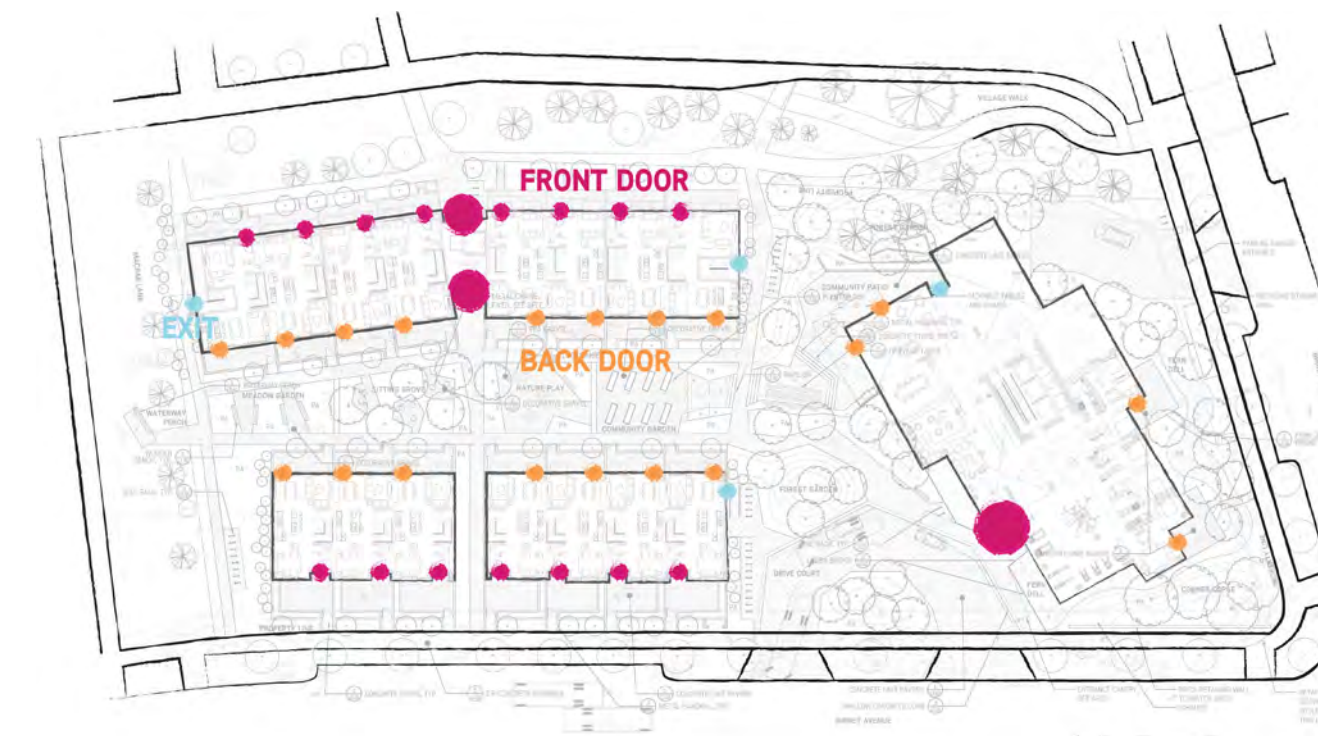
On the north and west sides of the site, existing coniferous trees and shrub gardens create a buffered edge to the residences. Landscaping is designed to merge seamlessly with these existing landscapes.



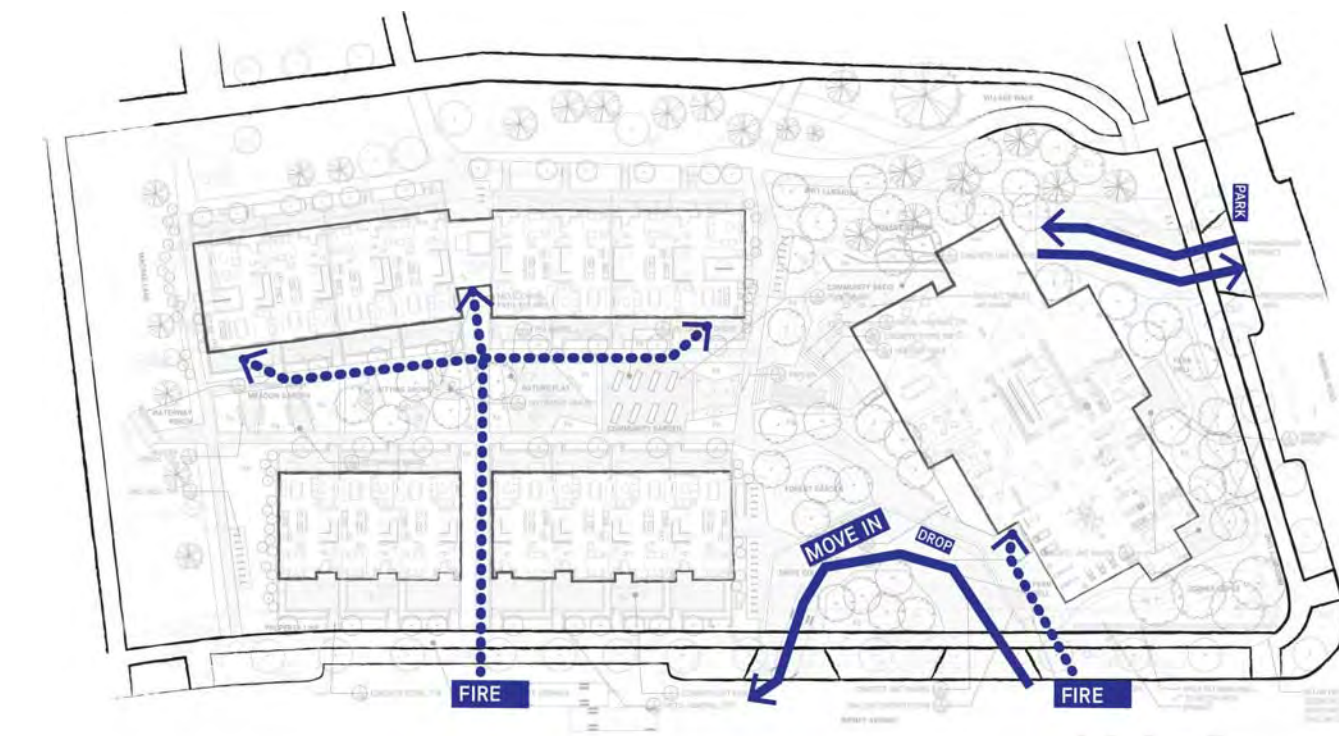
PATHS



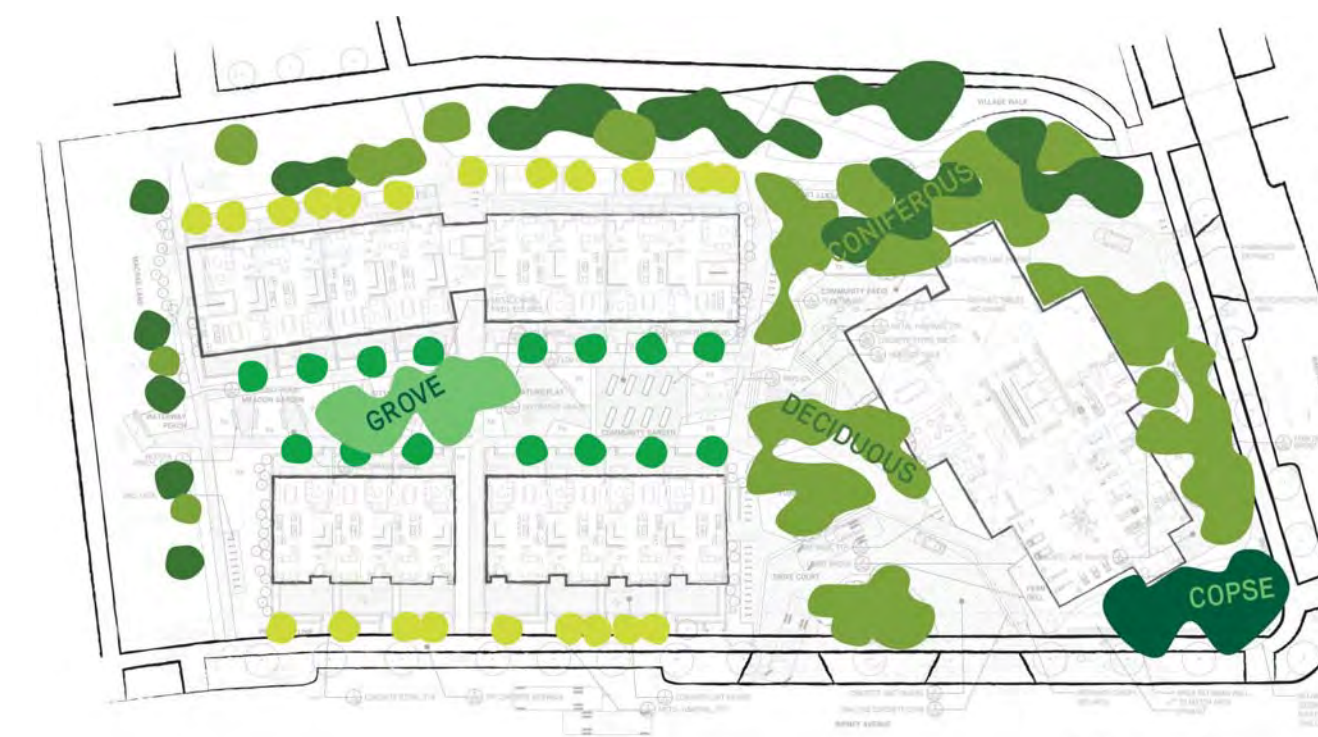
PLACES



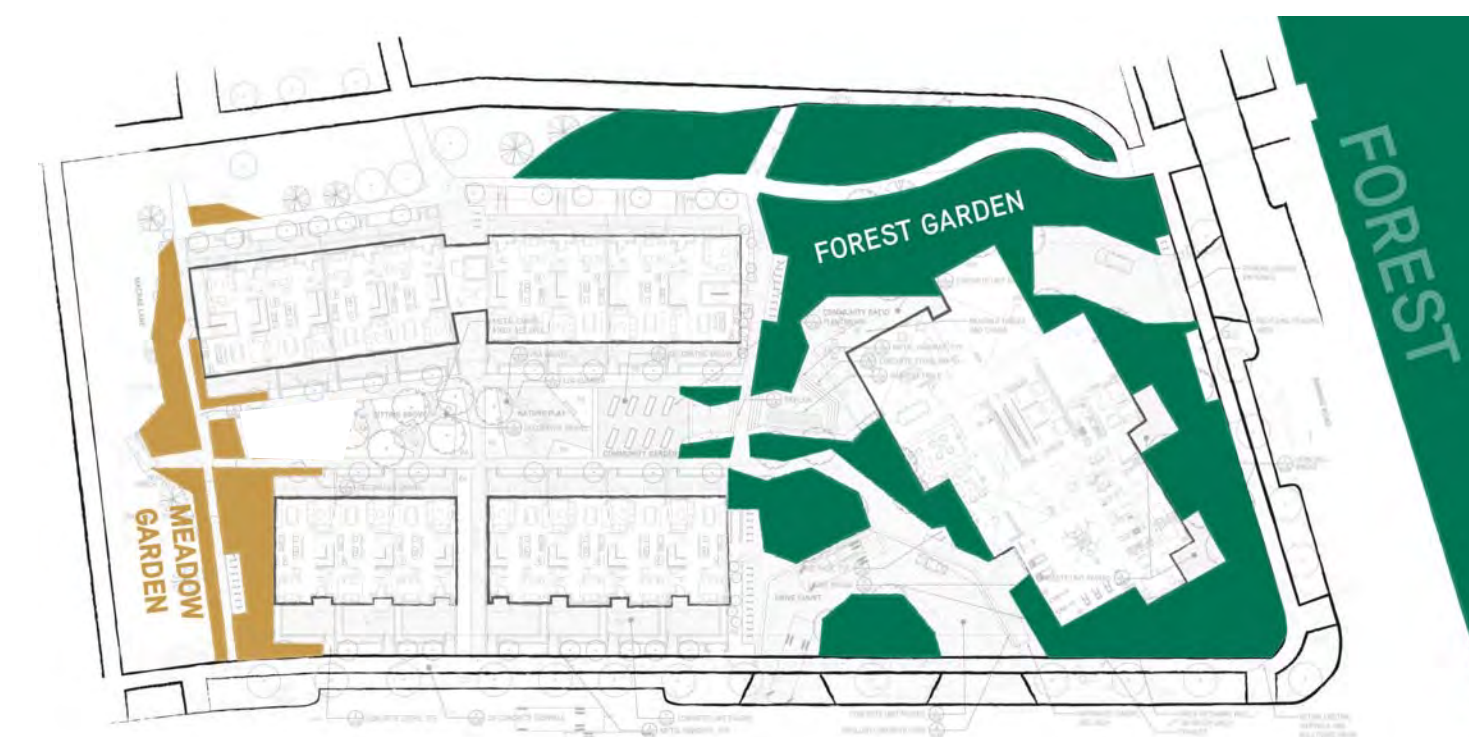
ENTRANCES



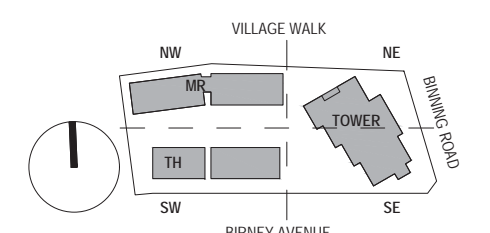
VEHICULAR ACCESS



TREE CANOPY



LANDSCAPE COVER TYPES

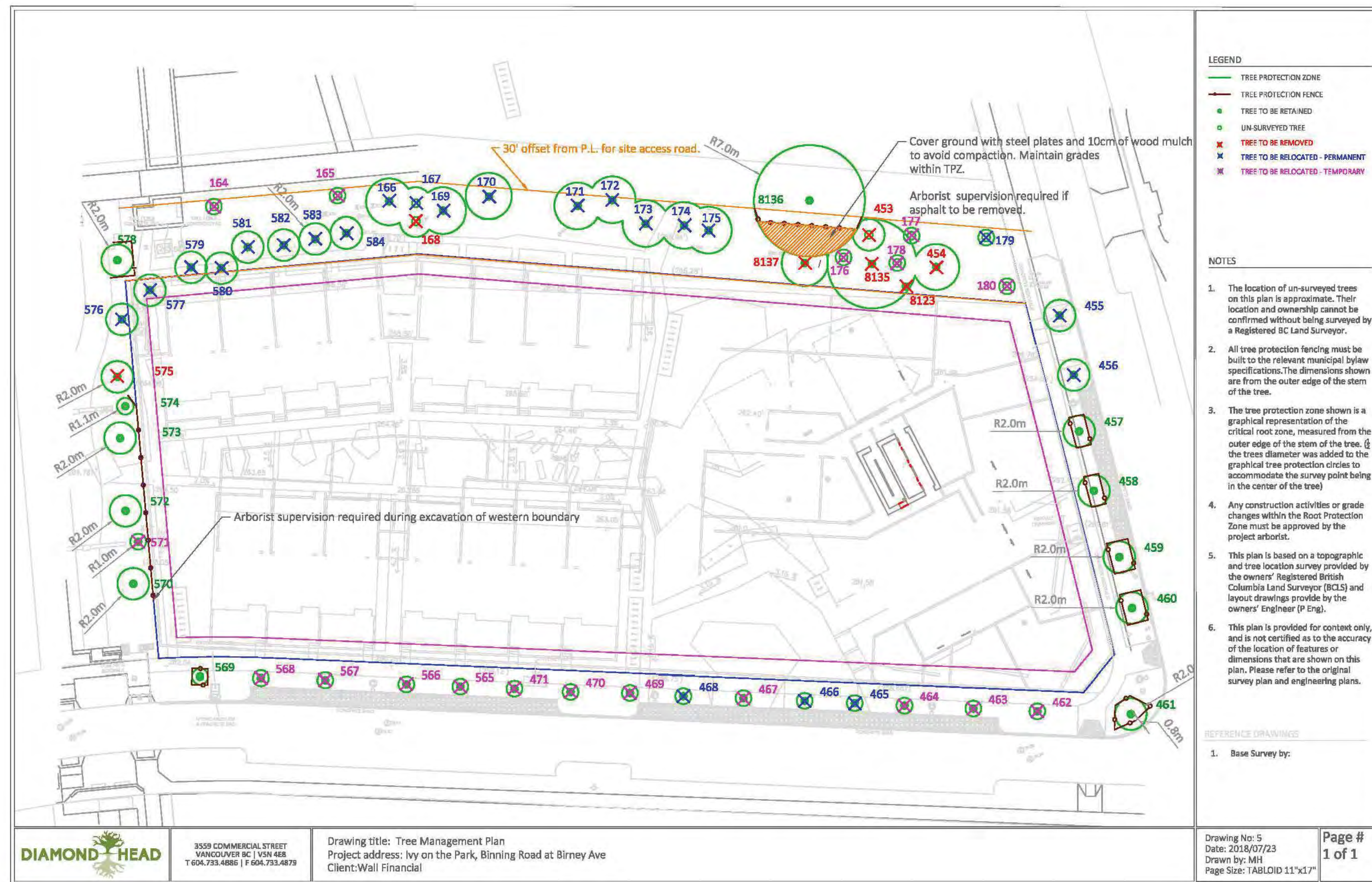


IVY ON THE PARK  
LOT 8

1	PRE-APPLICATION AUDP SUBMISSION	2017-11-02
2	PRE-APPLICATION AUDP SUBMISSION	2017-12-07
3	PRE-DP APPLICATION SUBMISSION	2017-12-06
4	DP APPLICATION AUDP SUBMISSION	2018-02-01
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14	ISSUE FOR DPMA	2019-08-19

LANDSCAPE CONCEPT

NOTE:  
See Arborist's report in conjunction with this plan



## Arboricultural Inventory and Report

For:  
**Wall Financial Corporation**

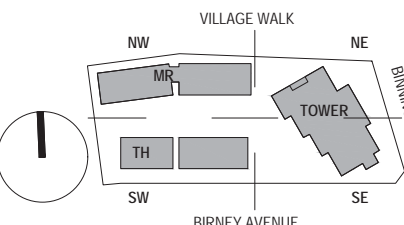
Site Location:  
**Lot 8 UBC South Campus**

To be submitted with Tree Retention and Removal Plan  
dated: July 23, 2018

Submitted to:  
**Edmund Siqueira, P.Eng.**  
**Head of Construction**

Date: December 18, 2017; revised March 7, 2018;  
June 6, 2018; July 23, 2018

Submitted by:  
**DIAMOND HEAD**  
3559 Commercial Street  
Vancouver, BC 604.733.4886

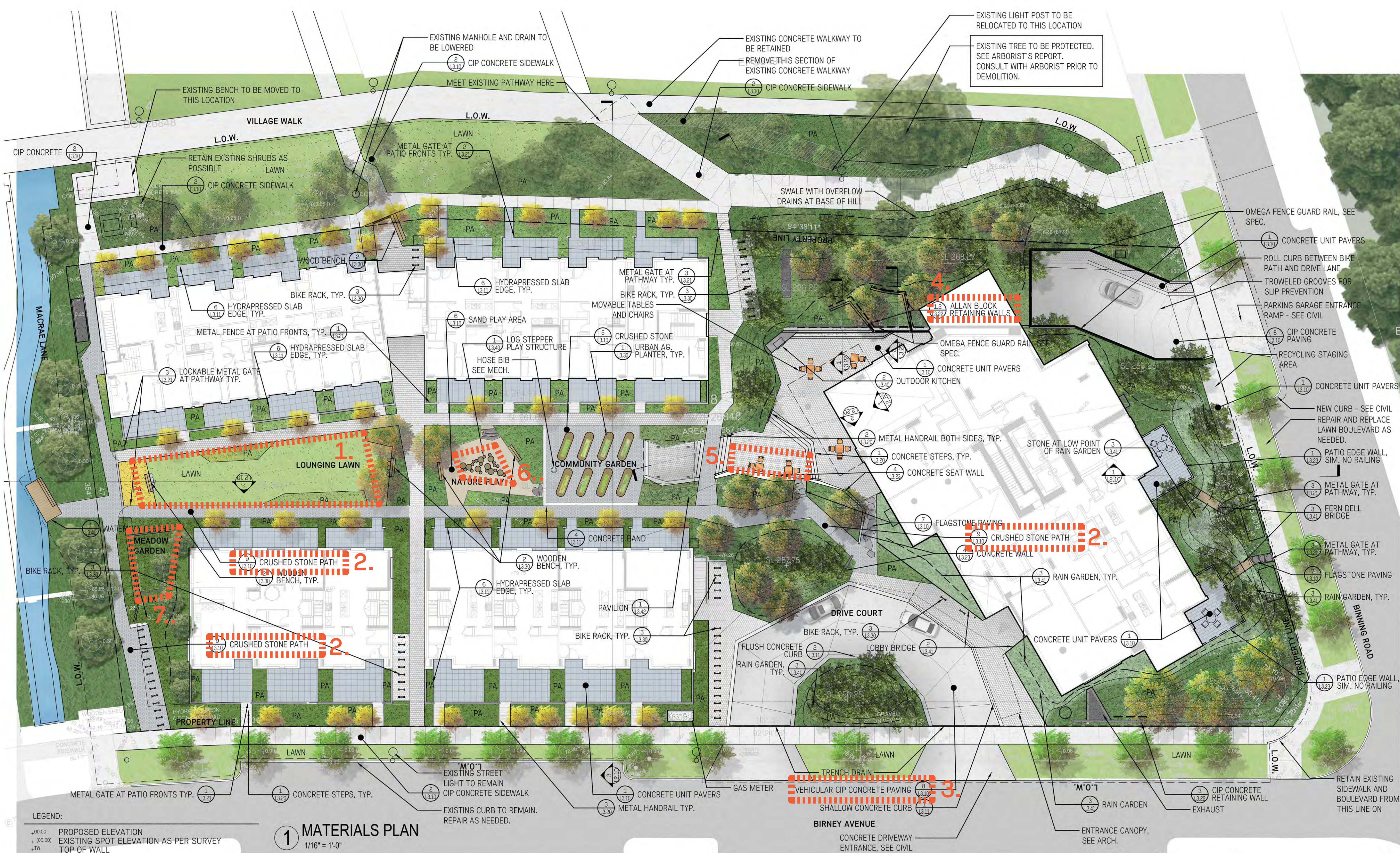


### IVY ON THE PARK LOT 8

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### TREE RETENTION AND REMOVAL PLAN

# 1 TREE RETENTION AND REMOVAL PLAN NTS

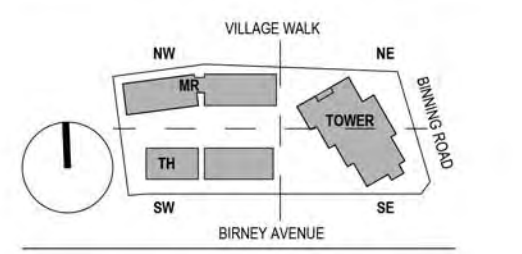


- LEGEND:**
- +0.00.00 PROPOSED ELEVATION
  - + (0.00.00) EXISTING SPOT ELEVATION AS PER SURVEY
  - +TW TOP OF WALL
  - +BW BOTTOM OF WALL
  - 0.0% DIRECTION OF SLOPE
  - GRADE TRANSITION
  - (T) EXISTING TREE TO BE RETAINED
  - (\*) PROPOSED CONIFEROUS TREE
  - (●) PROPOSED DECIDUOUS TREE
  - (\*) PROPOSED CONIFEROUS HEDGE
  - ( ) LAWN
  - (PA) PLANTING AREA
  - ( ) PROPERTY LINE
  - ( ) LIMIT OF WORK

**1 MATERIALS PLAN**  
1/16" = 1'-0"

- PAVING LEGEND:**
- SEE SPECIFICATIONS FOR ALL PAVERS
  - SEE SHEET L3.12 FOR PAVING PATTERNS
  - ( ) CIP CONCRETE PAVING WITH SAW CUT JOINTS
  - ( ) GRAVEL PAVING
  - ( ) PLAY SAND
  - ( ) FLAGSTONE PAVING
  - ( ) PAVING PATTERN TYPE A: PEDESTRIAN PATHWAY AND COMMON AREAS HOLLAND PAVERS - PINWHEEL PATTERN NATURAL FIELD WITH CHARCOAL ACCENTS
  - ( ) PAVING PATTERN TYPE B: PRIVATE PATIO PAVERS HYDRAPRESSED CONCRETE SLABS NATURAL COLOUR

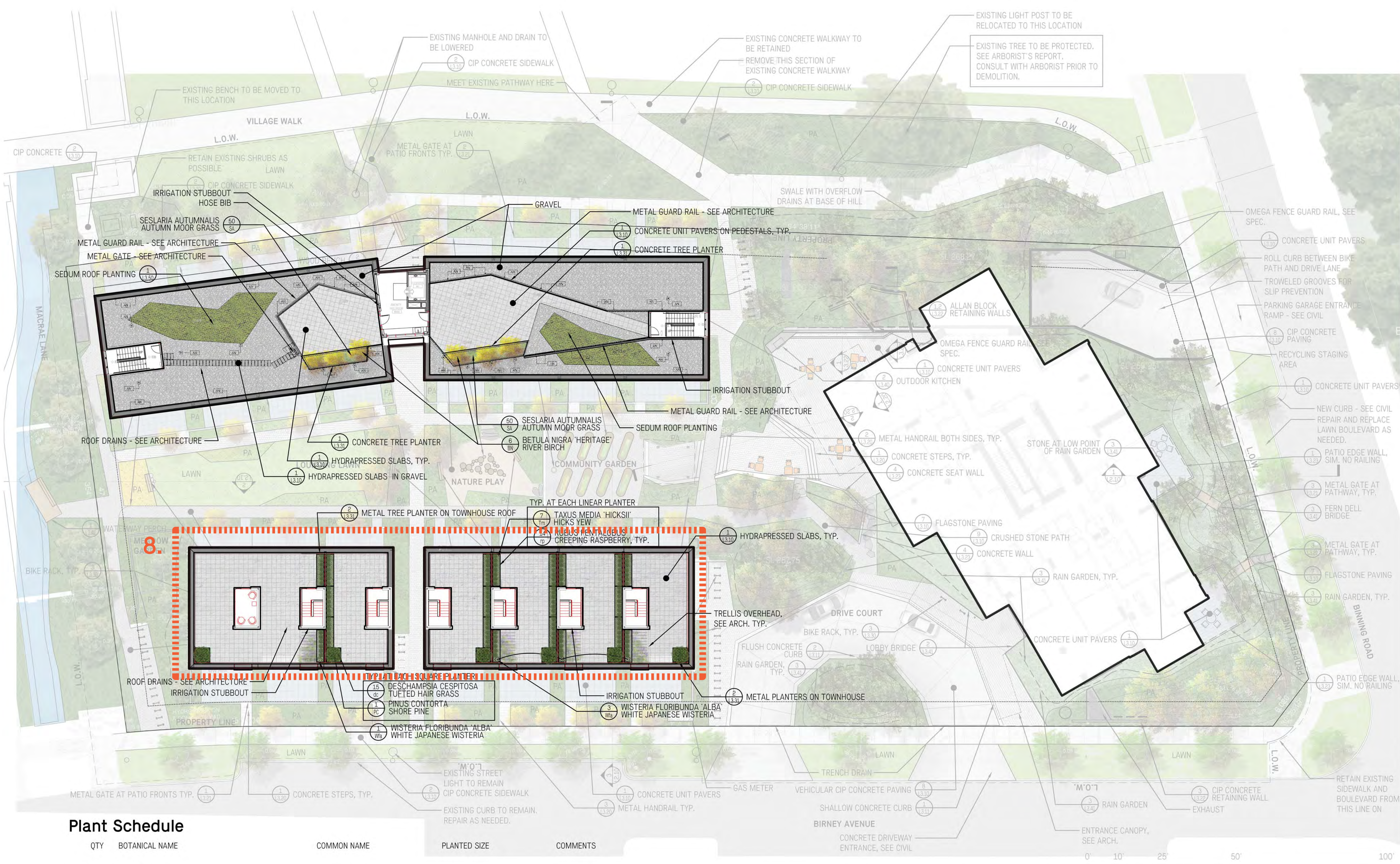
- GENERAL NOTES:**
1. PLAN BASED ON SURVEY PROVIDED BY ARCHITECT.
  2. CONTRACTOR TO VERIFY LOCATION AND PROTECT ALL SITE SERVICES WITHIN SCOPE OF WORK PRIOR TO COMMENCEMENT OF EXCAVATION. REFER TO CIVIL DWGS.
  3. CONTRACTOR TO UNDERTAKE TREE PROTECTION MEASURES TO UBC STANDARDS.
  4. LOCATION OF TREE PROTECTION FENCING AND LIMIT OF ACCESS FENCING TO BE VERIFIED WITH CONSULTANT PRIOR TO INSTALLATION.
  5. ERECT SEDIMENT CONTROL AROUND EXISTING CATCHBASINS AND EROSION CONTROL MEASURES WHERE APPLICABLE. REFER TO CIVIL.
  6. HAND EXCAVATE ONLY WITHIN DRIPLINE OF TREES TO BE RETAINED. SEVER ROOTS CLEANLY.
  7. REFER TO CIVIL FOR EXTENTS OF NEW CURBS AND EXISTING CURBS TO REMAIN.



**IVY ON THE PARK**  
LOT 8

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**MATERIALS PLAN**

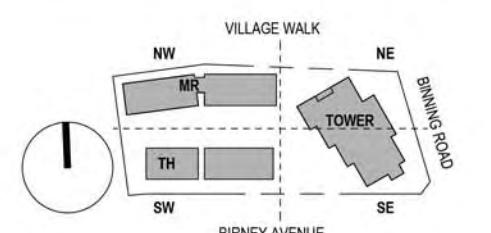


**Plant Schedule**

QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
<b>TREES AND SHRUBS</b>				
BN 6	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	6 CM CAL.	UNIFORM SIZE AND QUALITY
PC 6	PINUS CONTORTA	SHORE PINE	6' TALL MIN.	UNIFORM SIZE AND QUALITY
Td 140	TAXUS X MEDIA 'HICKSII'	HICKS YEW	2 GAL. POT, 18" O.C.	UNIFORM SIZE AND QUALITY
Wfa 4	WISTERIA FLORIBUNDA 'ALBA'	WHITE JAPANESE WISTERIA	3 GAL. POT, 24" O.C.	WELL ESTABLISHED
<b>PERENNIALS AND GRASSES</b>				
sa 100	SESLARIA AUTUMNALIS	AUTUMN MOOR GRASS	2 GALLON POT, 18" O.C.	UNIFORM SIZE AND QUALITY
dc 90	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	2 GALLON POT, 18" O.C.	UNIFORM SIZE AND QUALITY
rp 280	RUBUS PENTALOBUS	CREeping RASPBERRY	6" POT, 12" O.C.	UNIFORM SIZE AND QUALITY

**NOTES**

1. ALL PLANT MATERIAL TO CLNA AND BC SLA STANDARDS. REFER TO THE BRITISH COLUMBIA LANDSCAPE STANDARD, CURRENT EDITION.
2. AREA OF SEARCH FOR PLANT MATERIAL: PACIFIC NORTHWEST, INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON.
3. ROOF TOP TREE PLANTERS AND EXTENSIVE GREEN ROOF TO HAVE AUTOMATIC HIGH-EFFICIENCY IRRIGATION.
4. REFER TO SPECIFICATION FOR GENERAL CONDITIONS, MATERIALS AND INSTALLATION REQUIREMENTS.
5. PATHWAY LIGHTING TO BE PROVIDED FOR EXIT PATHWAYS. SEE ELECTRICAL PLANS.
- 6.

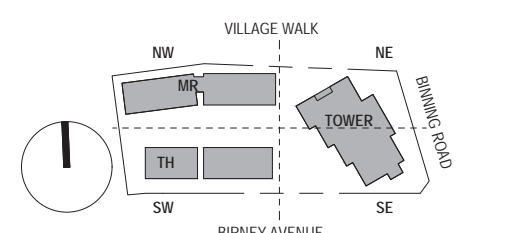
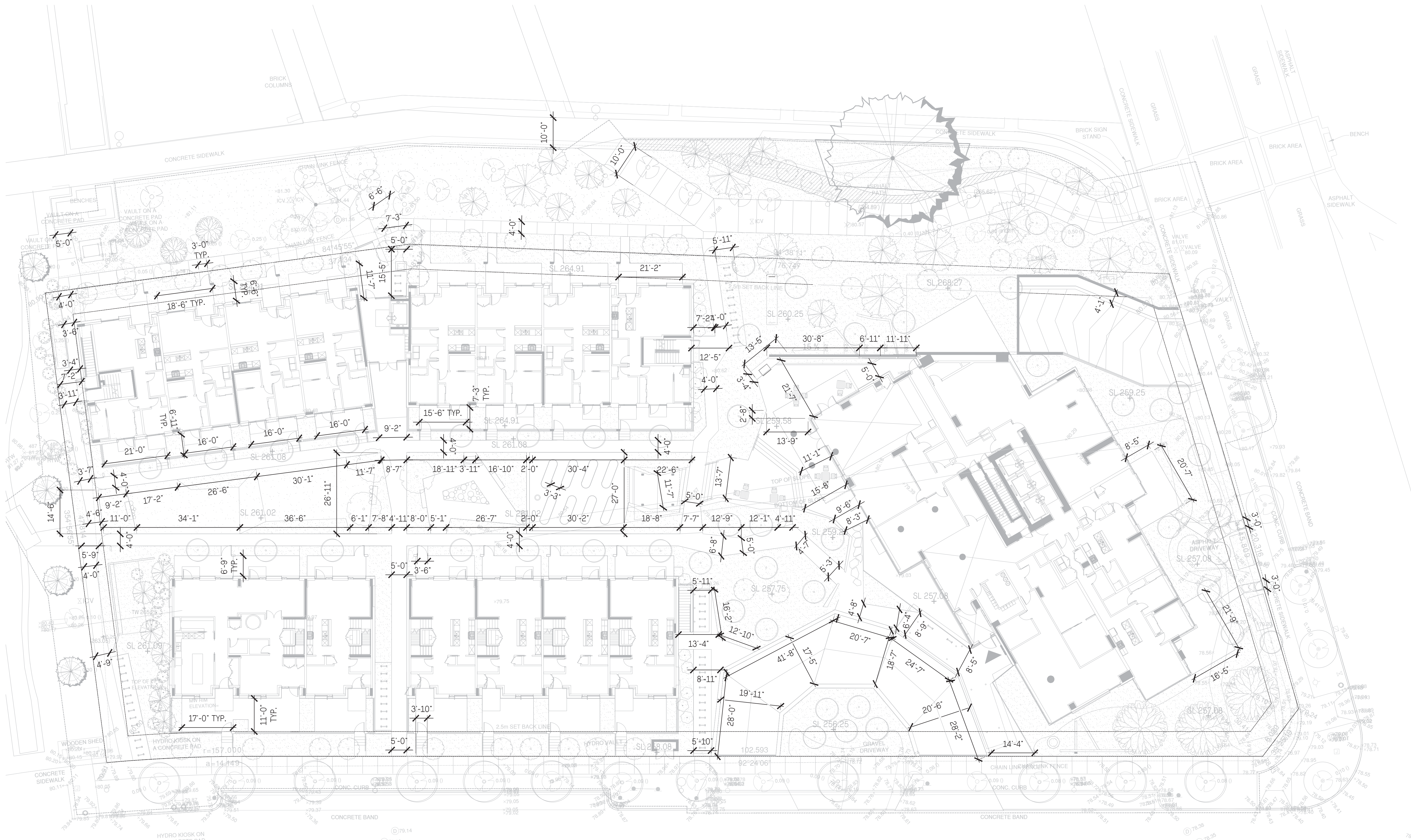


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**ROOFTOP MATERIALS  
AND PLANTING PLAN**





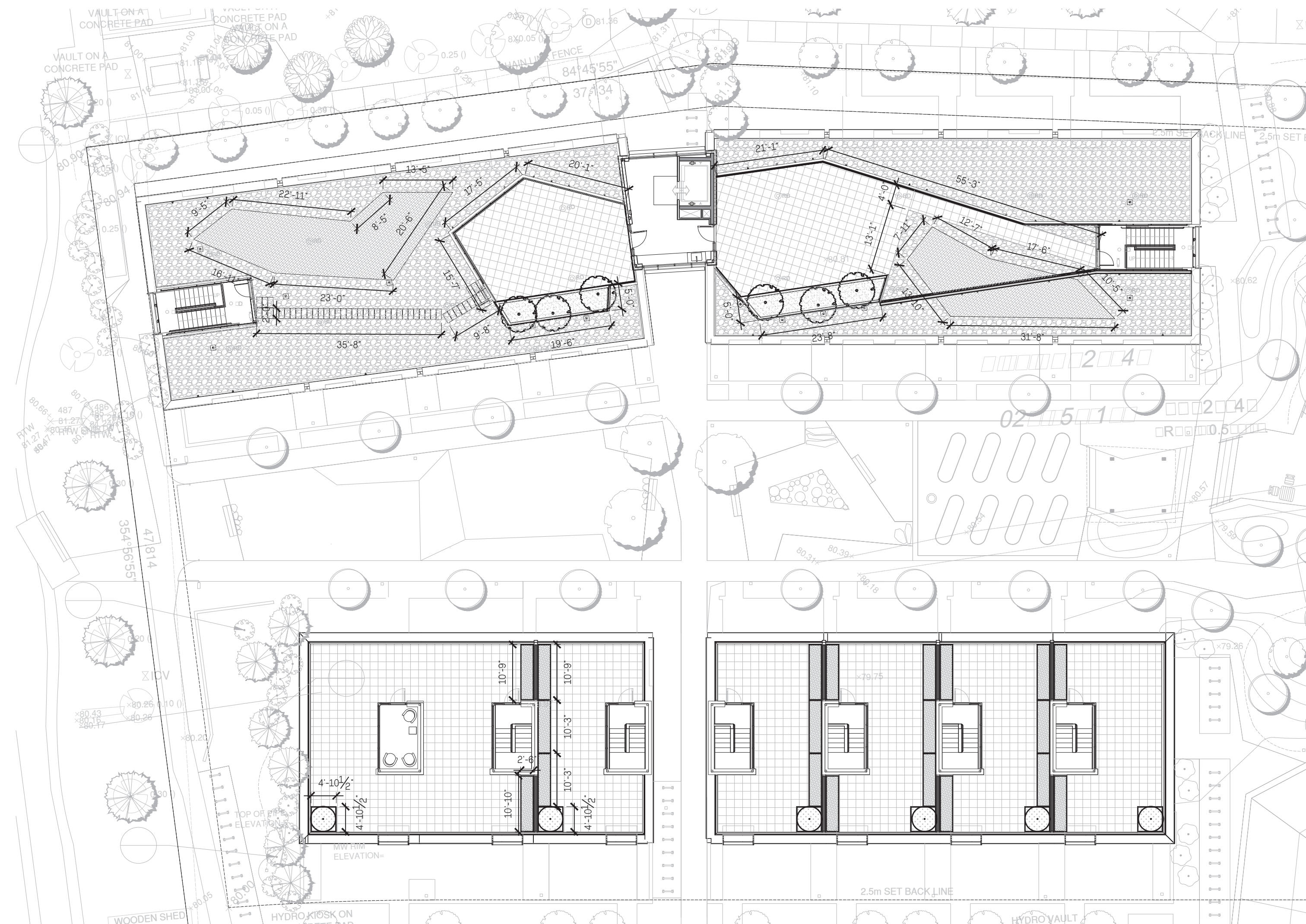
IVY ON THE PARK  
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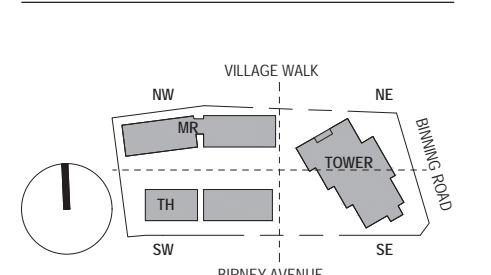
1 LAYOUT PLAN  
1/16" = 1'-0"

LAYOUT PLAN





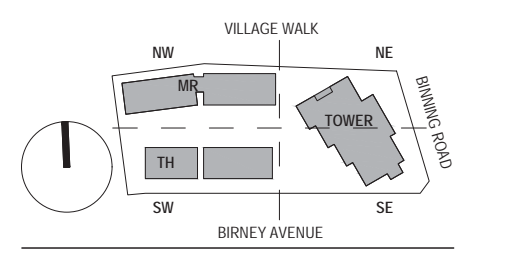
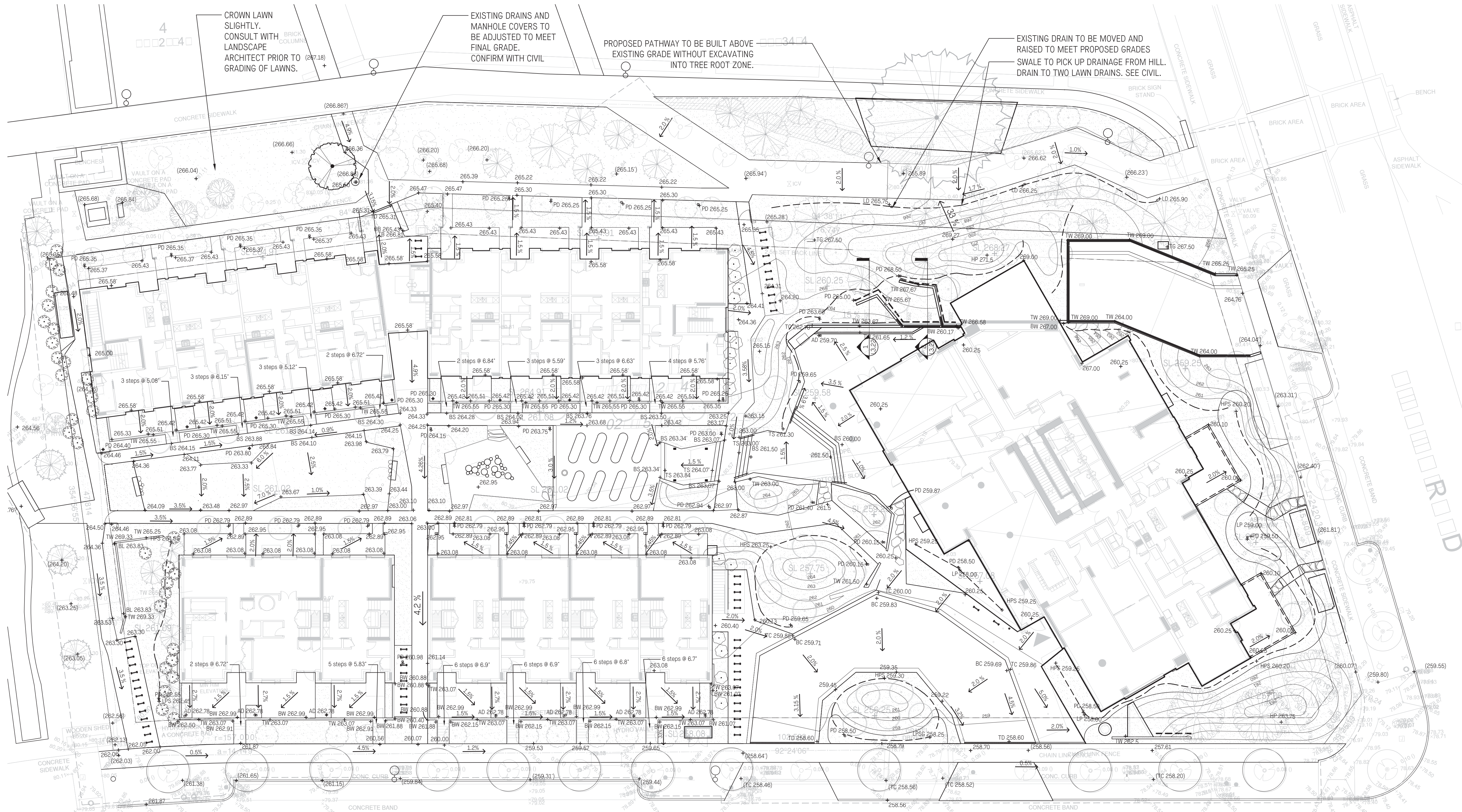
1 ROOFTOP LAYOUT PLAN  
1/16" = 1'-0"



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ROOFTOP LAYOUT PLAN



IVY ON THE PARK  
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GRADING PLAN

L-1.30

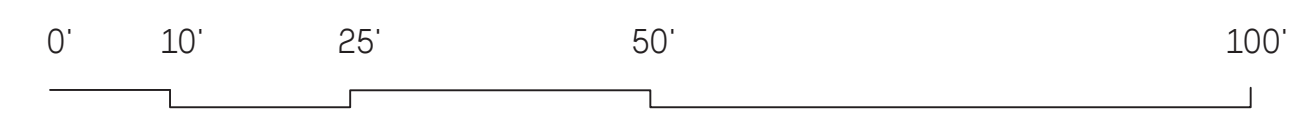
GENERAL LEGEND

—	PROPERTY LINE
⬆	SECTION SHEET NO.
⬆	ELEVATION SHEET NO.
⬆	DETAIL SHEET NO.
⬆	DTL/SHEET
⬆	REVISION
⬆	EXISTING ELEVATION (FOR REFERENCE ONLY)
⬆	PROPOSED ELEVATION
⬆	SLOPE
—	PROPOSED CONTOUR
- - - -	PROPOSED DRAINAGE SWALE
- - - -	PROPOSED WALL DRAIN
- - - -	PROPOSED TRENCH DRAIN
+	PROPOSED PLANTER DRAIN
+	PROPOSED AREA DRAIN
+	TOP OF GRATE - SEE MECH.

GRADING LEGEND

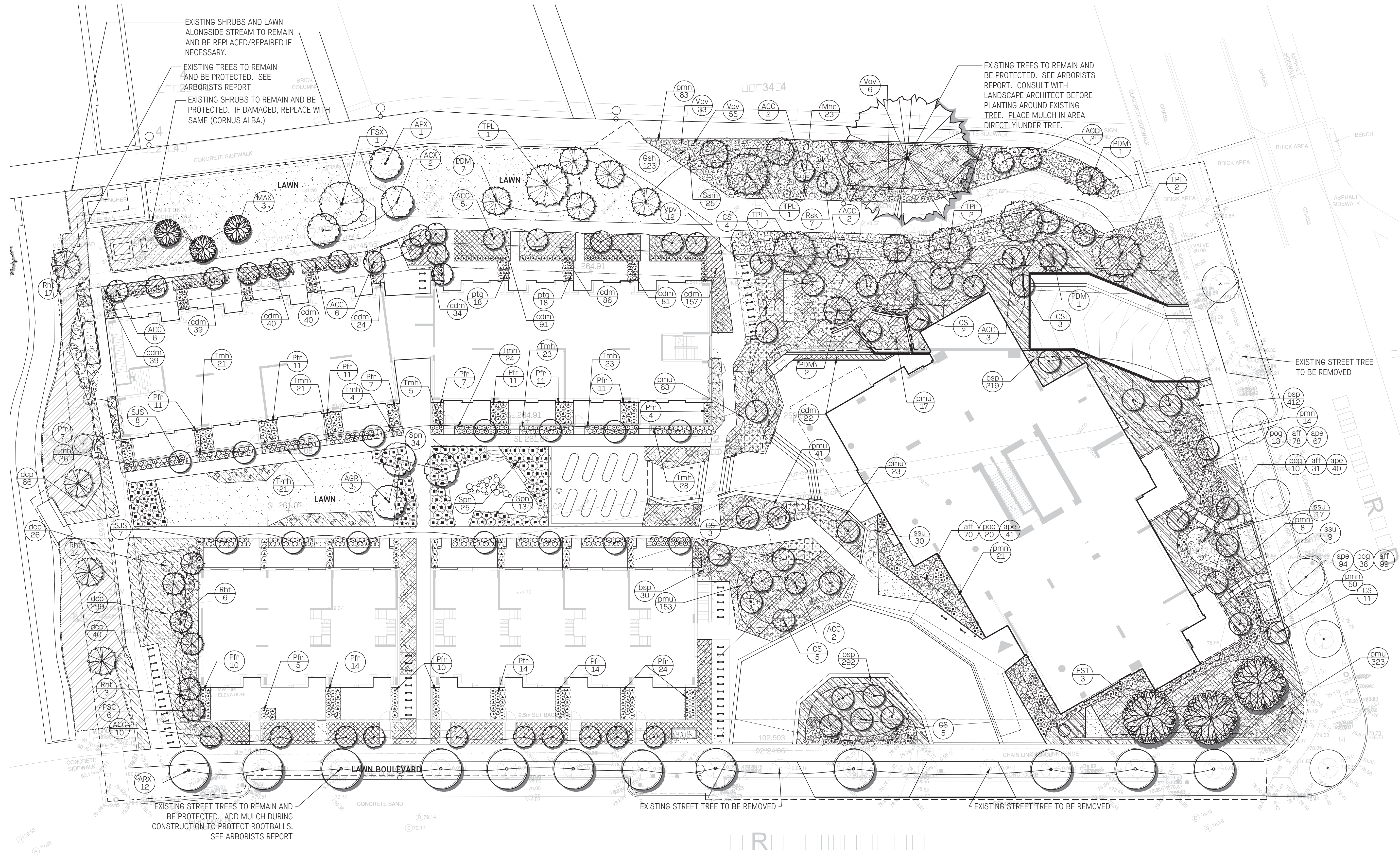
TS	TOP OF STAIR	FFE	FINISHED FLOOR ELEVATION
BS	BOTTOM OF STAIR	BG	BUILDING GRADE (EXISTING, REFER TO SURVEY)
TW	TOP OF WALL	HPS	HIGH POINT SWALE
BW	BOTTOM OF WALL	LPS	LOW POINT SWALE
TB	TOP OF BENCH	INT	INTERPOLATED ELEVATION
AD	AREA DRAIN	(+XX.XX)	SURVEY GRADE
TD	TRENCH DRAIN		
PD	PLANTER DRAIN		

1 GRADING PLAN  
1/16" = 1'-0"



NOTES

- GRADING BASED ON GRADES PROVIDED IN TWO GEODETIC SURVEYS. REFER TO SURVEYS. CONTRACTOR TO VERIFY ALL MEASUREMENTS.
- EXISTING GRADES HAVE BEEN INTERPOLATED AS INDICATED FROM SURVEY GRADES.
- PERMEABLE PAVING OVER SLAB DRAINS TO ROOF DRAINS. REFER TO PAVING LAYOUT PLAN.
- ALL PROPOSED ELEVATIONS ARE TO TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE.
- REFER TO CIVIL FOR ALL CURB AND ROAD ELEVATIONS.
- ALL UTILITY COVERS INSIDE LANDSCAPE AREA TO BE ADJUSTED TO FINAL GRADE



EXISTING SHRUBS AND LAWN ALONGSIDE STREAM TO REMAIN AND BE REPLACED/REPAIRED IF NECESSARY.

EXISTING TREES TO REMAIN AND BE PROTECTED. SEE ARBORISTS REPORT

EXISTING SHRUBS TO REMAIN AND BE PROTECTED. IF DAMAGED, REPLACE WITH SAME (CORNUS ALBA.)

EXISTING TREES TO REMAIN AND BE PROTECTED. SEE ARBORISTS REPORT. CONSULT WITH LANDSCAPE ARCHITECT BEFORE PLANTING AROUND EXISTING TREE. PLACE MULCH IN AREA DIRECTLY UNDER TREE.

EXISTING STREET TREE TO BE REMOVED

EXISTING STREET TREES TO REMAIN AND BE PROTECTED. ADD MULCH DURING CONSTRUCTION TO PROTECT ROOTBALLS. SEE ARBORISTS REPORT

EXISTING STREET TREE TO BE REMOVED

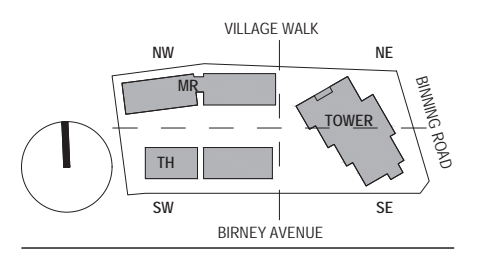
EXISTING STREET TREE TO BE REMOVED

- Legend**
- PROPERTY LINE
  - - - SECTION
  - ⊕ DETAIL/PLANT CALLOUT
  - ⊙ EXISTING TREE - SEE ARBORIST'S REPORT
  - ▨ MULCH AREA AROUND EXISTING TREE
  - ▨ EXISTING SHRUB PLANTING TO REMAIN

**1 PLANTING PLAN**  
1/16" = 1'-0"

**NOTES**

1. ALL PLANT MATERIAL TO CLNA AND BC SLA STANDARDS. REFER TO THE BRITISH COLUMBIA LANDSCAPE STANDARD, CURRENT EDITION.
2. AREA OF SEARCH FOR PLANT MATERIAL: PACIFIC NORTHWEST, INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON.
3. ALL PLANTED AREAS ON PROJECT PROPERTY TO HAVE AUTOMATIC HIGH-EFFICIENCY IRRIGATION. IRRIGATION WITHIN VILLAGE LANE TO BE REPAIRED/REPLACED TO SUIT PROPOSED DESIGN. IRRIGATION PLAN TO BE PROVIDED.
4. REFER TO SPECIFICATION FOR GENERAL CONDITIONS, MATERIALS AND INSTALLATION REQUIREMENTS.
5. PLANTS IN SCHEDULE LISTED WITH AN X IN THEIR CODE AND NOTED AS 'TRANSPLANTED' REFER TO EXISTING TREES ON SITE WHICH WILL BE TRANSPLANTED OFF OF SITE DURING CONSTRUCTION AND RE-PLANTED IN LOCATIONS SHOWN. SEE ARBORIST'S REPORT FOR DETAILS.



**IVY ON THE PARK**  
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**PLANTING PLAN**

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	SPACE	COMMENTS
ACC	39	Acer circinatum / Vine Maple	1.5m ht	As Shown	B&B Multi-Stemmed, Dense Tree
ACX	2	Acer circinatum TRANSPLANTED / Vine Maple	7cm cal.		
AGR	3	Acer griseum / Paperbark Maple	6cm cal.	As Shown	B&B Well Branched, Dense Tree
APX	1	Acer palmatum - TRANSPLANTED / Japanese Maple	12cm cal.		
ARX	12	Acer rubrum - TRANSPLANTED / Red Maple	8cm cal.		
CS	33	Cornus nuttallii 'Starlight' / Starlight Dogwood	6cm cal.	As Shown	B&B, Uniform Branching, Dense Tree, 2.1m std.
FST	3	Fagus sylvatica 'Tricolor' / Tricolor Beech	12cm cal.	As Shown	B&B, Uniform Branching, Dense Tree, 2.1m std.
FSX	1	Fagus sylvatica - TRANSPLANTED / European Beech	6cm cal.		
MAX	3	Magnolia sp. TRANSPLANTED / Magnolia	8cm cal.		
PSC	6	Pinus contorta / Shore Pine	2.4m ht	As Shown	B&B Well Branched, Dense Tree
PDM	11	Pseudotsuga menziesii / Douglas Fir	3.0m ht.	As Shown	B&B Well Branched, Dense Tree
SJS	15	Styrax japonicus 'Snowcone' / Japanese Snowbell	6cm cal.	As Shown	B&B, Uniform Branching, Dense Tree, 2.1m std.
TPL	7	Thuja plicata / Western Red Cedar	3.0m ht.	As Shown	B&B Well Branched, Dense Tree

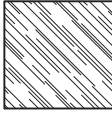
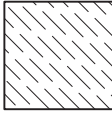
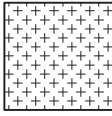
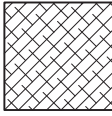

NOTES

1. ALL PLANT MATERIAL TO CLMA AND BCSLA STANDARDS. REFER TO THE BRITISH COLUMBIA LANDSCAPE STANDARD, CURRENT EDITION.
2. AREA OF SEARCH FOR PLANT MATERIAL: PACIFIC NORTHWEST, INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON.
3. ALL PLANTED AREAS ON PROJECT PROPERTY TO HAVE AUTOMATIC HIGH-EFFICIENCY IRRIGATION. IRRIGATION WITHIN VILLAGE LANE TO BE REPAIRED/REPLACED TO SUIT PROPOSED DESIGN. IRRIGATION PLAN TO BE PROVIDED.
4. REFER TO SPECIFICATION FOR GENERAL CONDITIONS, MATERIALS AND INSTALLATION REQUIREMENTS.
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SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACE	COMMENTS
☉	Fgm	16	Fothergilla gardenii 'Mt. Airy' / Dwarf Witchalder	#3 Pot	AS SHOWN	Well Established
☉	Gsh	214	Gaultheria shallon / Salal	#2 Pot	AS SHOWN	Well Established
☉	Mhc	47	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	#2 Pot		
☉	Pfr	376	Photinia x fraseri 'Red Robin' / Christmas Berry	Min. 5" tall	24"	Well Established
☉	Rhe	42	Rhododendron x 'Everest' / Everest Rhododendron	#3 Pot	AS SHOWN	Well Established
☉	Rht	31	Rhus typhina / Staghorn Sumac	#3 Pot	AS SHOWN	
☉	Rsk	27	Ribes sanguineum 'King Edward VII' / Red Flowering Currant	#3 Pot	AS SHOWN	
☉	Spn	119	Salix purpurea 'Nana' / Dwarf Arctic Willow	#2 Pot	24"	Well Established
☉	Sam	52	Symphoricarpos albus 'Magic Berry' / Compact Snowberry	#2 Pot	AS SHOWN	Well Established
☉	Tmh	341	Taxus x media 'Hicksii' / Hicks Yew	#3 Pot	24"	Well Established
☉	Vov	86	Vaccinium ovatum / Evergreen Huckleberry	#3 Pot	AS SHOWN	
☉	Vpv	88	Vaccinium parvifolium / Red Huckleberry	#2 Pot	24"	Well Established

ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACE	COMMENTS
☉	pog	93	Polygonatum odoratum / Solomon's Seal	2 gal.		
•	vbo	26	Verbena bonariensis / Purpletop Vervain	#2 Pot		

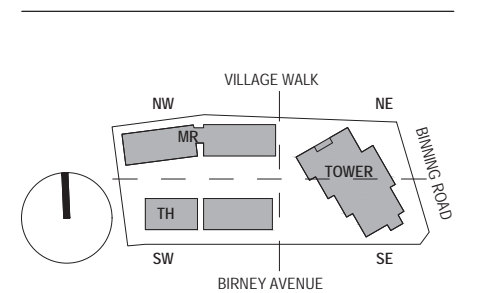
FERNS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACE	COMMENTS
•	ape	308	Adiantum pedatum / Northern Maidenhair Fern	#1 Pot	14"	
☉	aff	311	Athyrium filix-femina / Common Lady Fern	#2 Pot	12"	
☉	pmn	196	Polystichum munitum / Western Sword Fern	#2 Pot	AS SHOWN	

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACE	COMMENTS	SPACING
	ac	904	Asarum canadense / Canadian Wild Ginger	#1 Pot	12"		12" o.c.
	bsp	1 640	Blechnum spicant / Deer Fern	#1 pot			18" o.c.
	cdm	1 249	Cotoneaster dammeri 'Coral Beauty' / Bearberry Cotoneaster	#1 Pot	45cm		18" o.c.
	dcp	517	Deschampsia cespitosa / Tufted Hair Grass	2 gal.			24" o.c.
	Or	763	Oxalis oregana / Redwood Sorrel	#1 Pot	12"		12" o.c.
	ptg	140	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	#1 pot			14" o.c.
	pmu	1 210	Polystichum munitum / Western Sword Fern	#2 Pot	AS SHOWN		24" o.c.
	ssu	56	Sagina subulata / Irish Moss	#1 pot			24" o.c.



Landscape Architecture  
Urban Design  
403 - 375 West Fifth Avenue  
Vancouver BC, V5Y 1J6  
604 909 4150  
hapacobo.com

ISSUE FOR DPMA  
2019-08-19

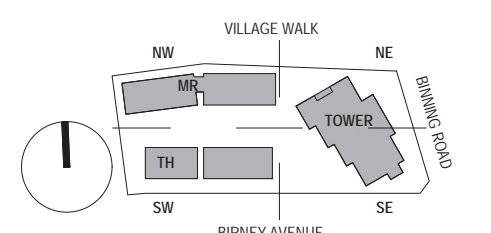


IVY ON THE PARK  
LOT 8

1	PRE-APPLICATION AUDP SUBMISSION	2017-11-02
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PLANTING SCHEDULE

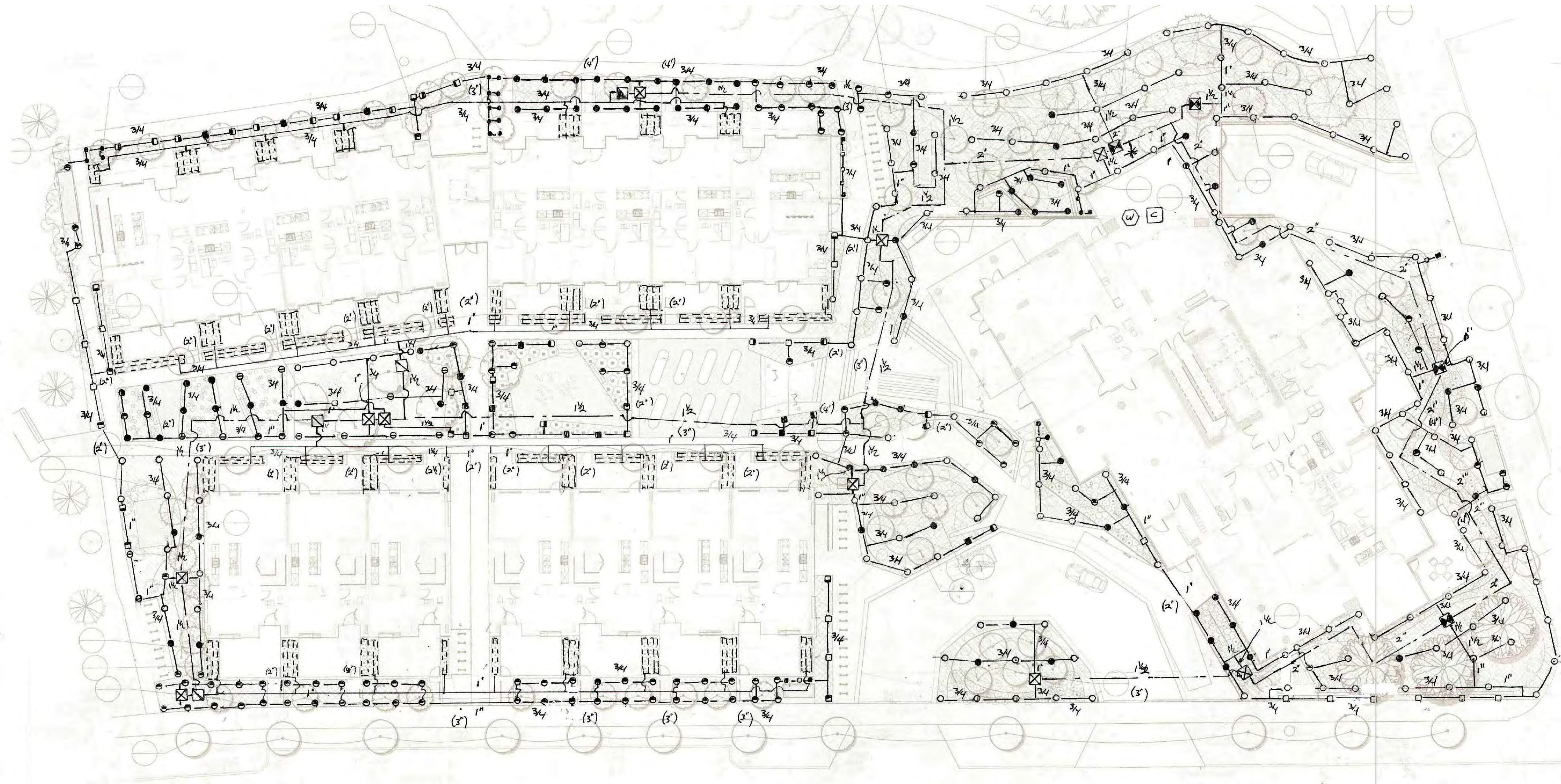
L-1.41



IVY ON THE PARK  
LOT 8

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IRRIGATION PLAN



1 IRRIGATION PLAN  
NTS

NOTE:  
IRRIGATION PLAN TO BE UPDATED TO MATCH PLAN REVISIONS PRIOR TO IFC

IRRIGATION LEGEND

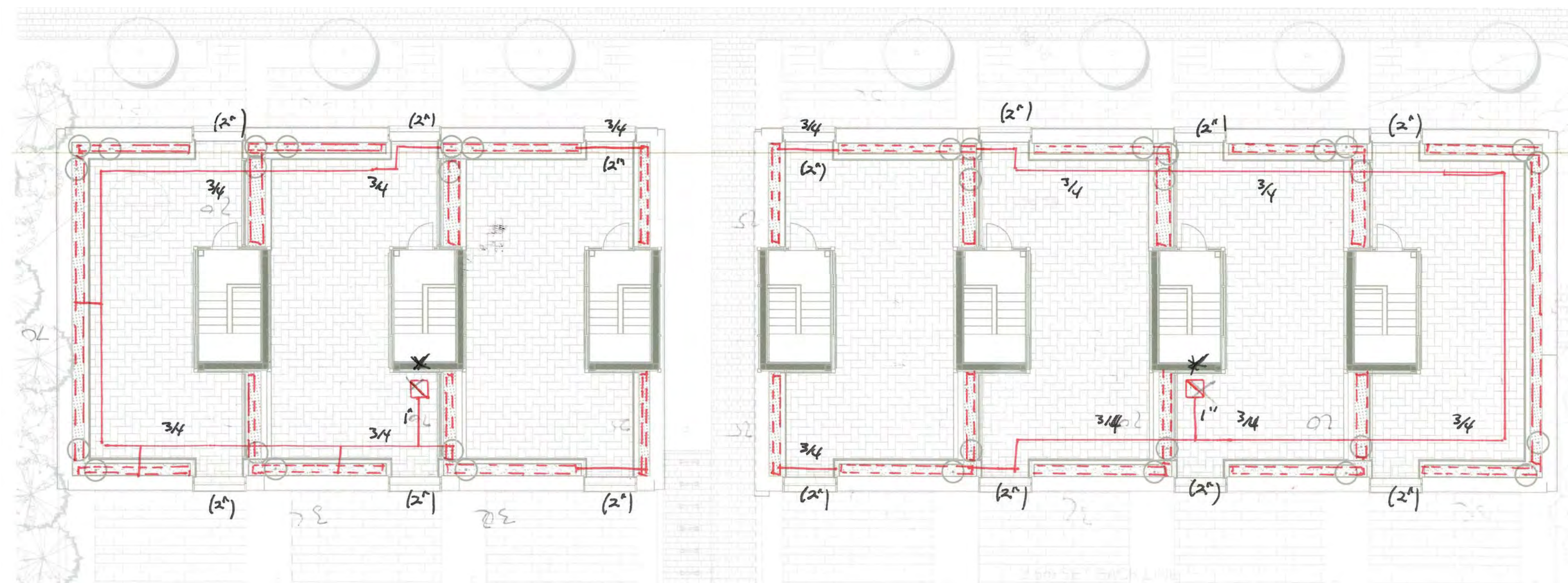
- MAIN CONNECTION  
36.0 USGPM @ 60psi, 1 1/2" Double Check Valve Assembly & Rainbird #3 Quick Coupler
- TIME CLOCK  
Rainbird ESPSMTE - 16 Stations
- AUTO VALVE  
Rainbird XCZ-100-PRB-LC
- AUTO VALVE  
Rainbird XCZLF-100-PRF
- AUTO VALVE  
Rainbird 100 PGA
- AUTO VALVE  
Rainbird 150 PGA
- STUB-OUT
- RAINBIRD 1812-PRS SPRINKLER C/W U15' NOZZLE
- RAINBIRD 1812-PRS SPRINKLER C/W U12' NOZZLE
- RAINBIRD 1812-PRS SPRINKLER C/W U10' NOZZLE
- RAINBIRD 1806-PRS SPRINKLER C/W U8' NOZZLE
- RAINBIRD 1806-PRS SPRINKLER C/W 5' NOZZLE
- RAINBIRD 1812-PRS SPRINKLER C/W 15SST NOZZLE
- RAINBIRD 1812-PRS SPRINKLER C/W 15RCS OR LCS NOZZLE
- RAINBIRD 1812 SPRINKLER C/W 15SST NOZZLE + 0.6 PCS
- RAINBIRD 1806 SPRINKLER C/W SQ-QTR NOZZLE
- RAINBIRD 1806-PRS SPRINKLER C/W SQ-HLF NOZZLE
- RAINBIRD XFD-09-12 DRILINE
- (2") SLEEVE SIZE

IRRIGATION NOTES

1. USE HE-VAN NOZZLES FOR SPRAY PATTERNS LESS THAN 90 DEGREES
2. FLOW THROUGH ALL PIPING NOT EXCEED 5ft./sec
3. RAINBIRD 1800 PRINKLERS IN LAWN TO BE RAINBIRD 1804-PRS SPRINKLER
4. ALL DRILINE TO BE LOOPED, INSTALL AIR/VACUUM RELIEF VALVE AT HIGH POINT OF EACH ZONE
5. ALL SLEEVE SIZING AND LOCATION IS THE RESPONSIBILITY OF THE CONTRACTOR
6. LOCATION OF WEATER SENSOR TO BE DETERMINED ON SITE
7. GREEN ROOF SPRINKLER TO BE FIXED RISER - PA-8S PRS WITH ADDITIONAL ZONES ADDED
8. REPAIR OR REPLACE ALL IRRIGATION IN VILLAGE LANE. REVISED IRRIGATION PLAN TO BE PROVIDED.



NOTE: TOWNHOUSE IRRIGATION PLAN TO BE REVISED TO MATCH PLAN PRIOR TO IFC  
SEE ROOF MATERIALS PLAN FOR CURRENT PLAN



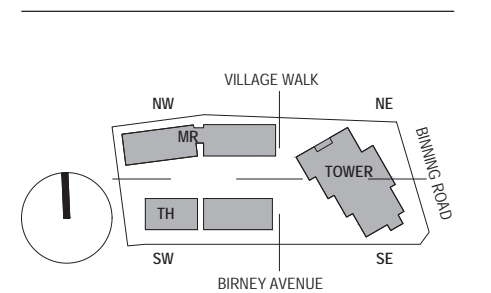
1 ROOFTOP IRRIGATION PLAN  
NTS

IRRIGATION LEGEND

- MAIN CONNECTION  
36.0 USGPM @ 60psi, 1 1/2" Double Check Valve Assembly & Rainbird #3 Quick Coupler
- TIME CLOCK  
Rainbird ESPSMTE - 16 Stations
- AUTO VALVE  
Rainbird XCZ-100-PRB-LC
- AUTO VALVE  
Rainbird XCZLF-100-PRF
- AUTO VALVE  
Rainbird 100 PGA
- AUTO VALVE  
Rainbird 150 PGA
- STUB-OUT
- RAINBIRD 1812-PRS SPRINKLER C/W U15' NOZZLE
- RAINBIRD 1812-PRS SPRINKLER C/W U12' NOZZLE
- RAINBIRD 1812-PRS SPRINKLER C/W U10' NOZZLE
- RAINBIRD 1806-PRS SPRINKLER C/W U8' NOZZLE
- RAINBIRD 1806-PRS SPRINKLER C/W 5' NOZZLE
- RAINBIRD 1812-PRS SPRINKLER C/W 15SST NOZZLE
- RAINBIRD 1812-PRS SPRINKLER C/W 15RCS OR LCS NOZZLE
- RAINBIRD 1812 SPRINKLER C/W 15SST NOZZLE + 0.6 PCS
- RAINBIRD 1806 SPRINKLER C/W SQ-QTR NOZZLE
- RAINBIRD 1806-PRS SPRINKLER C/W SQ-HLF NOZZLE
- RAINBIRD XFD-09-12 DRIPLINE
- (2") SLEEVE SIZE

IRRIGATION NOTES

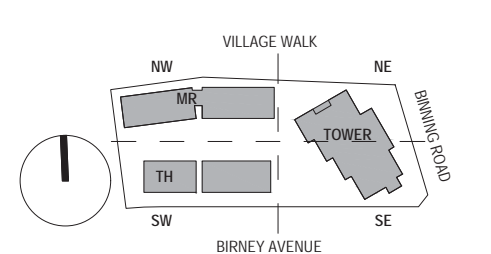
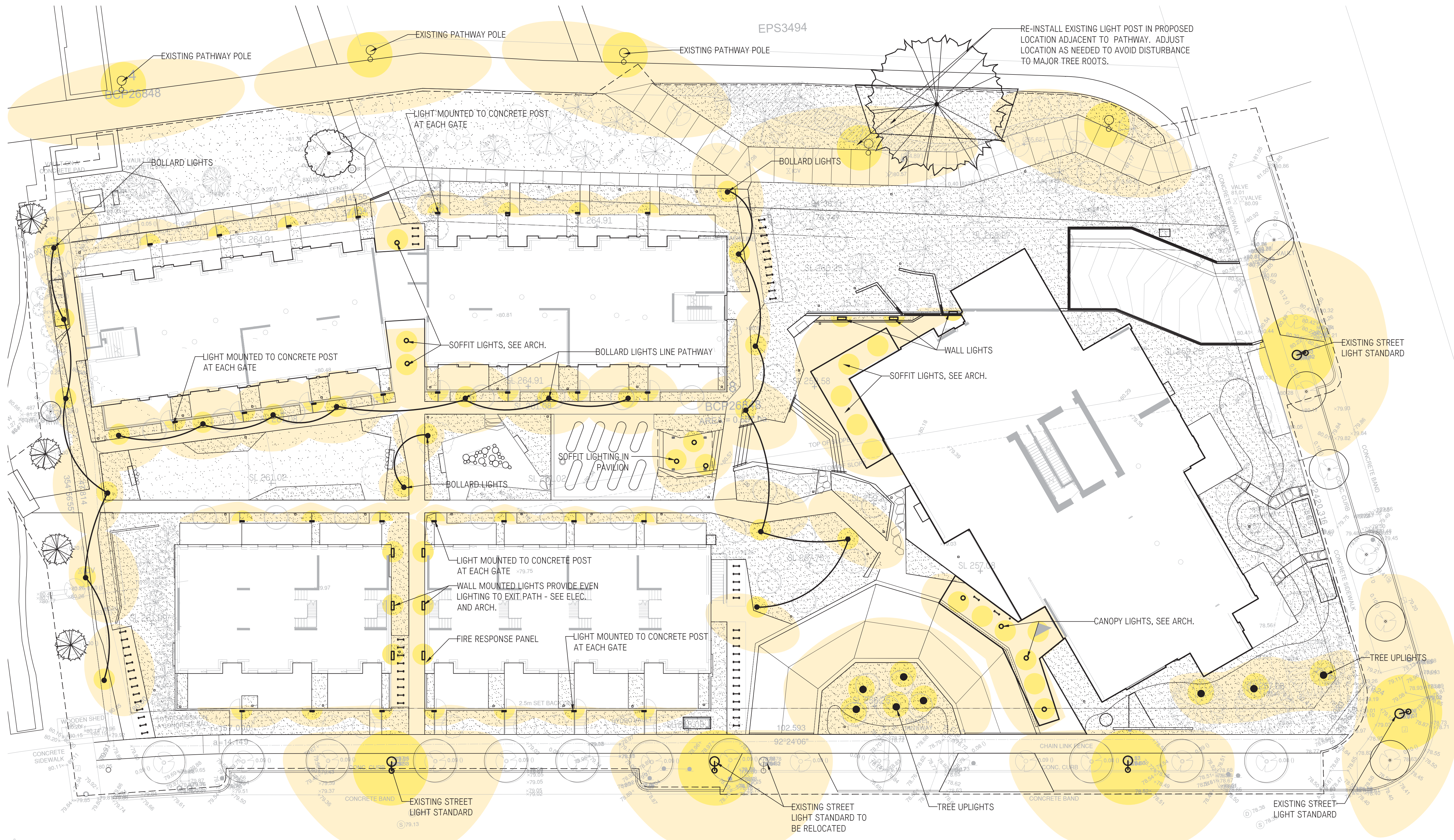
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IVY ON THE PARK  
LOT 8

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IRRIGATION PLAN



IVY ON THE PARK  
LOT 8

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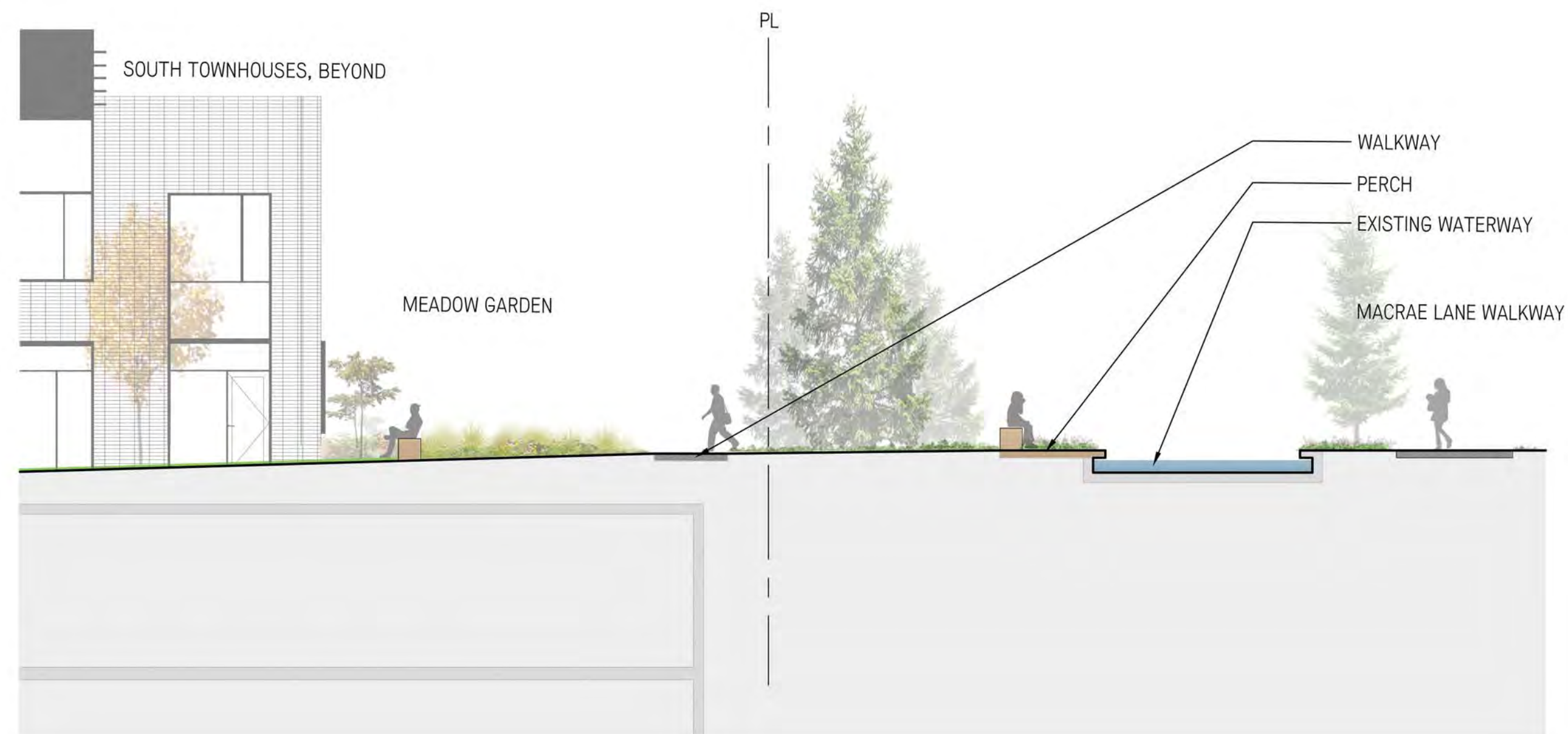
1 LANDSCAPE LIGHTING PLAN  
1/16" = 1'-0"

- LIGHTING SYMBOLS
- ▬ WALL MOUNTED PATH LIGHT
  - ▬ POST MOUNTED STEP LIGHT
  - BOLLARD LIGHT
  - TREE UPLIGHT
  - SOFFIT LIGHTING - SEE ARCH.
  - ⊙ EXISTING STREET POLE
  - ⊙ EXISTING PATHWAY POLE





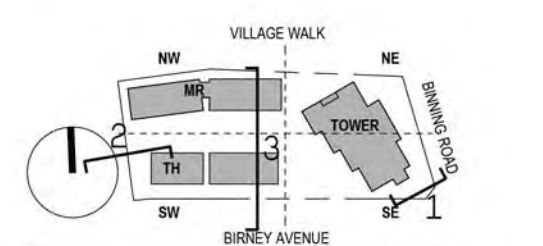
1 SECTION LOOKING NORTH THROUGH FERN DELL  
L2.10 1/8" = 1'0"



2 SECTION LOOKING SOUTH THROUGH PERCH  
L2.10 1/8" = 1'0"



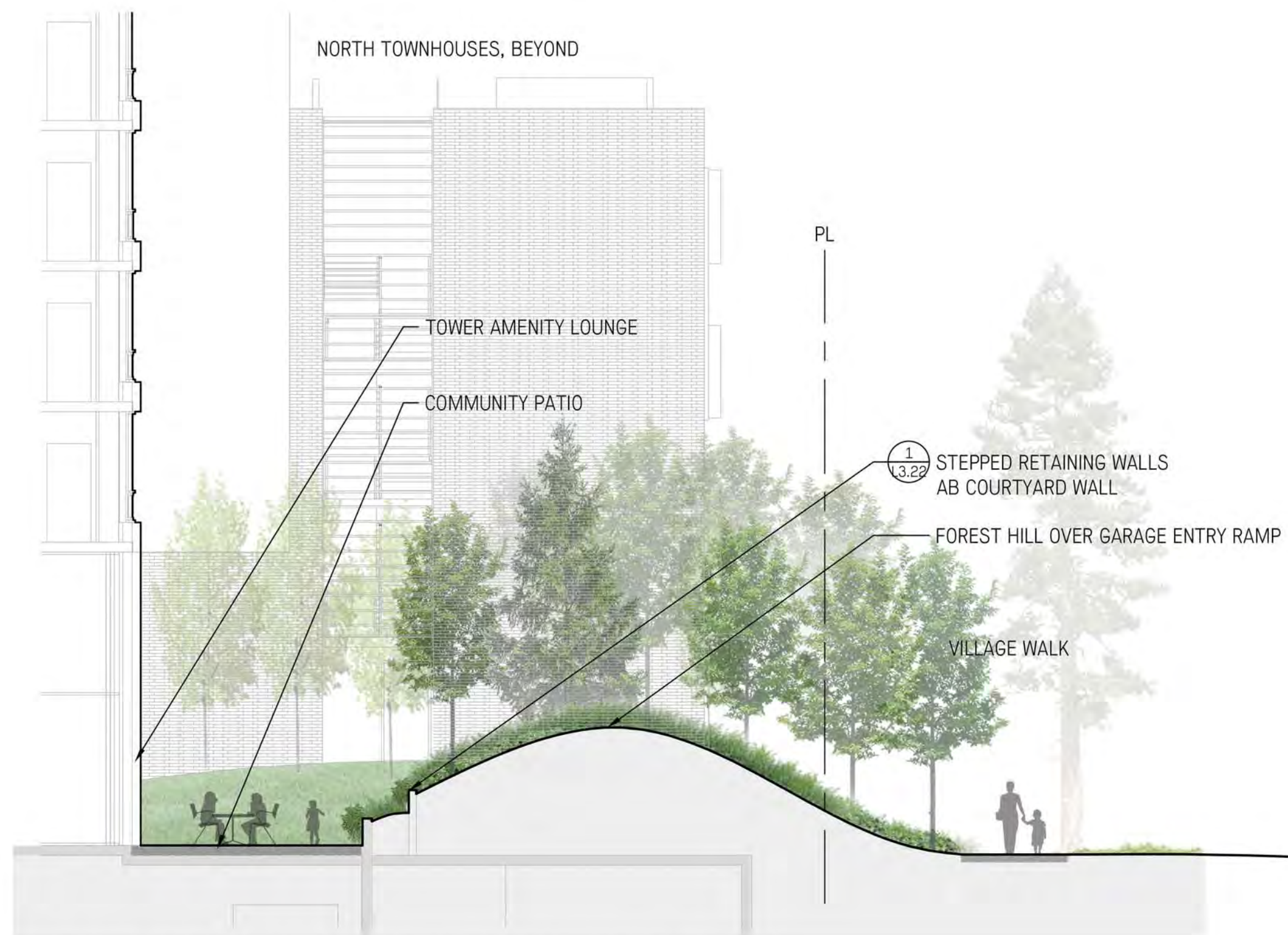
3 SECTION LOOKING WEST THROUGH CENTRAL WALKWAY  
L2.10 1/8" = 1'0"



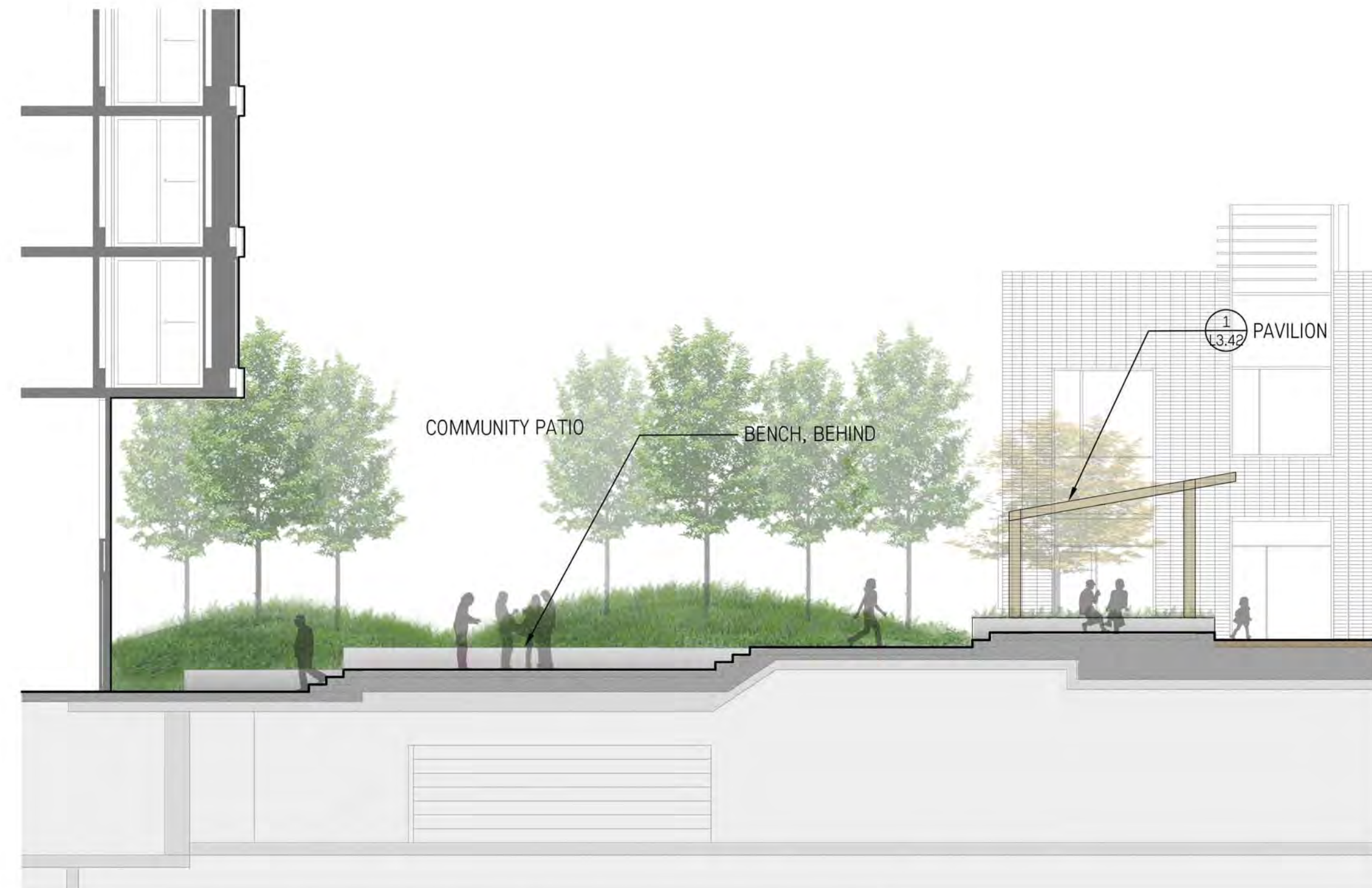
IVY ON THE PARK  
LOT 8

1	PRE-APPLICATION ALDP SUBMISSION	2017-11-02
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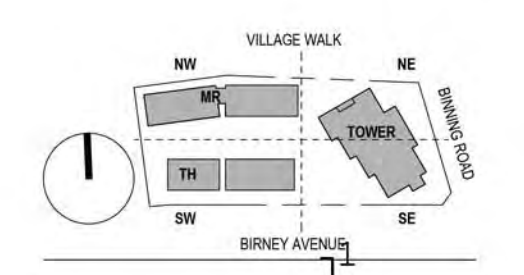
LANDSCAPE SECTIONS



1  
L2.20  
SECTION LOOKING WEST THROUGH FOREST HILL  
1/8" = 1'0"

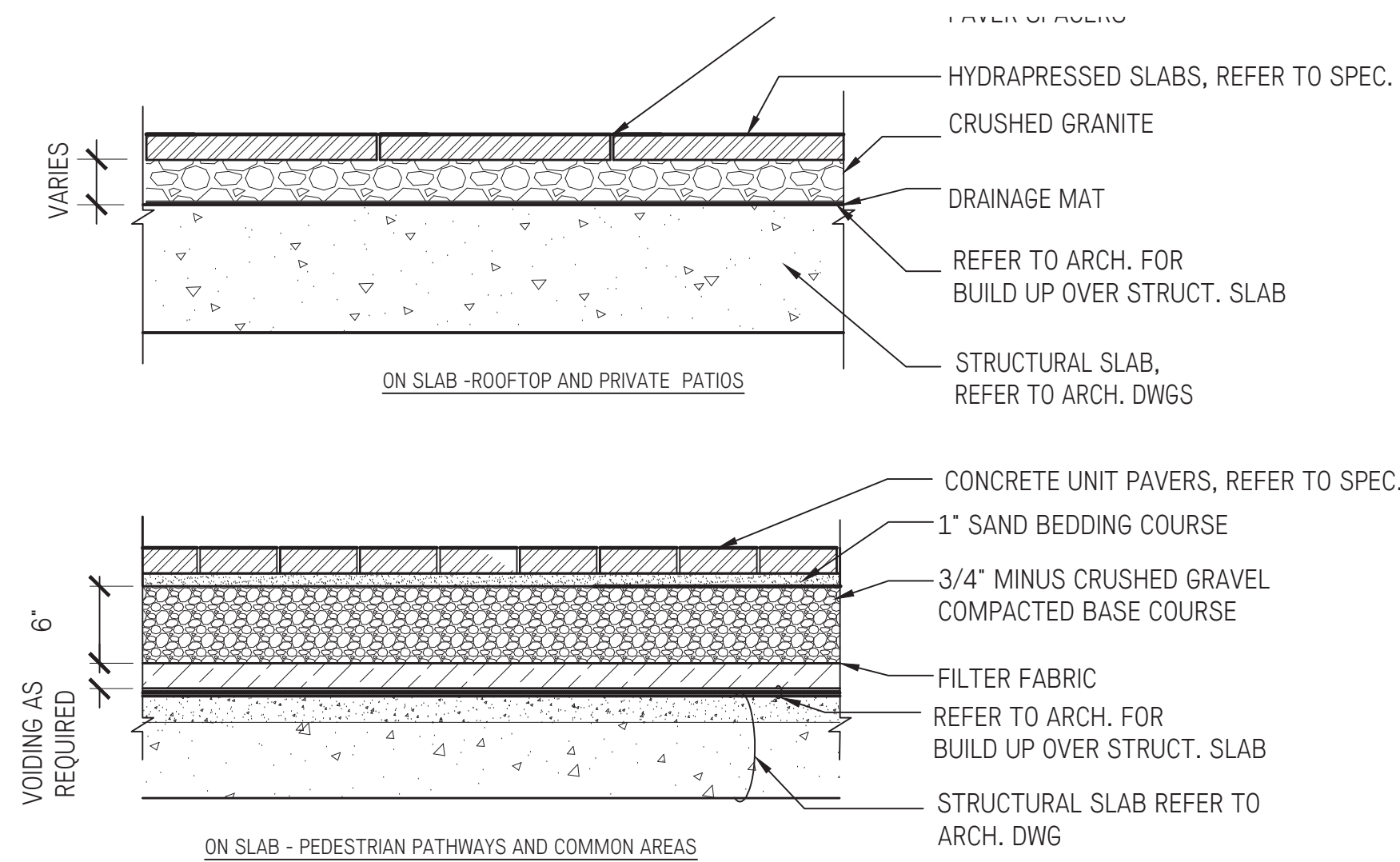


2  
L2.20  
SECTION LOOKING SOUTH THROUGH COMMUNITY PATIO  
1/8" = 1'0"

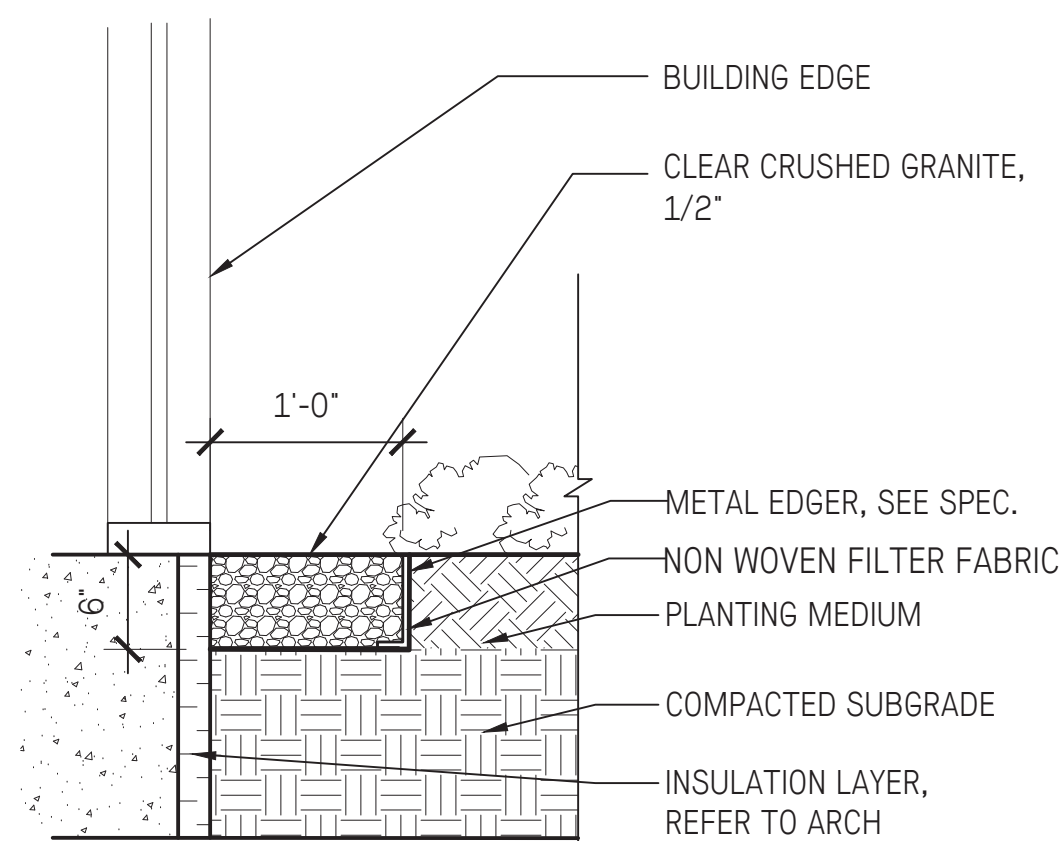


IVY ON THE PARK  
LOT 8

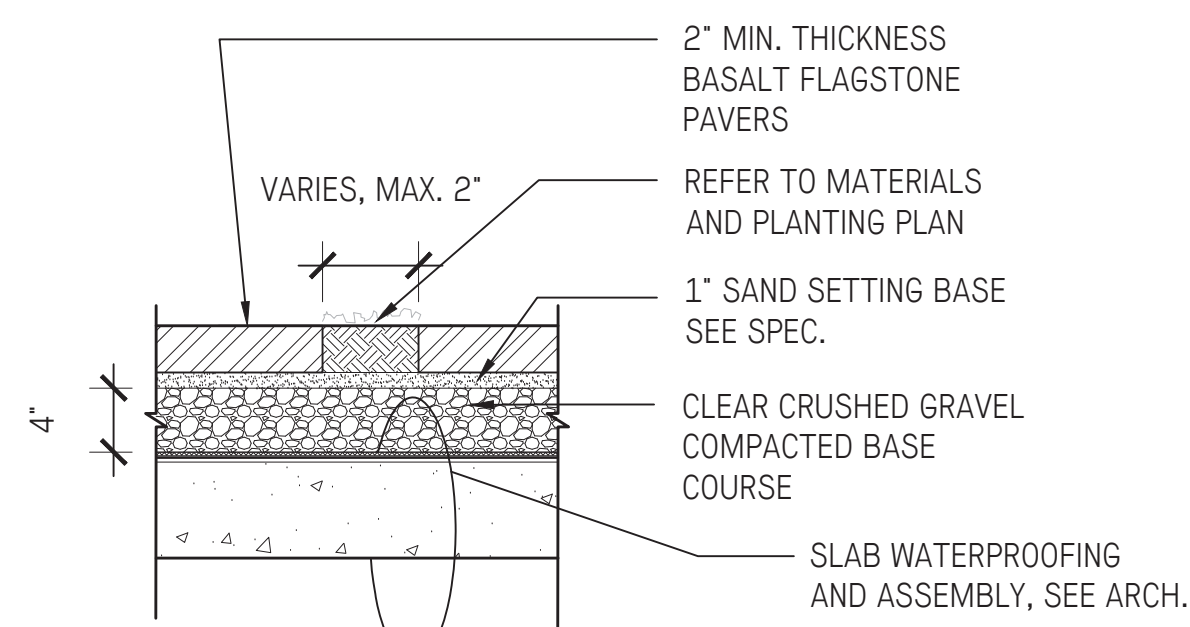
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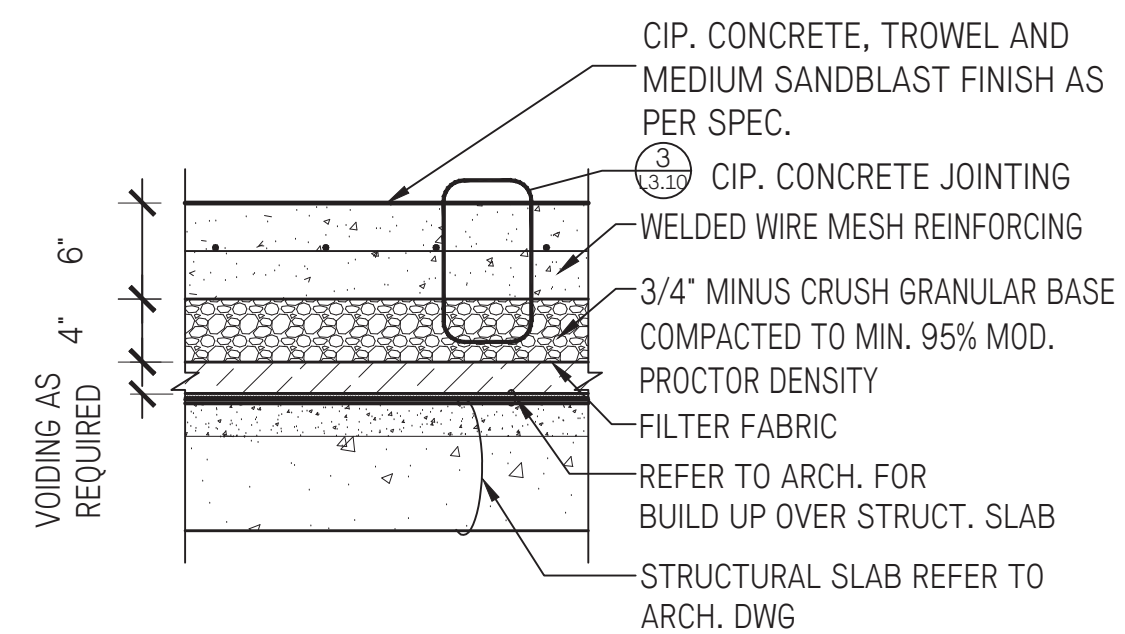
1 CONCRETE PAVERS  
L3.10 1"=1'-0"



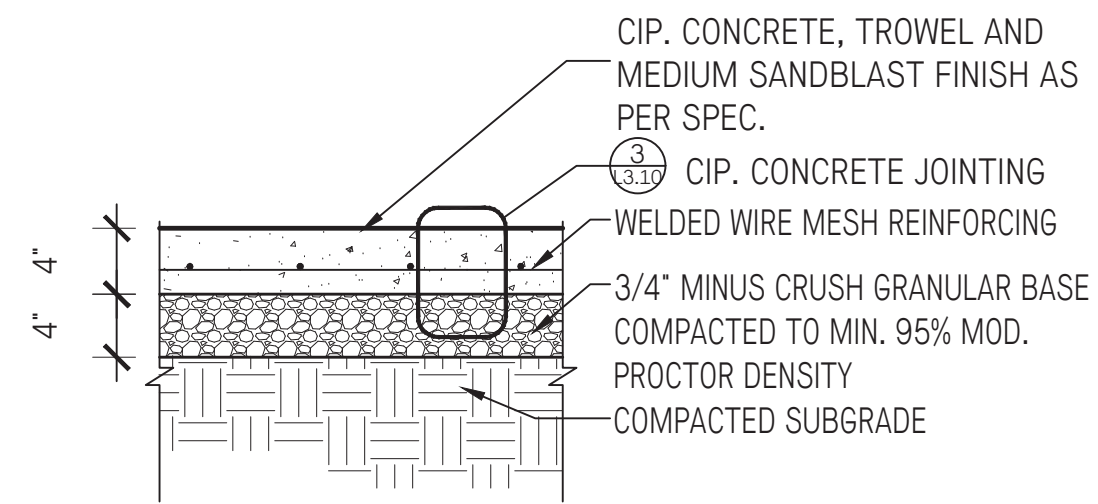
4 DRIP STRIP AT BUILDING EDGE  
L3.10 1"=1'-0"



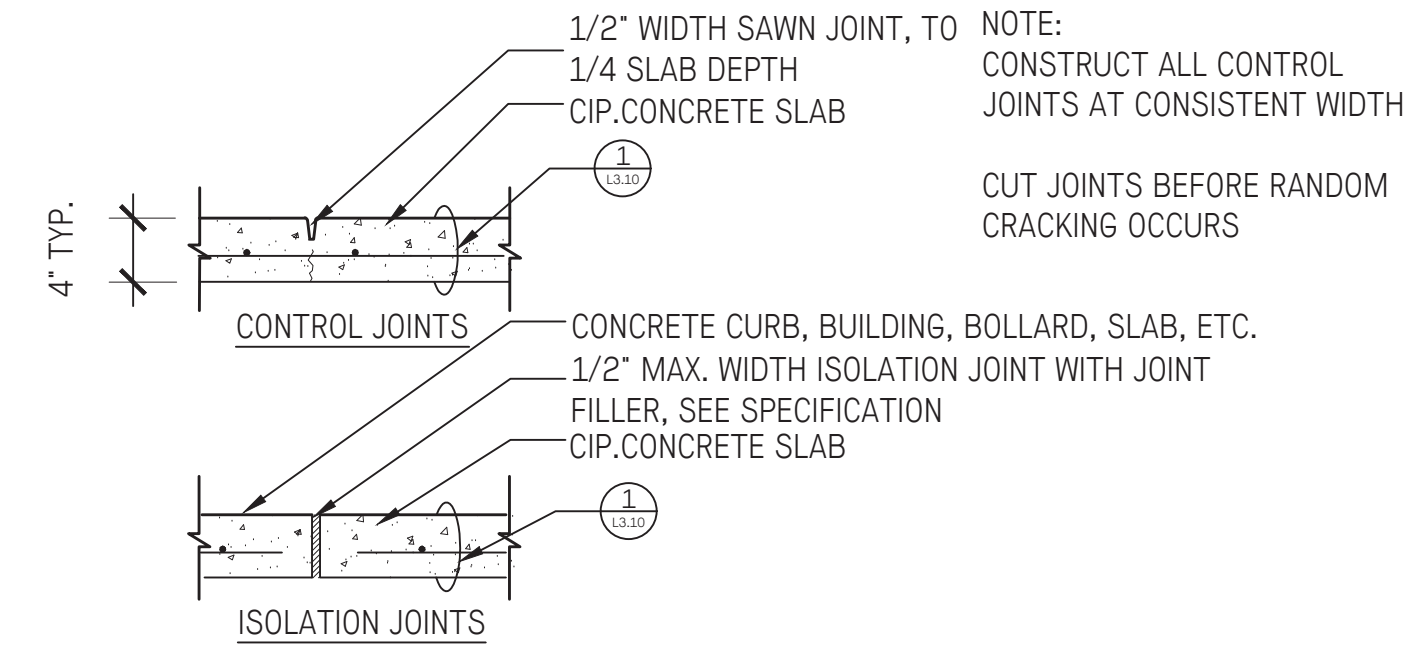
FLAGSTONE PAVING  
L3.10 1"=1'-0"



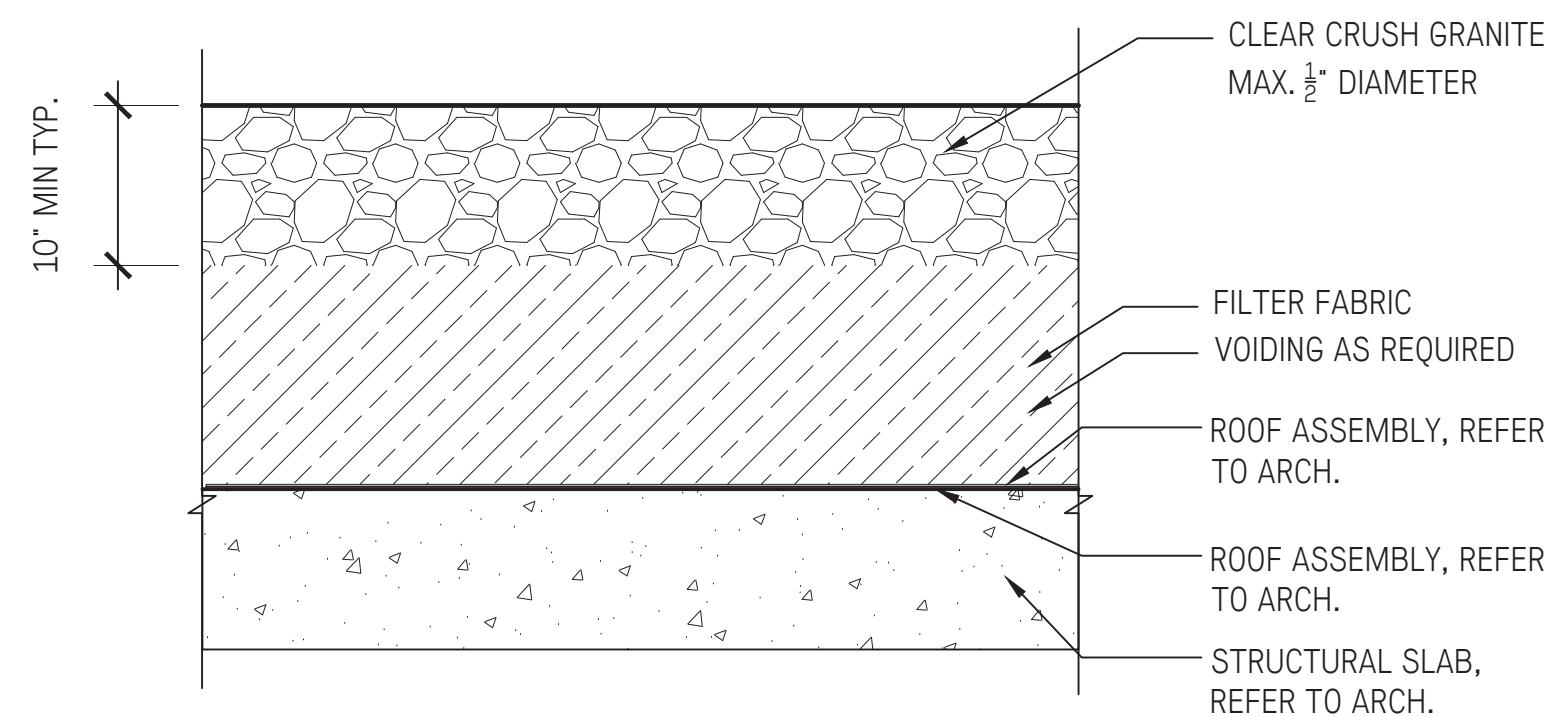
CIP CONCRETE DRIVEWAY ON SLAB  
L3.10 1"=1'-0"



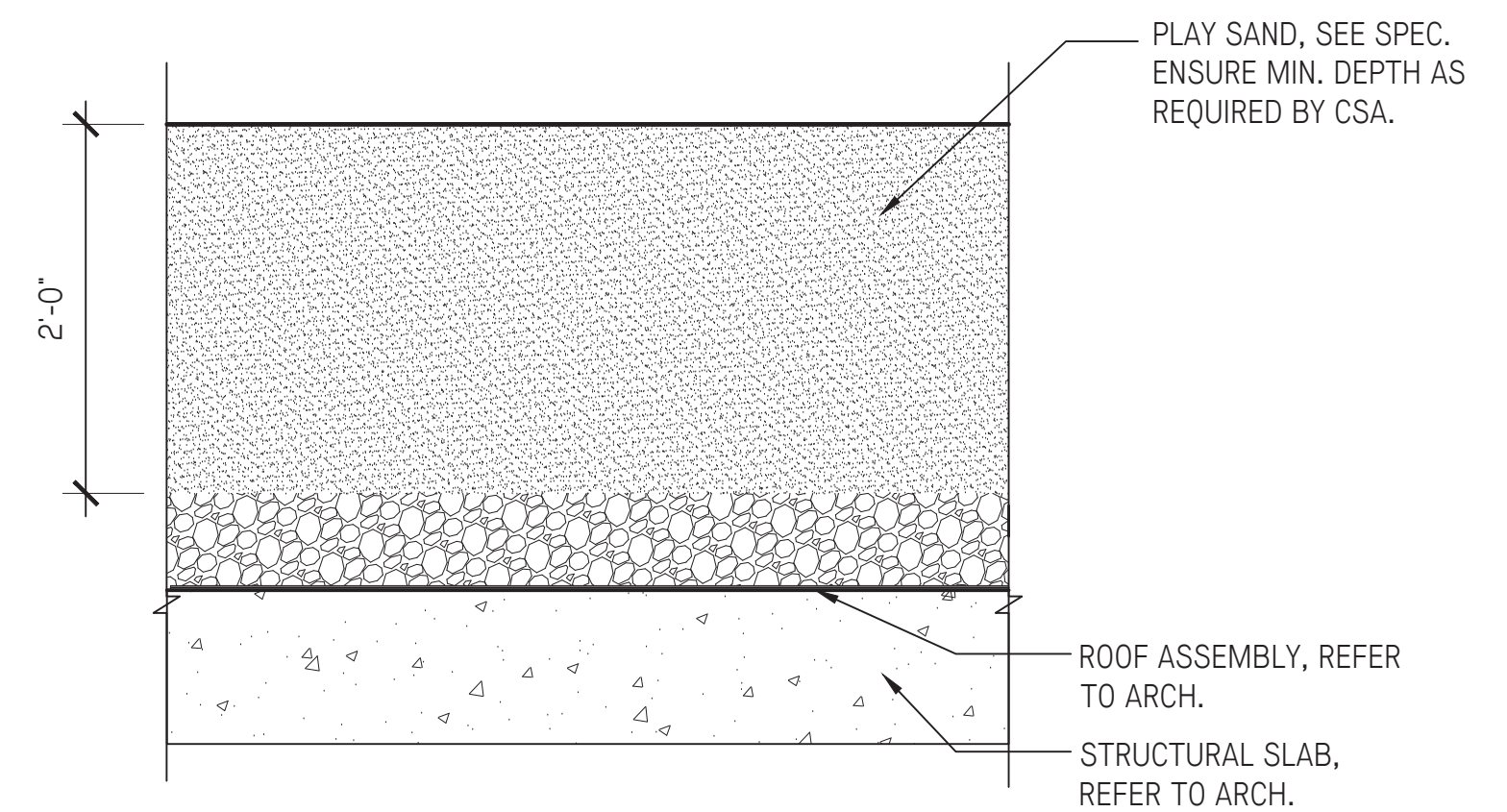
2 CIP. CONCRETE SIDEWALK ON GRADE  
L3.10 1"=1'-0"



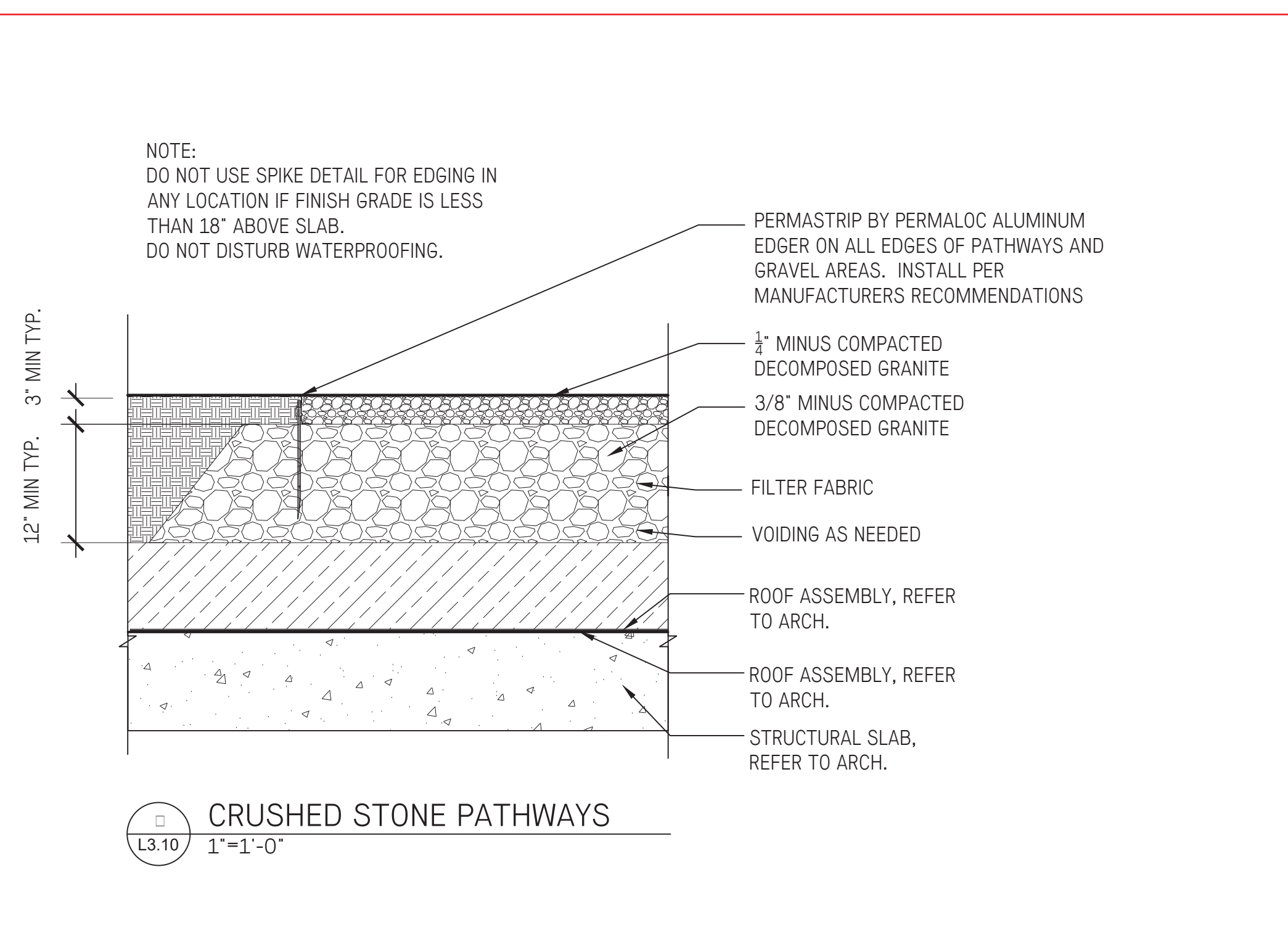
3 CIP. CONCRETE JOINTING  
L3.10 1"=1'-0"



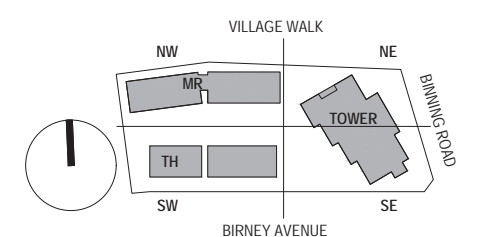
5 CRUSHED STONE PAVING AT COMMUNITY GARDEN  
L3.10 1"=1'-0"



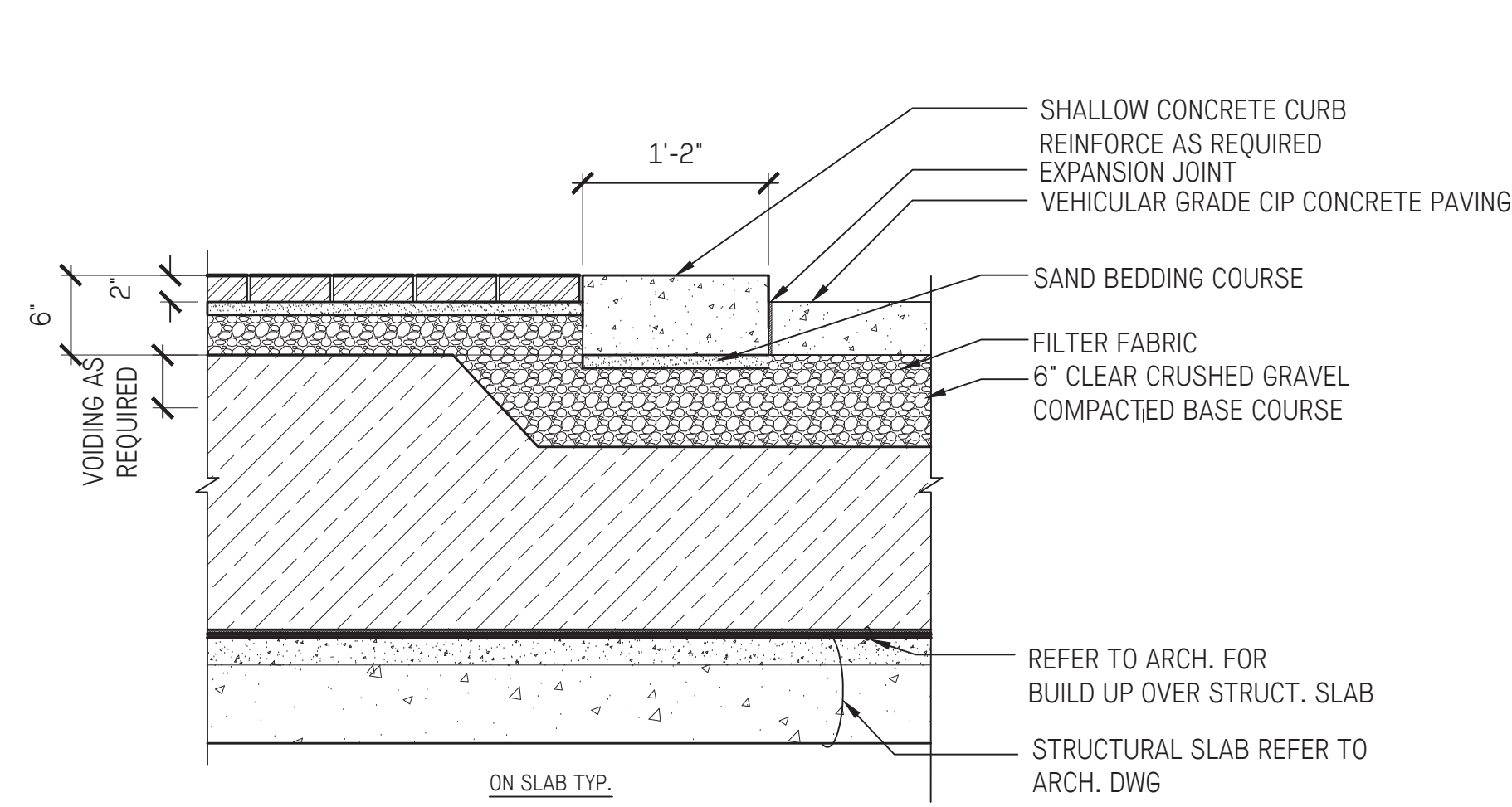
SAND PLAY AREA SURFACING - GROUND LEVEL  
L3.10 1"=1'-0"



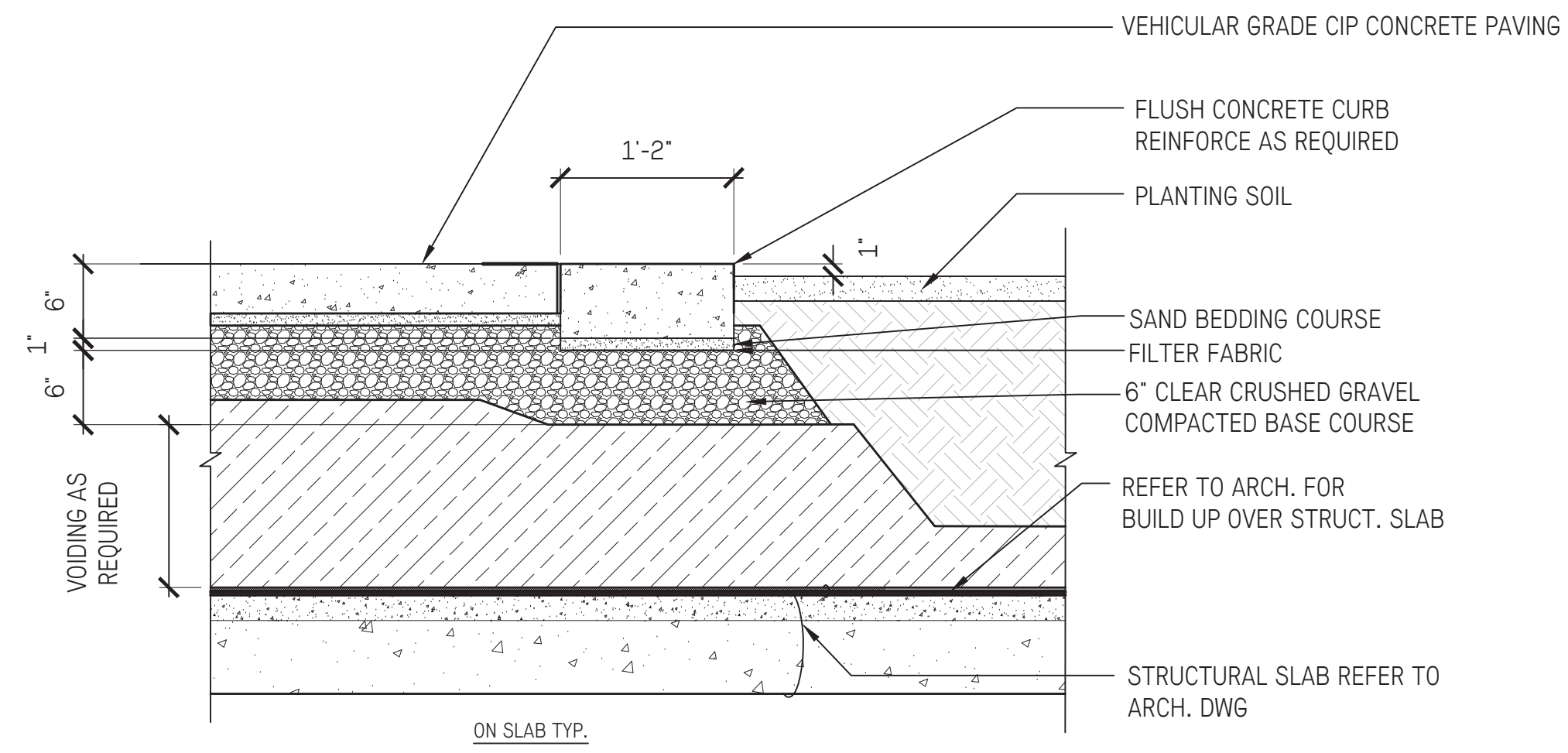
CRUSHED STONE PATHWAYS  
L3.10 1"=1'-0"



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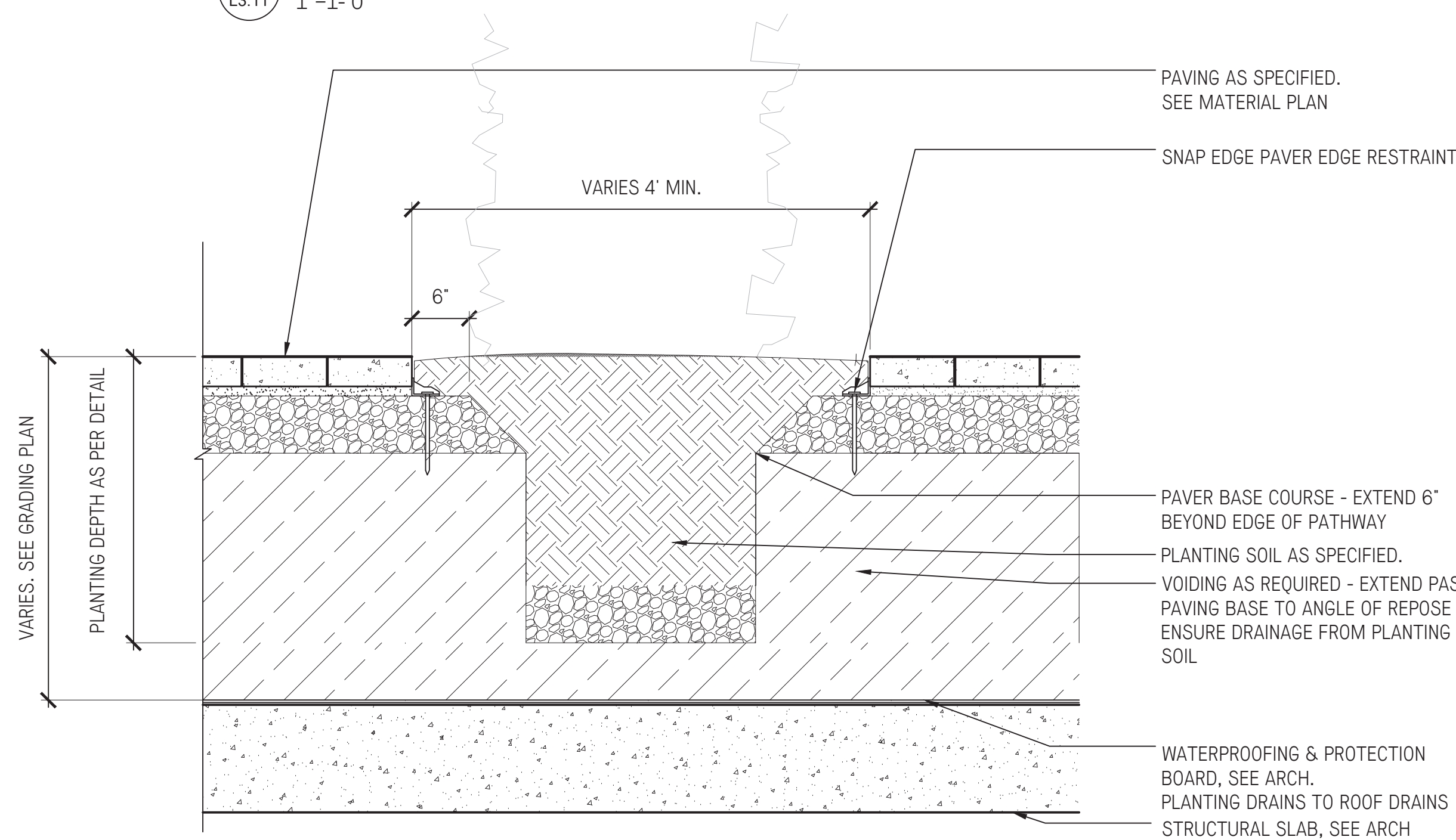


1 SHALLOW CONCRETE CURB  
L3.11 1" = 1'-0"

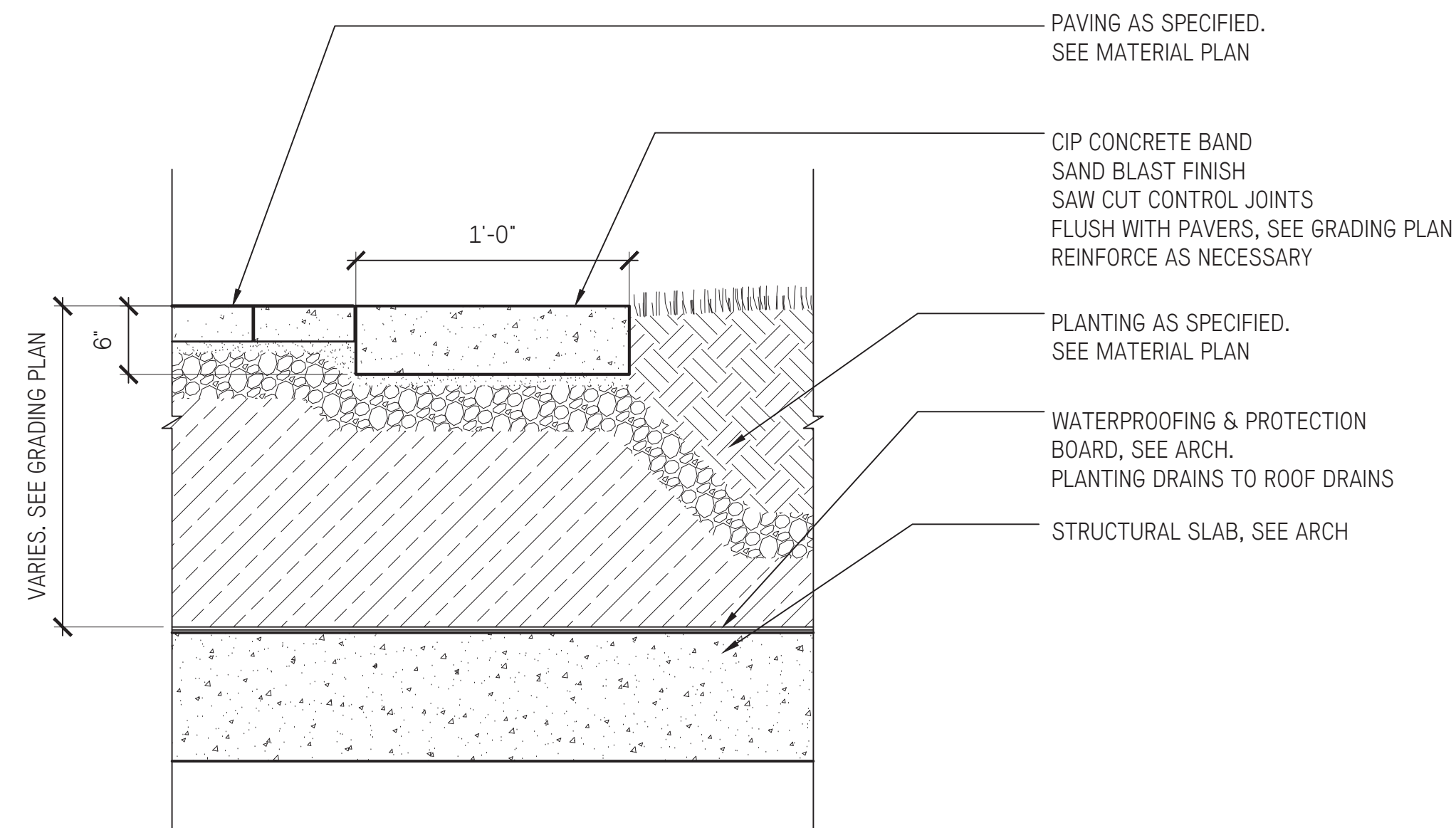


2 FLUSH CONCRETE CURB  
L3.11 1" = 1'-0"

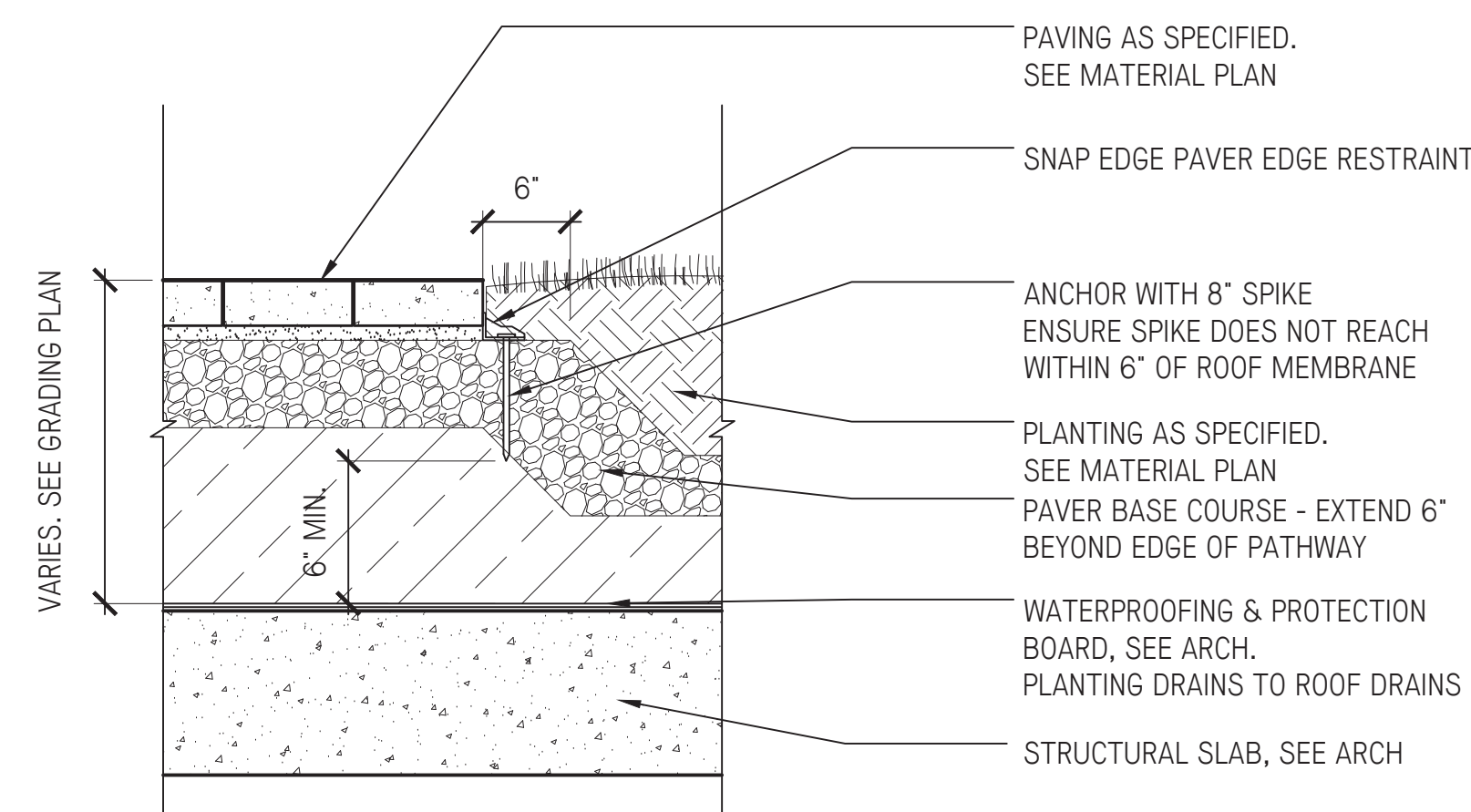
GENERAL NOTES:  
1. REINFORCE ALL CONCRETE AS REQUIRED



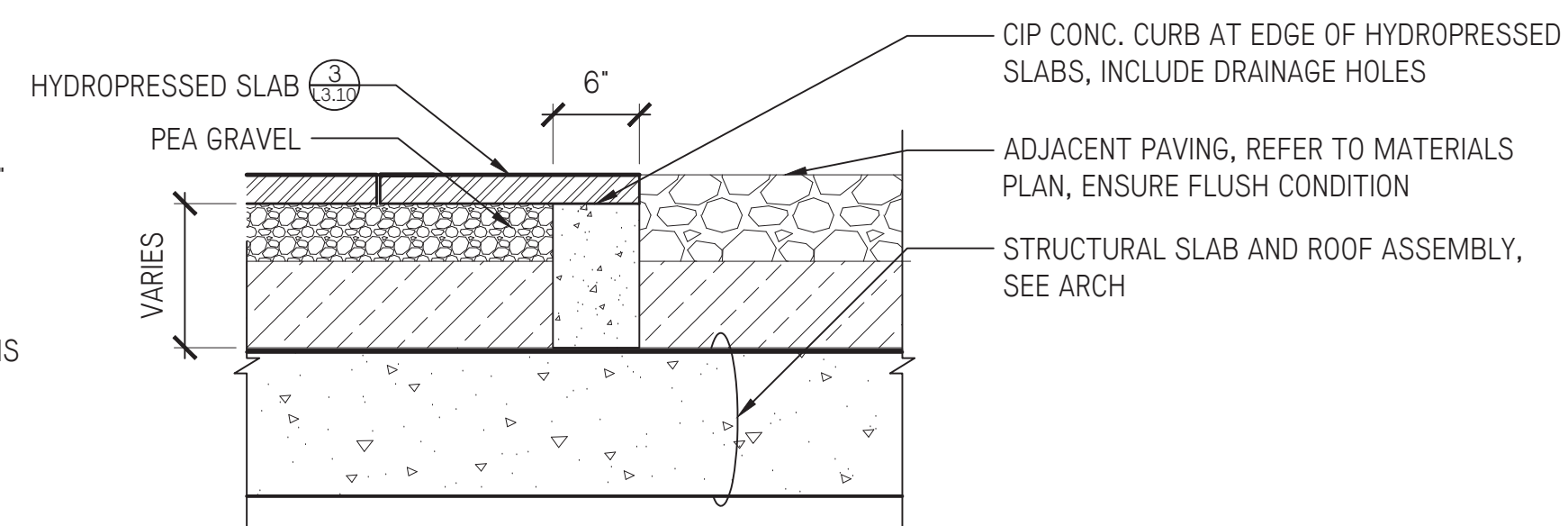
3 PLANTING BETWEEN PATIOS, TYP.  
L3.11 3/4" = 1'-0"



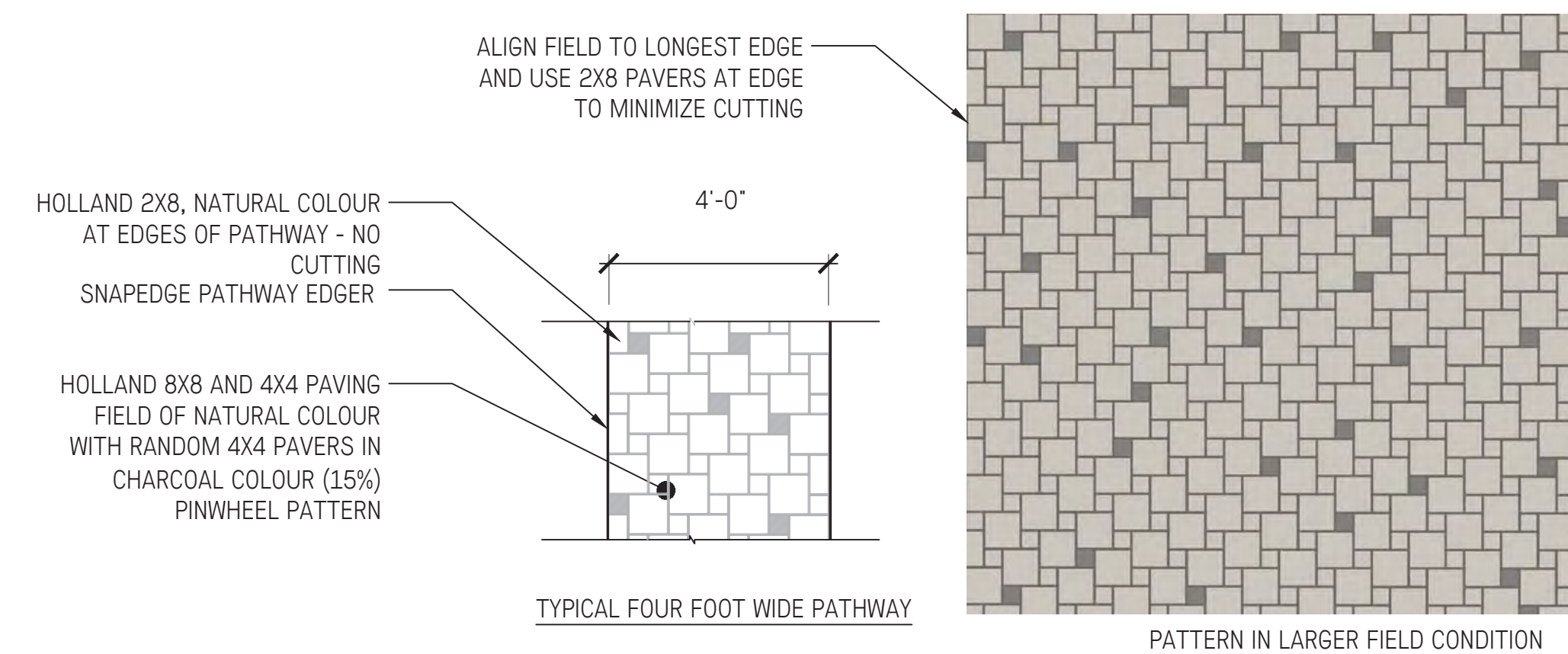
4 CONCRETE BAND  
L3.11 1" = 1'-0"



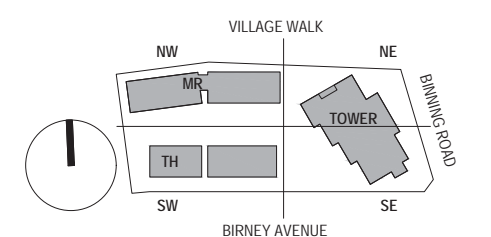
5 PATHWAY EDGE AT PLANTING, TYP.  
L3.11 1" = 1'-0"



6 HYDROPPRESSED SLAB EDGE  
L3.11 1" = 1'-0"



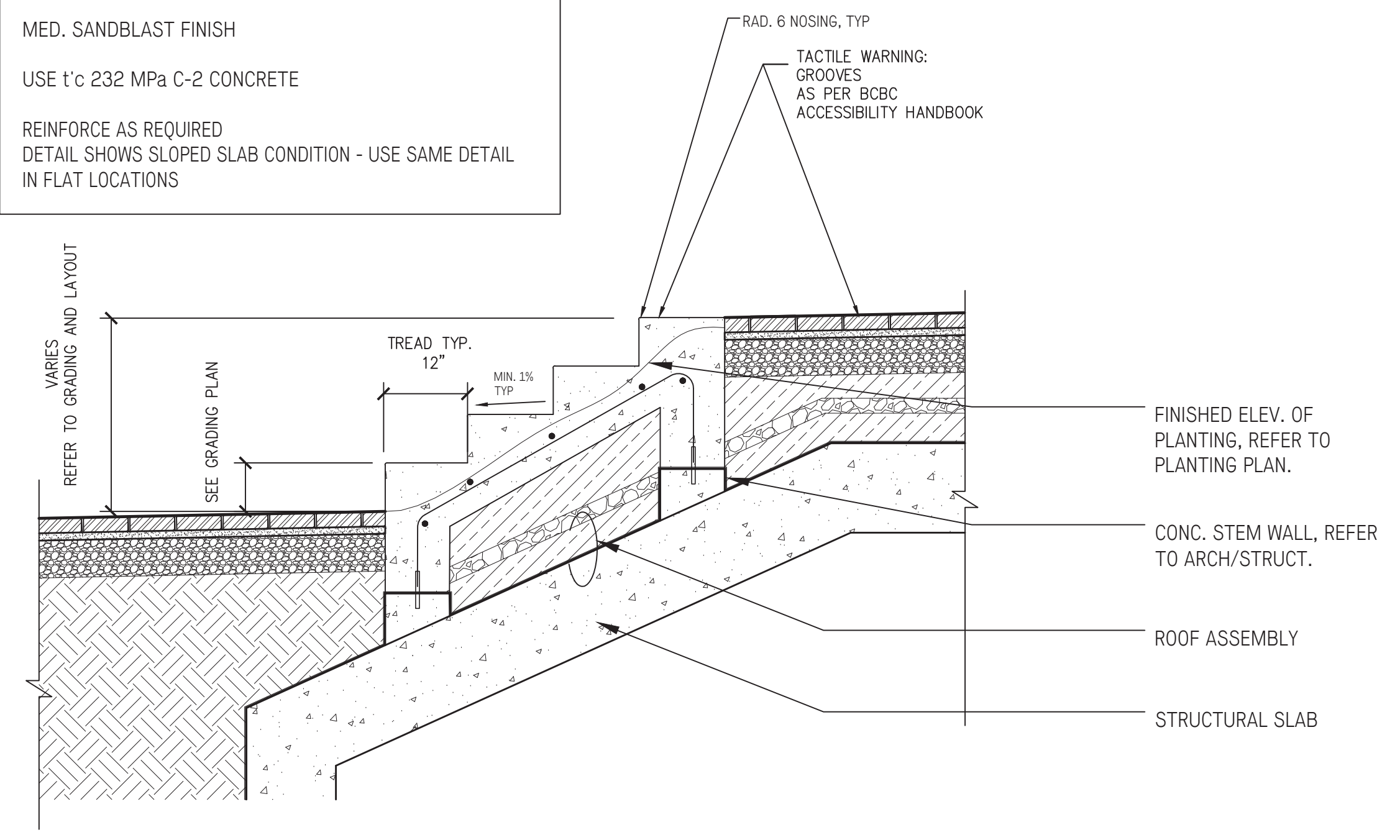
1 PAVING PATTERN A - PATHWAY PAVING  
L3.12 3/8" = 1'-0"



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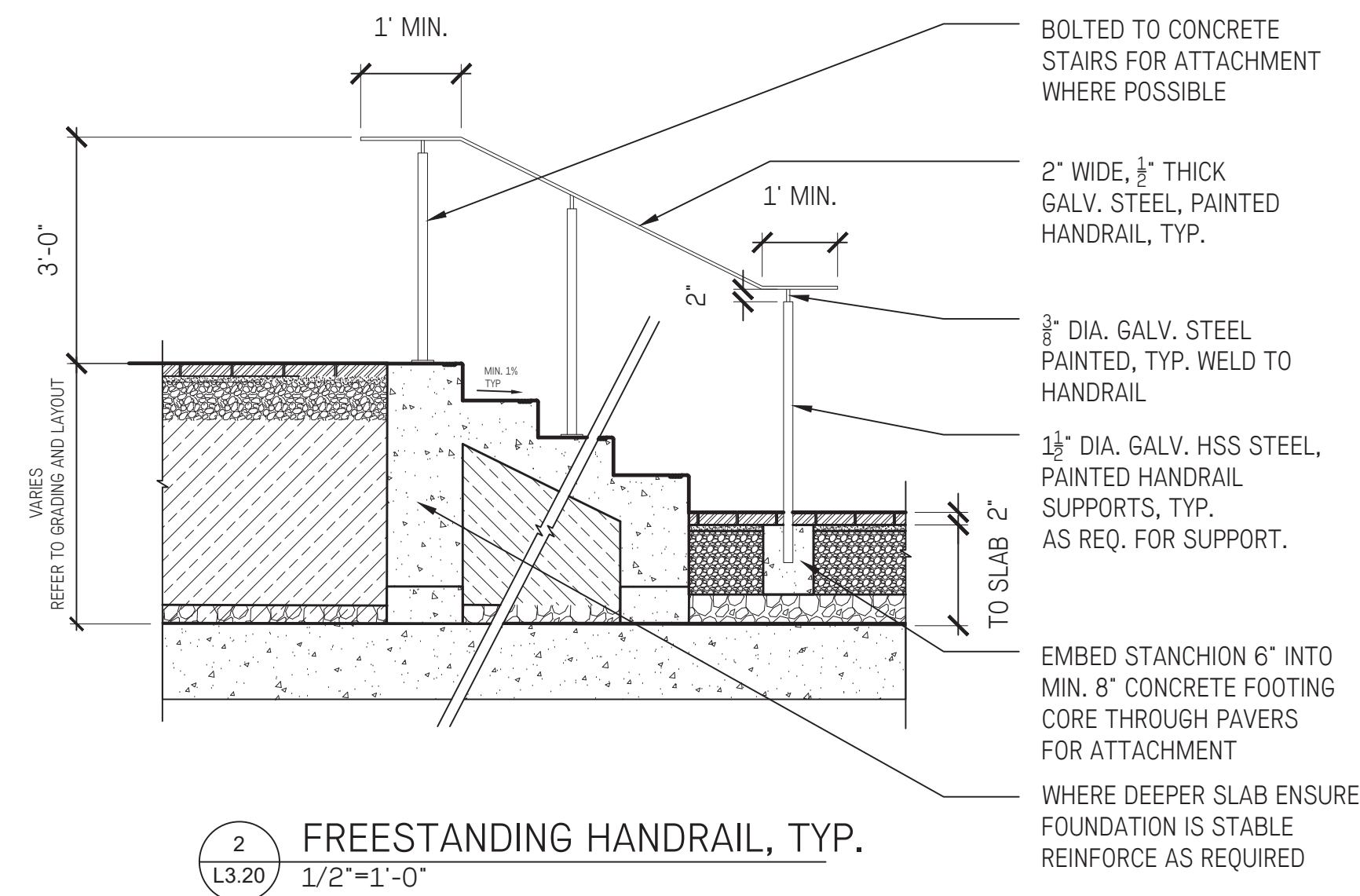
GENERAL NOTES:  
 1. REINFORCE ALL CONCRETE AS REQUIRED

NOTES:  
 REFER TO GRADING PLAN FOR TOP/BOTTOM OF STAIR ELEVATIONS  
 MED. SANDBLAST FINISH  
 USE t'c 232 MPa C-2 CONCRETE  
 REINFORCE AS REQUIRED  
 DETAIL SHOWS SLOPED SLAB CONDITION - USE SAME DETAIL IN FLAT LOCATIONS



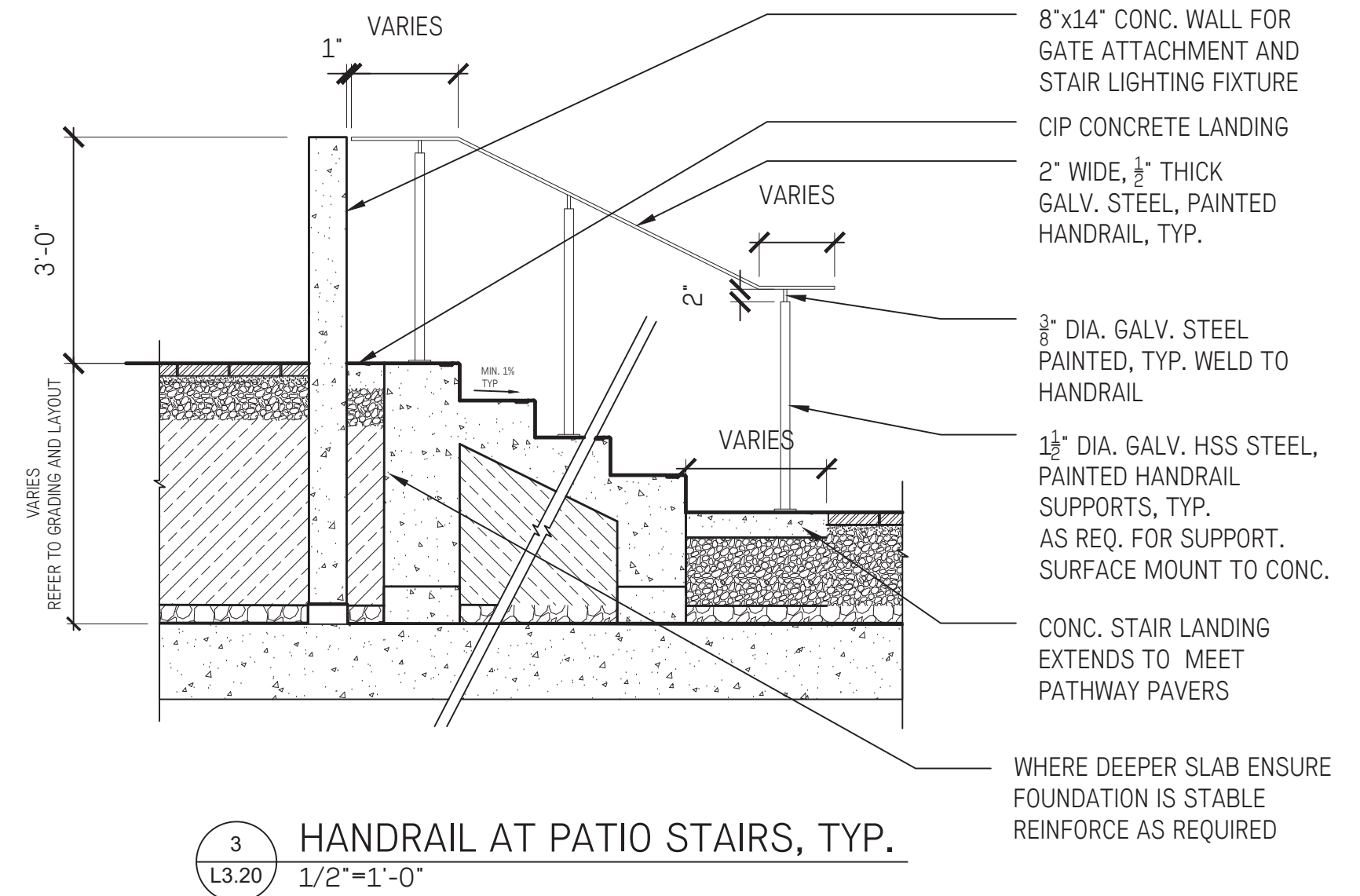
1 CIP. CONCRETE STAIRS OVER SLAB  
 3/4" = 1'-0"

NOTES:  
 1. HANDRAIL HEIGHT & DESIGN TO CONFORM TO BC BUILDING CODE. CONFIRM DIMENSIONS ON SITE.  
 2. GRIND ALL CUT/WELDED SURFACES TO SMOOTH UNIFORM FINISH.  
 3. ALL METAL COMPONENTS TO BE GALVANIZED AND PAINTED. CONFIRM COLOUR WITH LANDSCAPE ARCHITECT  
 4. PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN BRITISH COLUMBIA, FOR ALL METAL COMPONENTS AND CONNECTIONS, FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.

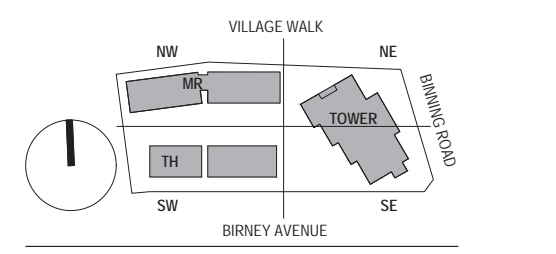


2 FREESTANDING HANDRAIL, TYP.  
 1/2" = 1'-0"

NOTES:  
 1. HANDRAIL HEIGHT & DESIGN TO CONFORM TO BC BUILDING CODE. CONFIRM DIMENSIONS ON SITE.  
 2. GRIND ALL CUT/WELDED SURFACES TO SMOOTH UNIFORM FINISH.  
 3. ALL METAL COMPONENTS TO BE GALVANIZED AND PAINTED. CONFIRM COLOUR WITH LANDSCAPE ARCHITECT  
 4. PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN BRITISH COLUMBIA, FOR ALL METAL COMPONENTS AND CONNECTIONS, FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.



3 HANDRAIL AT PATIO STAIRS, TYP.  
 1/2" = 1'-0"

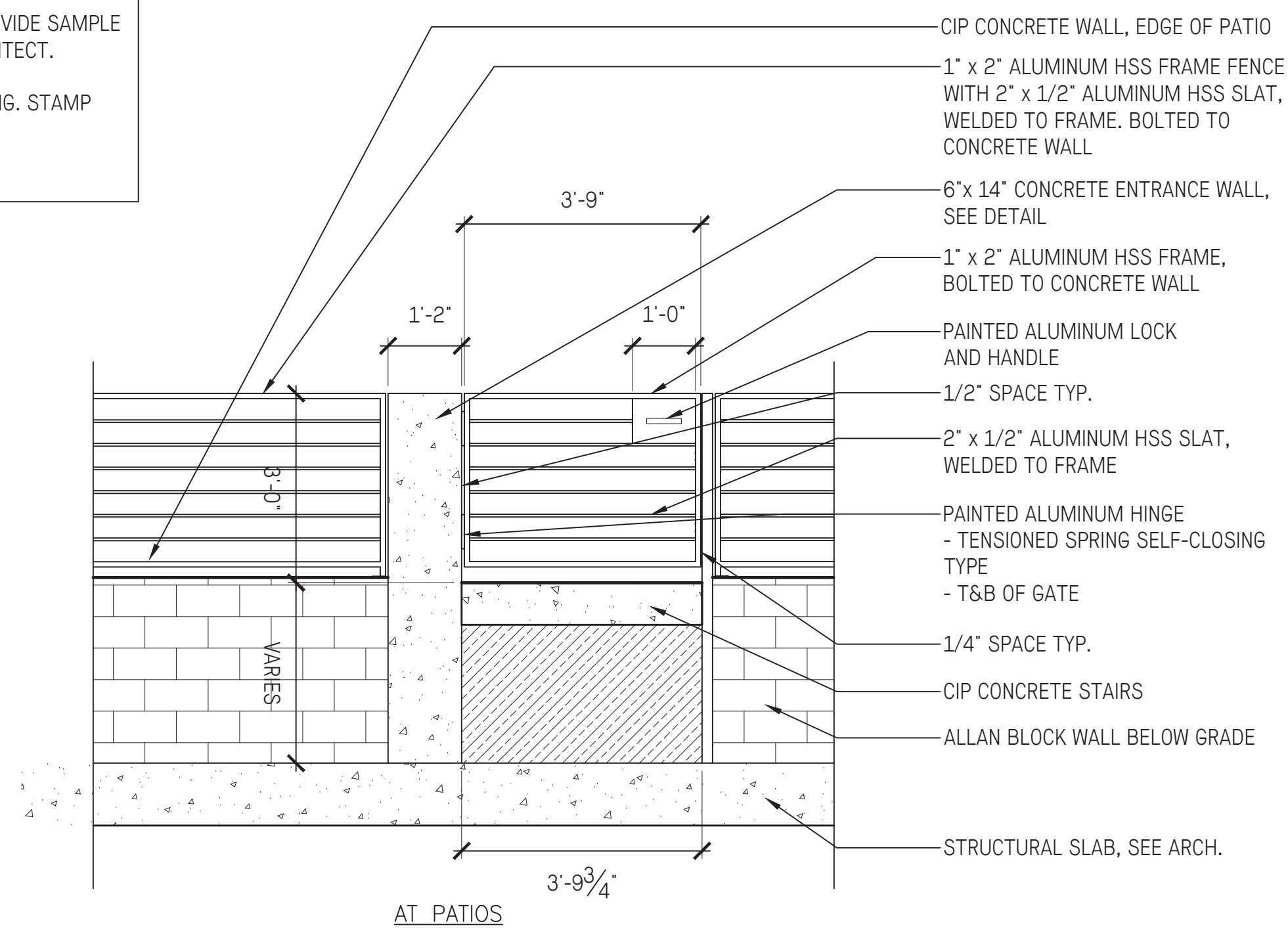


IVY ON THE PARK  
 LOT 8

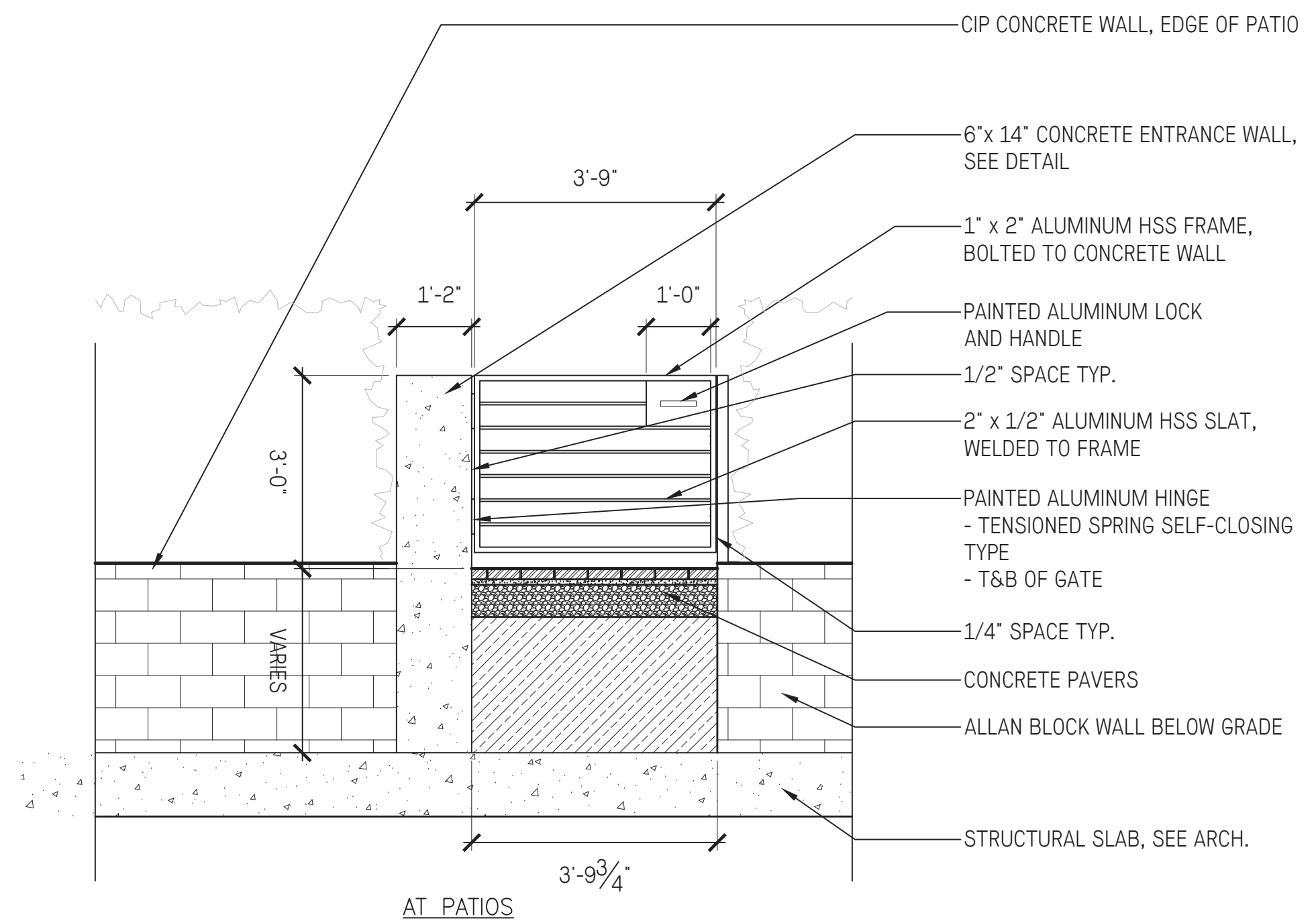
1	PRE-APPLICATION AUDP SUBMISSION	2017-11-02
2	PRE-APPLICATION AUDP SUBMISSION	2017-12-07
3	PRE-DP APPLICATION SUBMISSION	2017-12-06
4	DP APPLICATION AUDP SUBMISSION	2018-02-01
5	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
6	DP RE-SUBMISSION	2018-03-02
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13	ISSUE FOR BUILDING PERMIT - FULL CONSTRUCTION	2019-02-15
14	ISSUE FOR DPMA	2019-08-19

LANDSCAPE DETAILS  
 STAIRS AND HANDRAILS

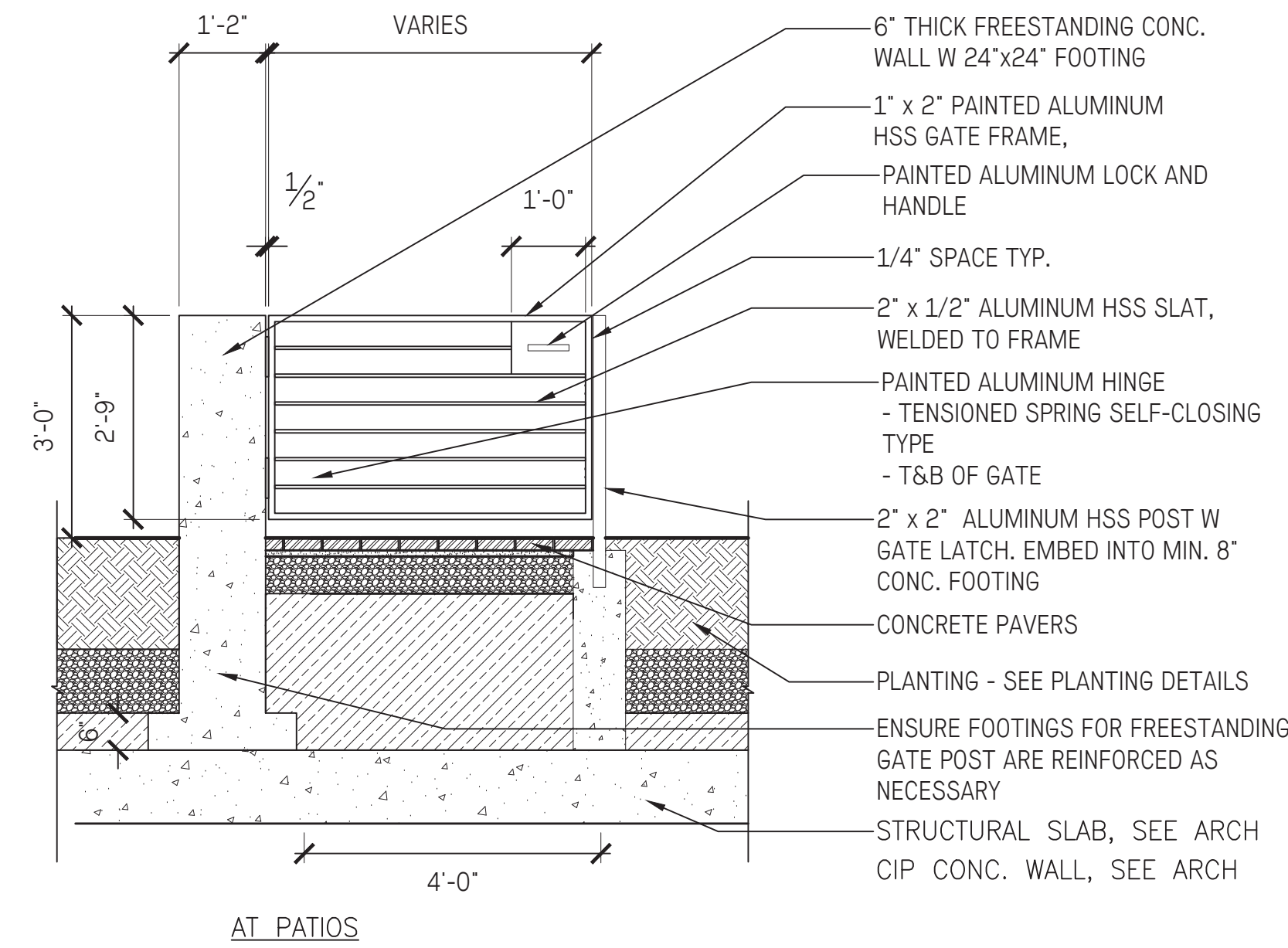
NOTES ON ALL METAL GATES AND FENCES:  
 FIELD CONFIRM ALL GATE AND FENCE FITS BEFORE FABRICATION  
 ALL METAL COMPONENTS TO BE PAINTED ALUMINUM, UNLESS OTHERWISE NOTED.  
 COLOUR TO MATCH ARCH. TRIM. PROVIDE SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT.  
 PROVIDE SHOP DRAWINGS WITH P. ENG. STAMP  
 REINFORCE AS REQUIRED



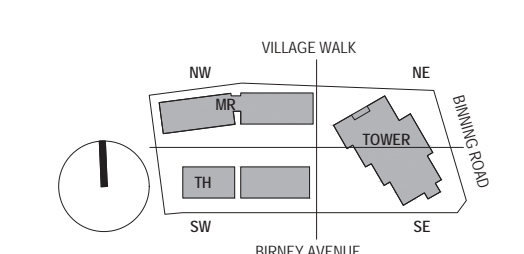
1 METAL GATE AT PATIO FRONTS WITH FENCE  
 L3.21 1/2" = 1'-0"



2 METAL GATE AT PATIO FRONTS  
 L3.21 1/2" = 1'-0"

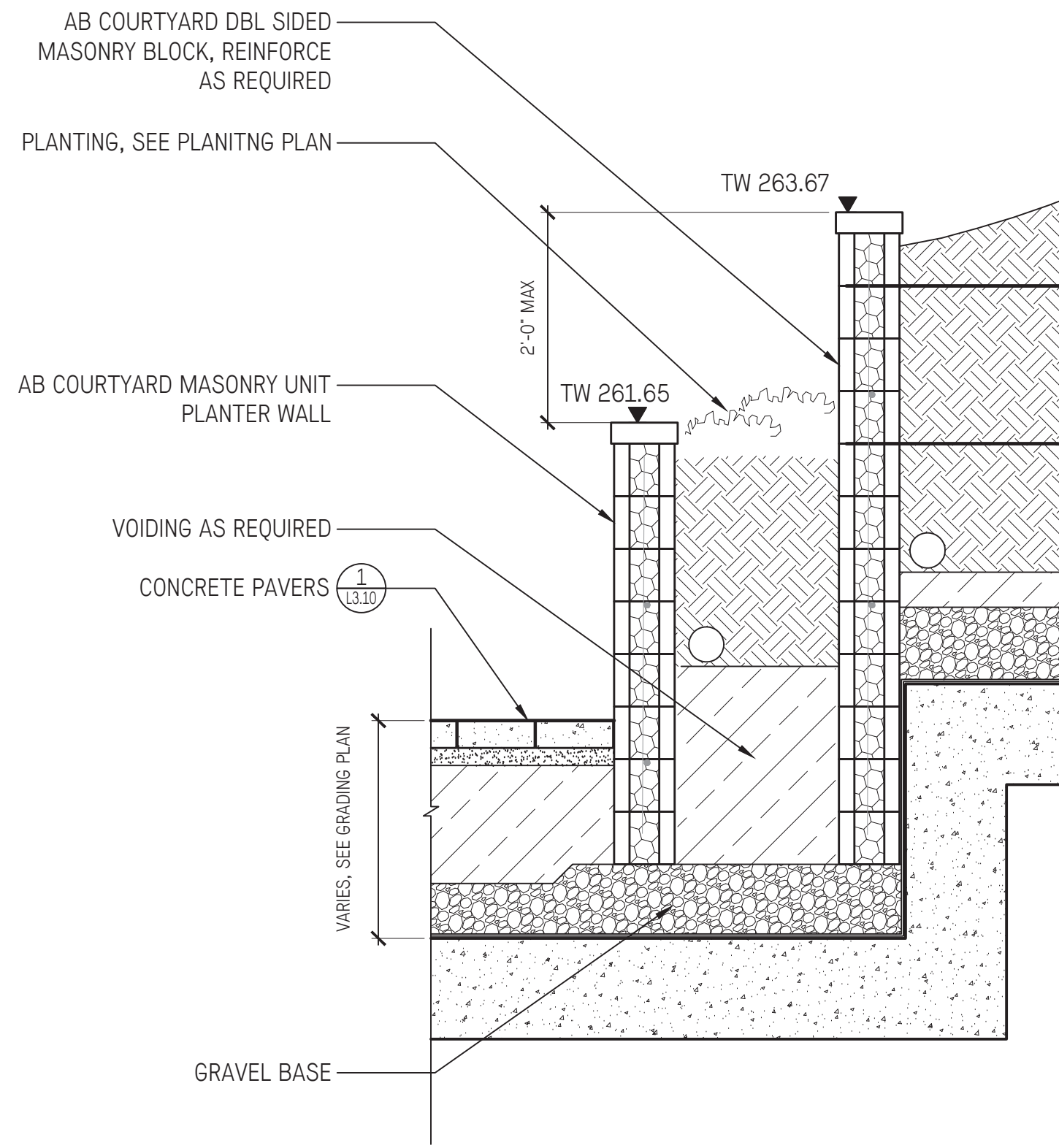


3 METAL GATE AT PATHWAY, TYP.  
 L3.21 1/2" = 1'-0"

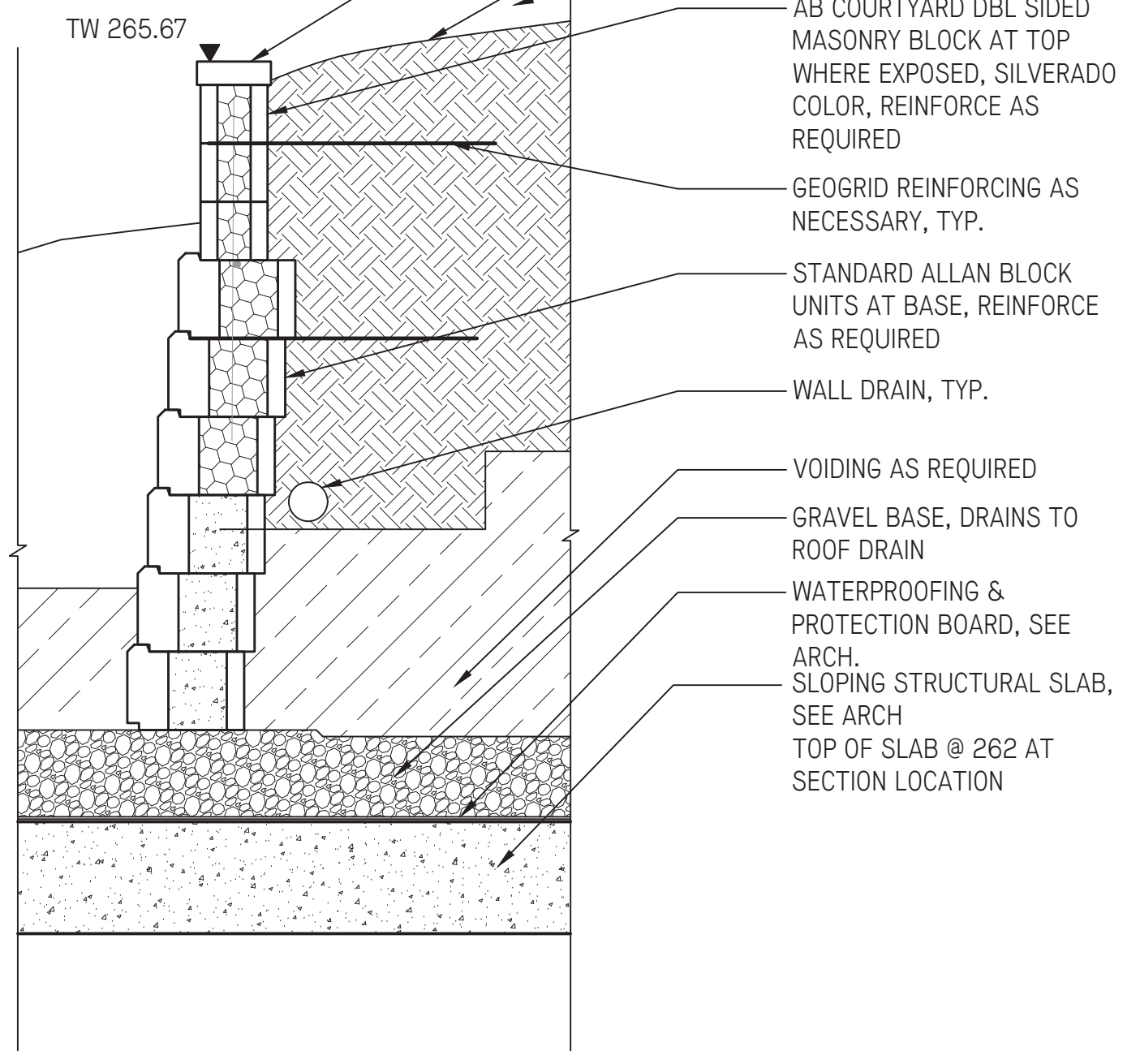


1	PRE-APPLICATION AUDP SUBMISSION	2017-11-02
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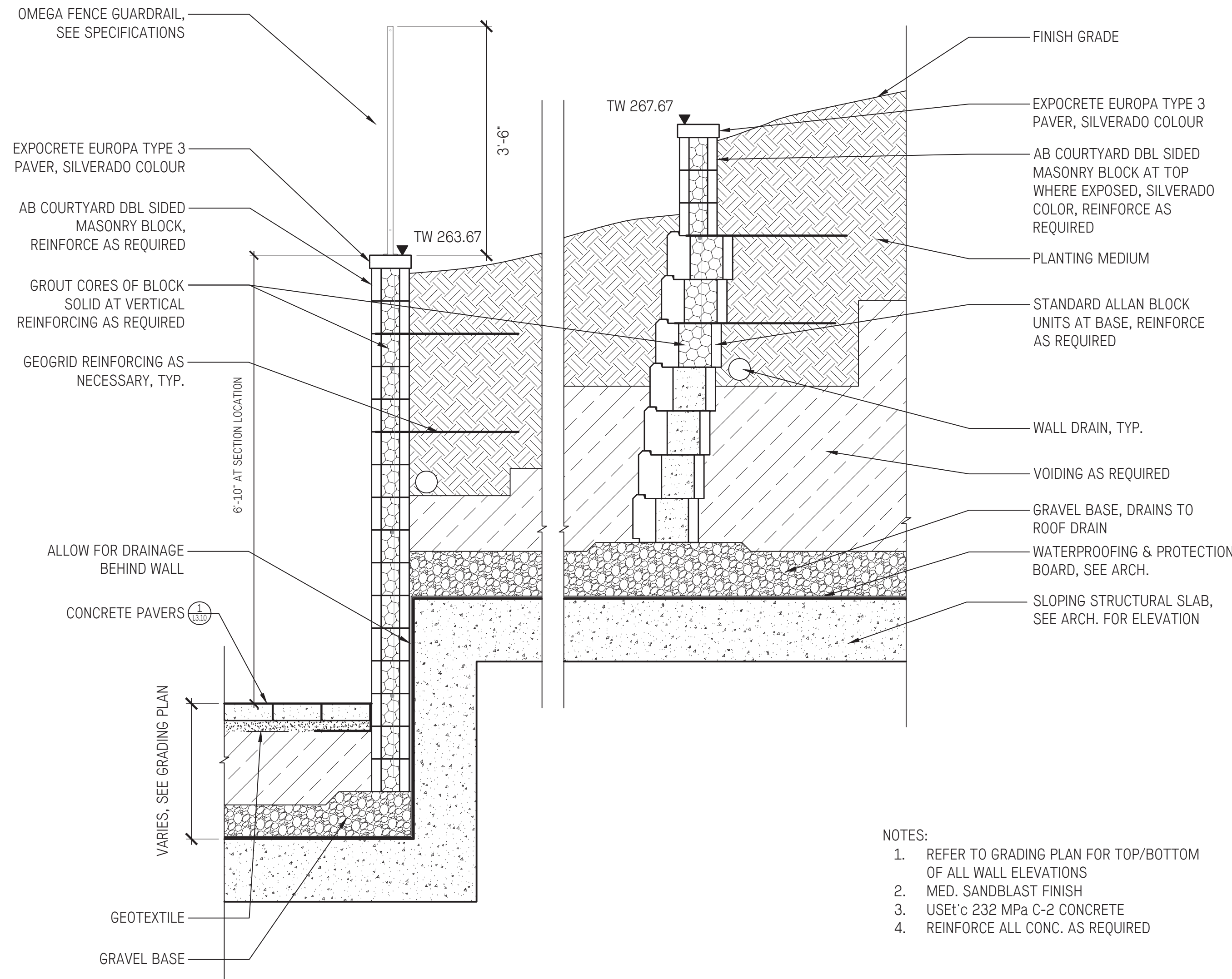
- NOTES:
1. REFER TO GRADING PLAN FOR TOP/BOTTOM OF ALL WALL ELEVATIONS
  2. MED. SANDBLAST FINISH
  3. USE 1'c 232 MPa C-2 CONCRETE
  4. REINFORCE ALL CONC. AS REQUIRED



1 ALLAN BLOCK RETAINING WALL CROSS-SECTION A  
3/4' = 1'-0"

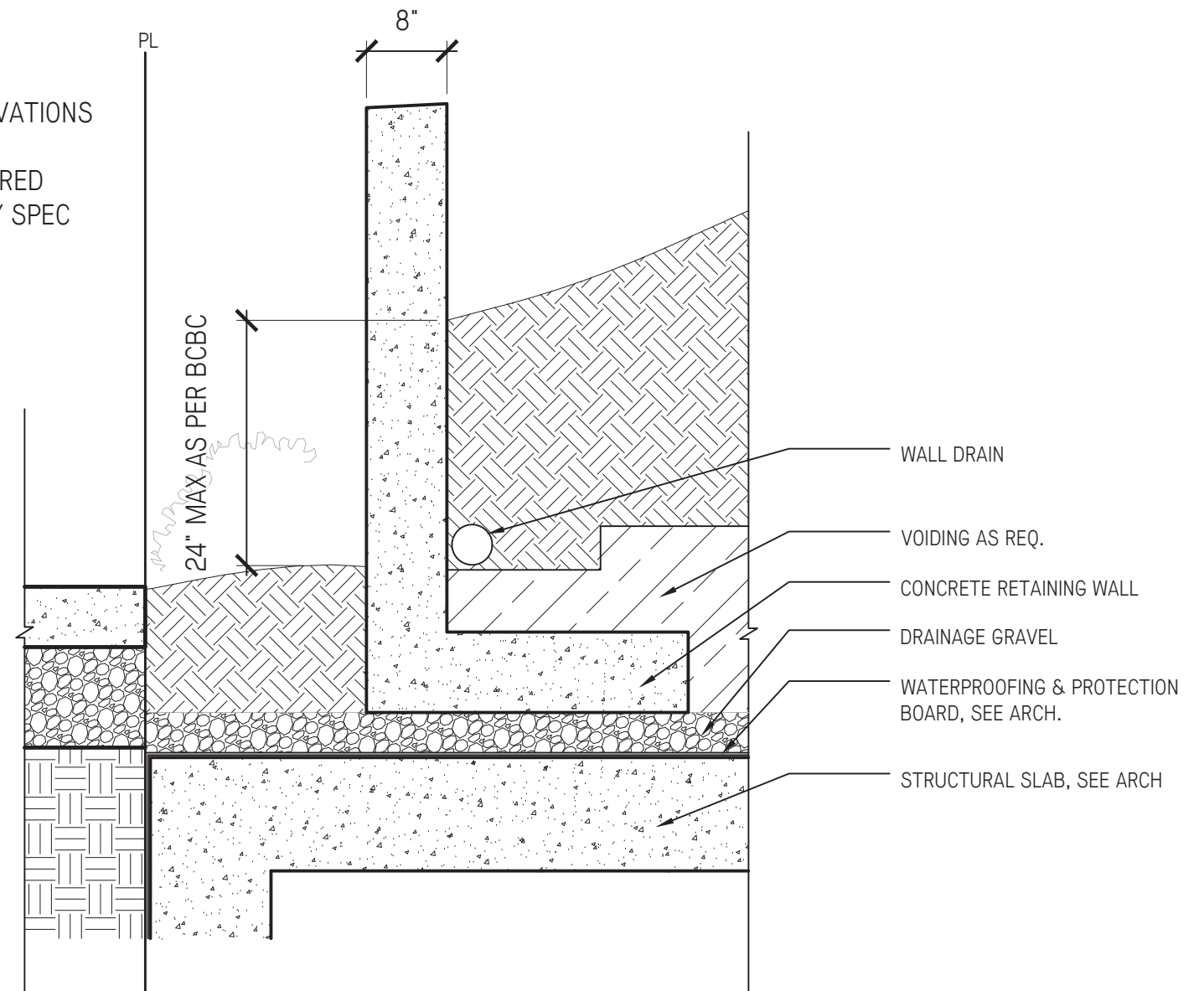


2 ALLAN BLOCK RETAINING WALL CROSS-SECTION B  
3/4' = 1'-0"

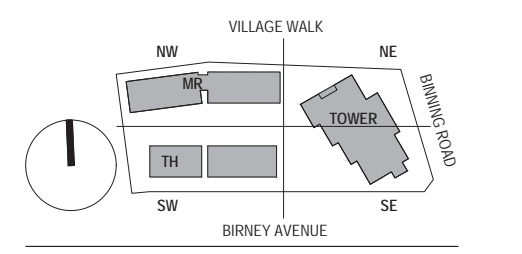


- NOTES:
1. REFER TO GRADING PLAN FOR TOP/BOTTOM OF ALL WALL ELEVATIONS
  2. MED. SANDBLAST FINISH
  3. USE 1'c 232 MPa C-2 CONCRETE
  4. REINFORCE ALL CONC. AS REQUIRED

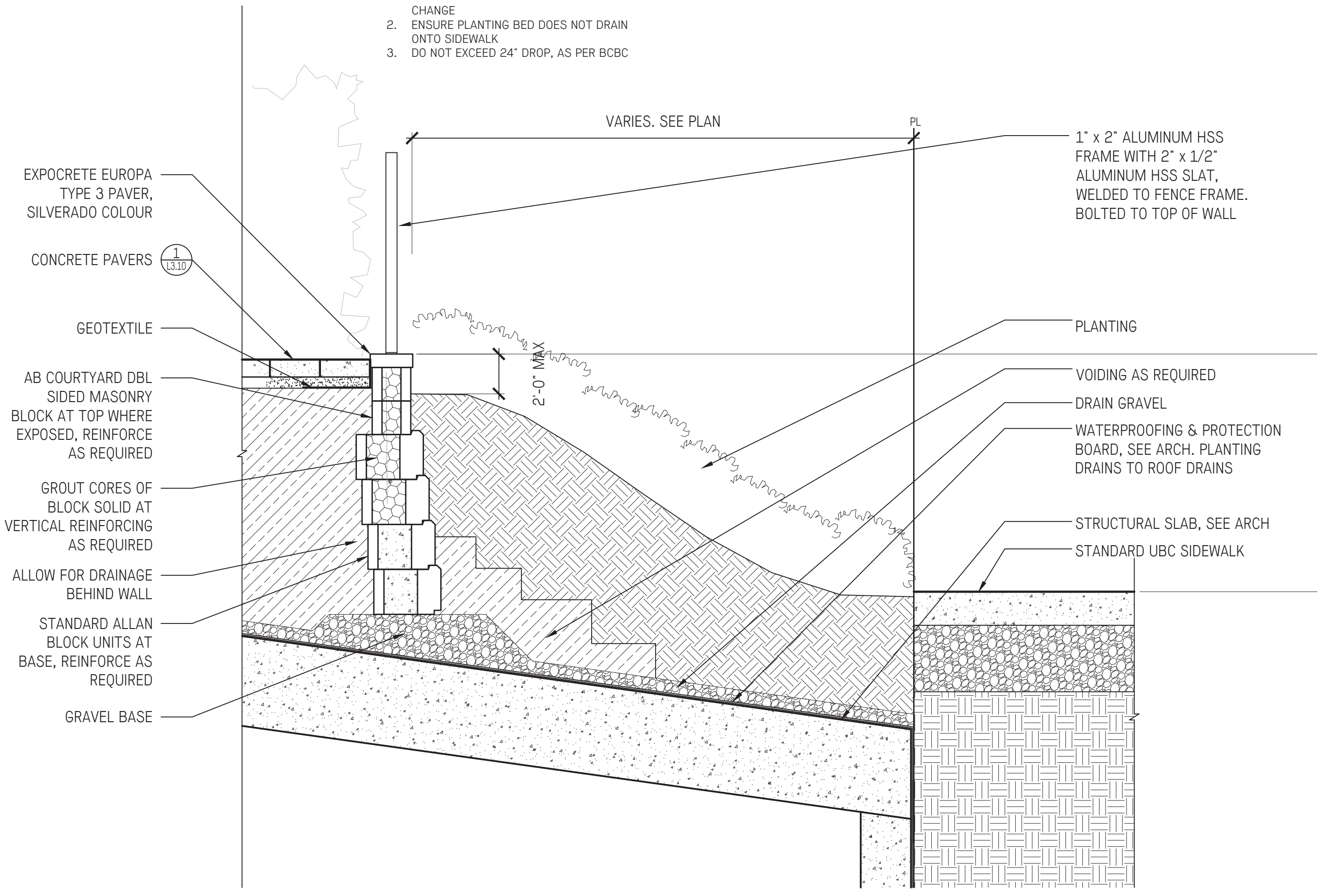
- NOTES:
1. REFER TO GRADING PLAN FOR TOP/BOTTOM OF ALL WALL ELEVATIONS
  2. USE 1'c 232 MPa C-2 CONCRETE
  3. REINFORCE ALL CONC. AS REQUIRED
  4. SEE ARCH SPECS FOR MASONRY SPEC



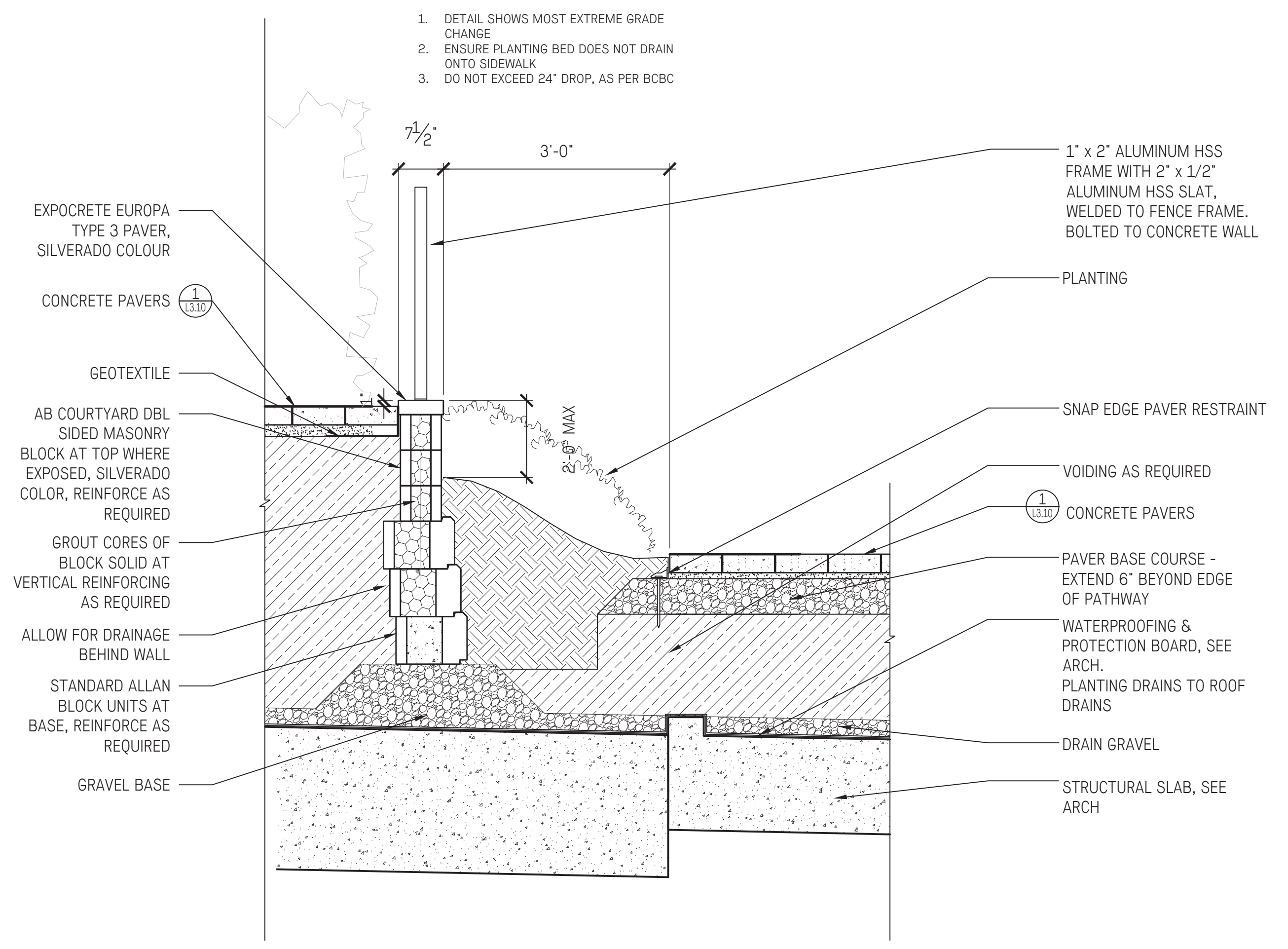
3 CIP CONCRETE RETAINING WALL  
3/4' = 1'-0"



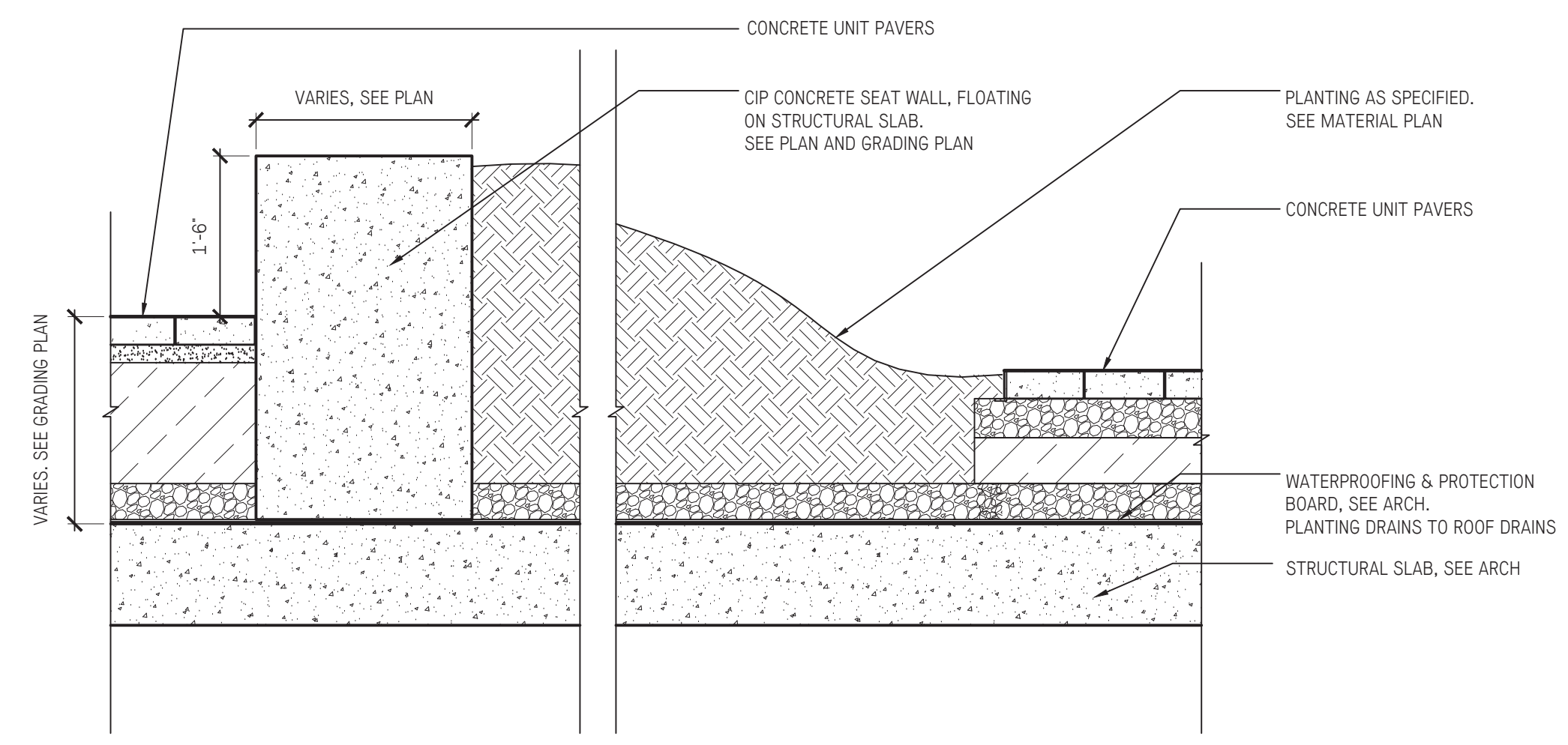
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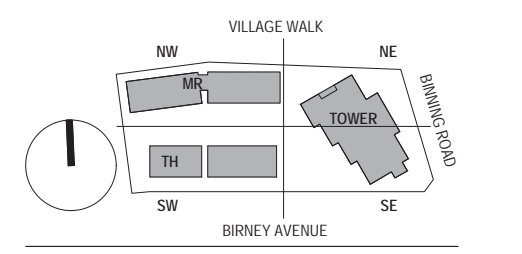
1  
L3.23  
ALLAN BLOCK WALL AND SLOPED PLANTING AT TOWNHOUSE PATIO - SOUTH  
3/4" = 1'-0"



2  
L3.23  
ALLAN BLOCK WALL AND SLOPED PLANTING AT MIDRISE PATIO - BACK  
3/4" = 1'-0"



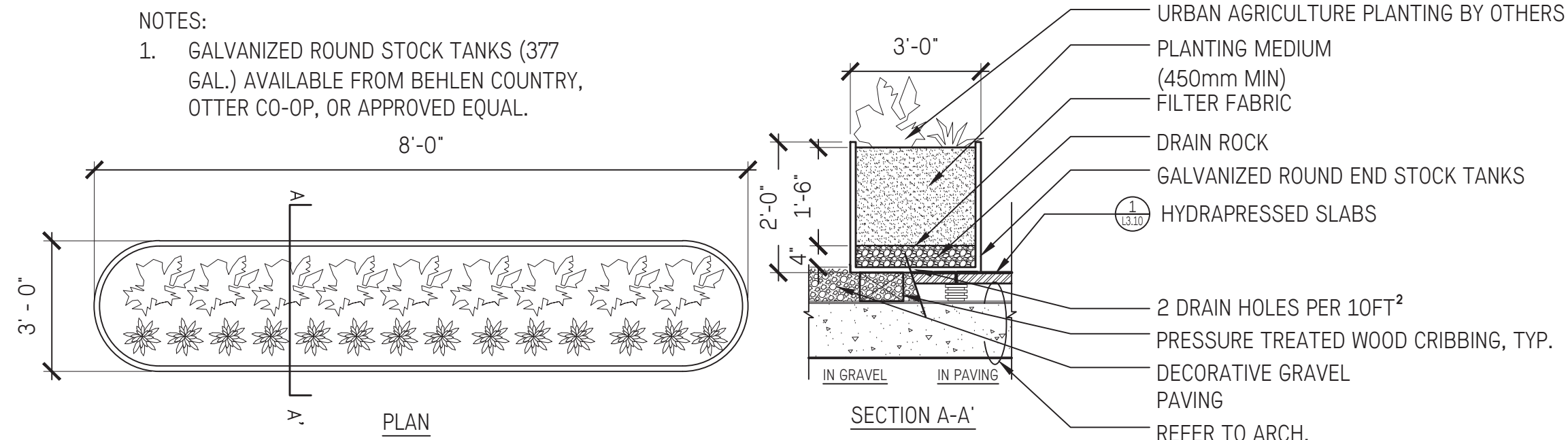
4  
L3.23  
CONCRETE SEAT WALL  
3/4" = 1'-0"



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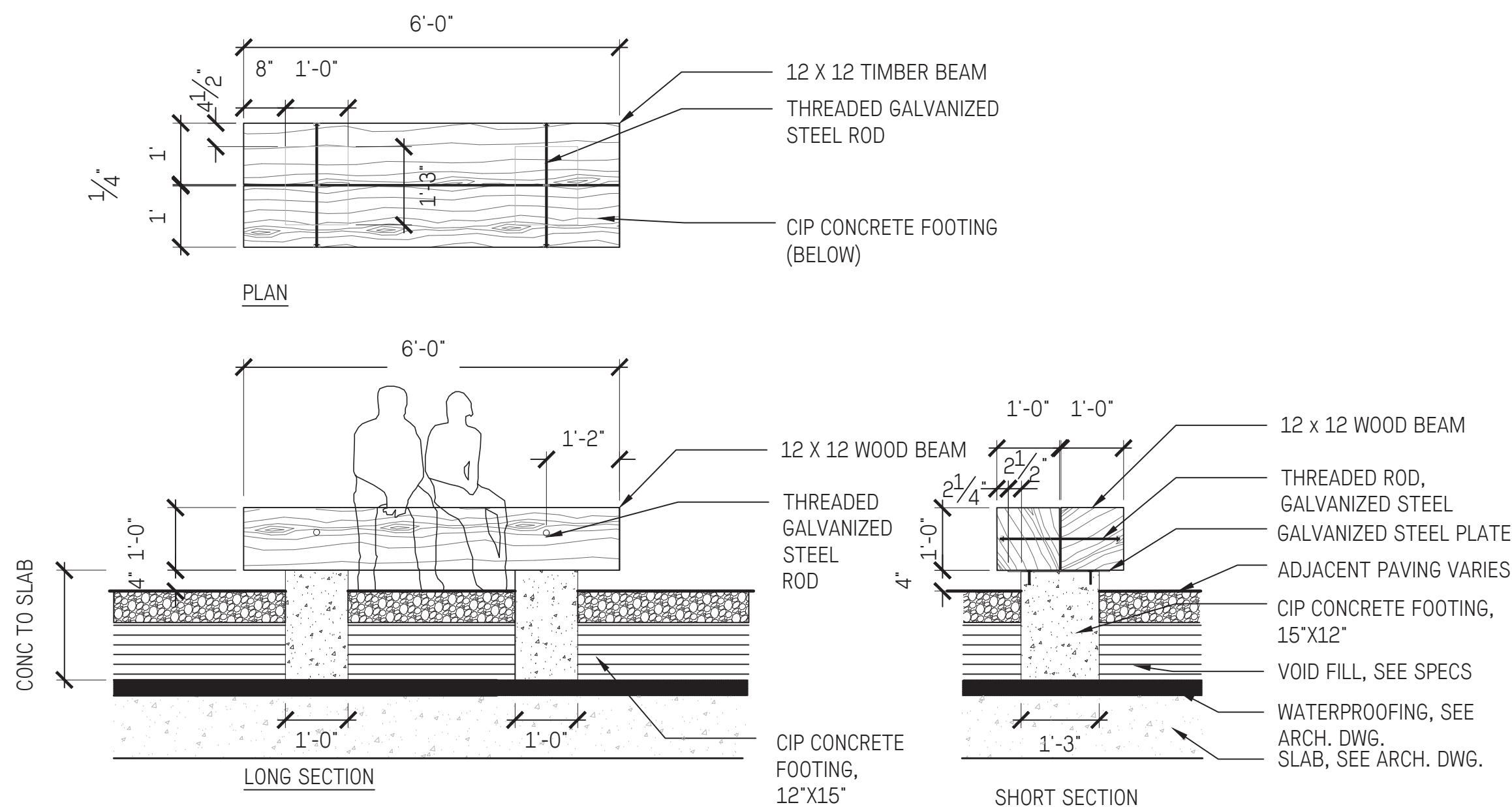


**GENERAL NOTES:**  
 1. REINFORCE ALL CONCRETE AS REQUIRED

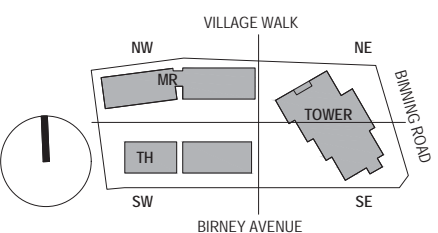


**1 URBAN AGRICULTURE PLANTER**  
 L3.30 1/2"=1'-0"

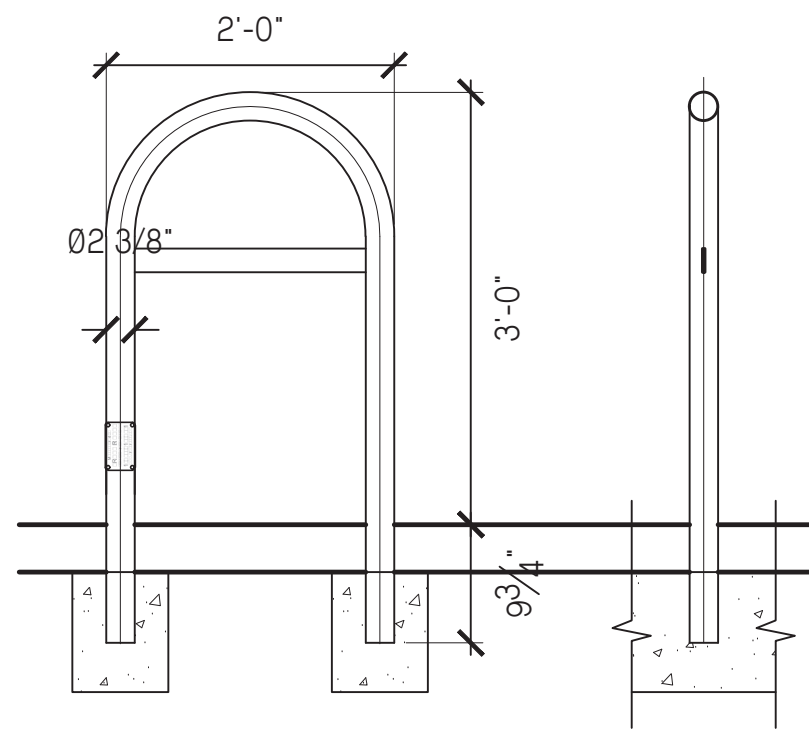
- NOTES:**
1. PROVIDE ENGINEERED SHOP DRAWINGS
  2. USE GALVANIZED STEEL FOR ALL HARDWARE UNLESS OTHERWISE NOTED.
  3. REFER TO SPECIFICATIONS FOR CONCRETE FINISHES
  4. CONFIRM CONCRETE FOOTING DIMENSIONS AND REINFORCEMENT WITH STRUCTURAL ENGINEER
  5. DO NOT PENETRATE WATERPROOFING
  6. ENSURE DRAINAGE OVER ROOF SLAB
  7. ALL WOOD TO BE CEDAR, SEE SPECS.



**2 WOOD BENCH**  
 L3.30 1/2"=1'-0"



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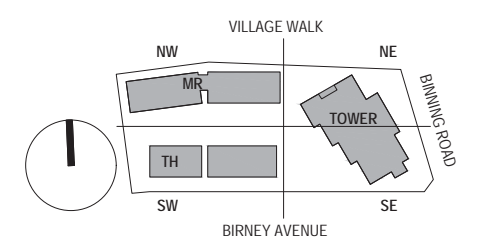
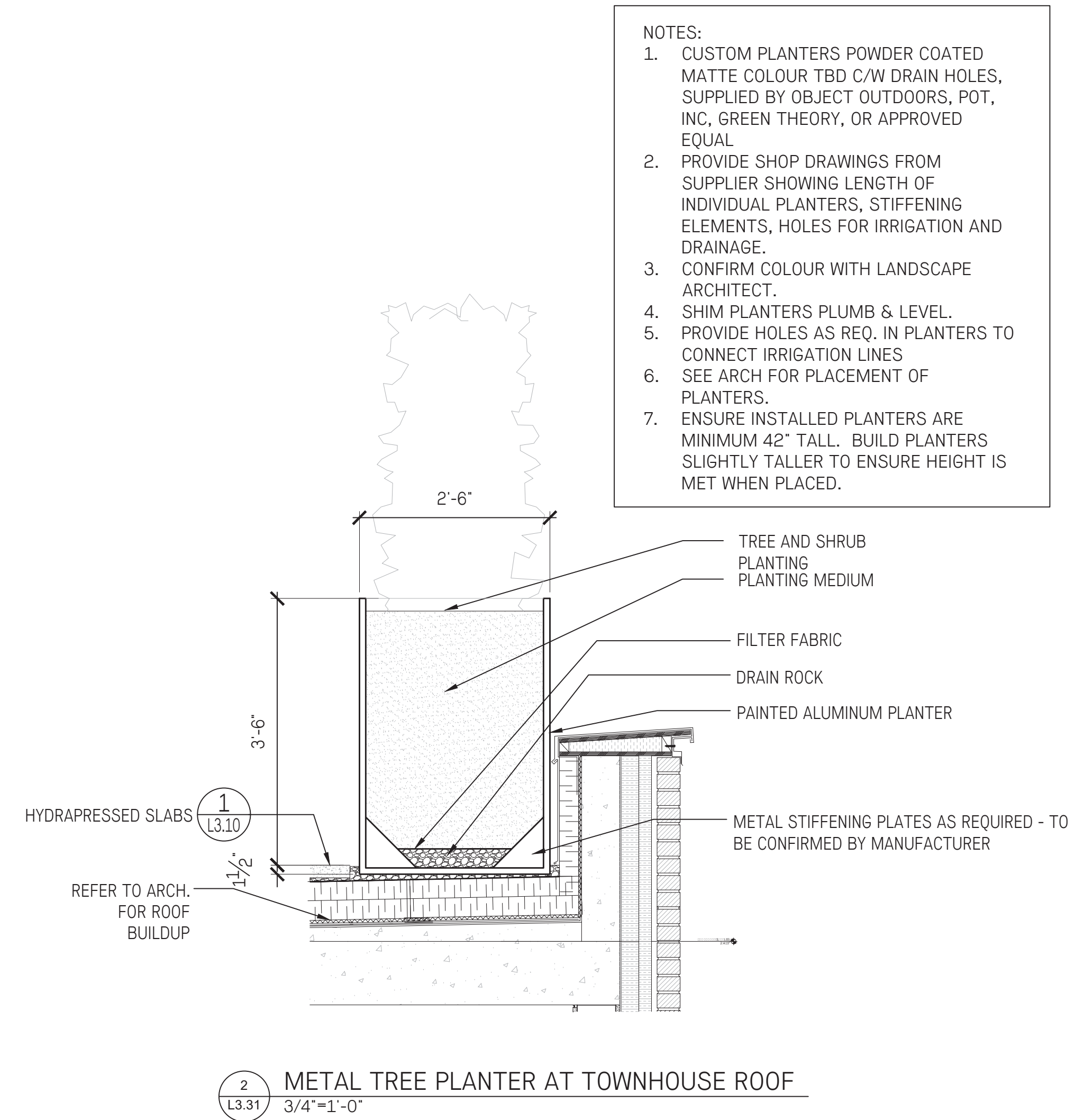
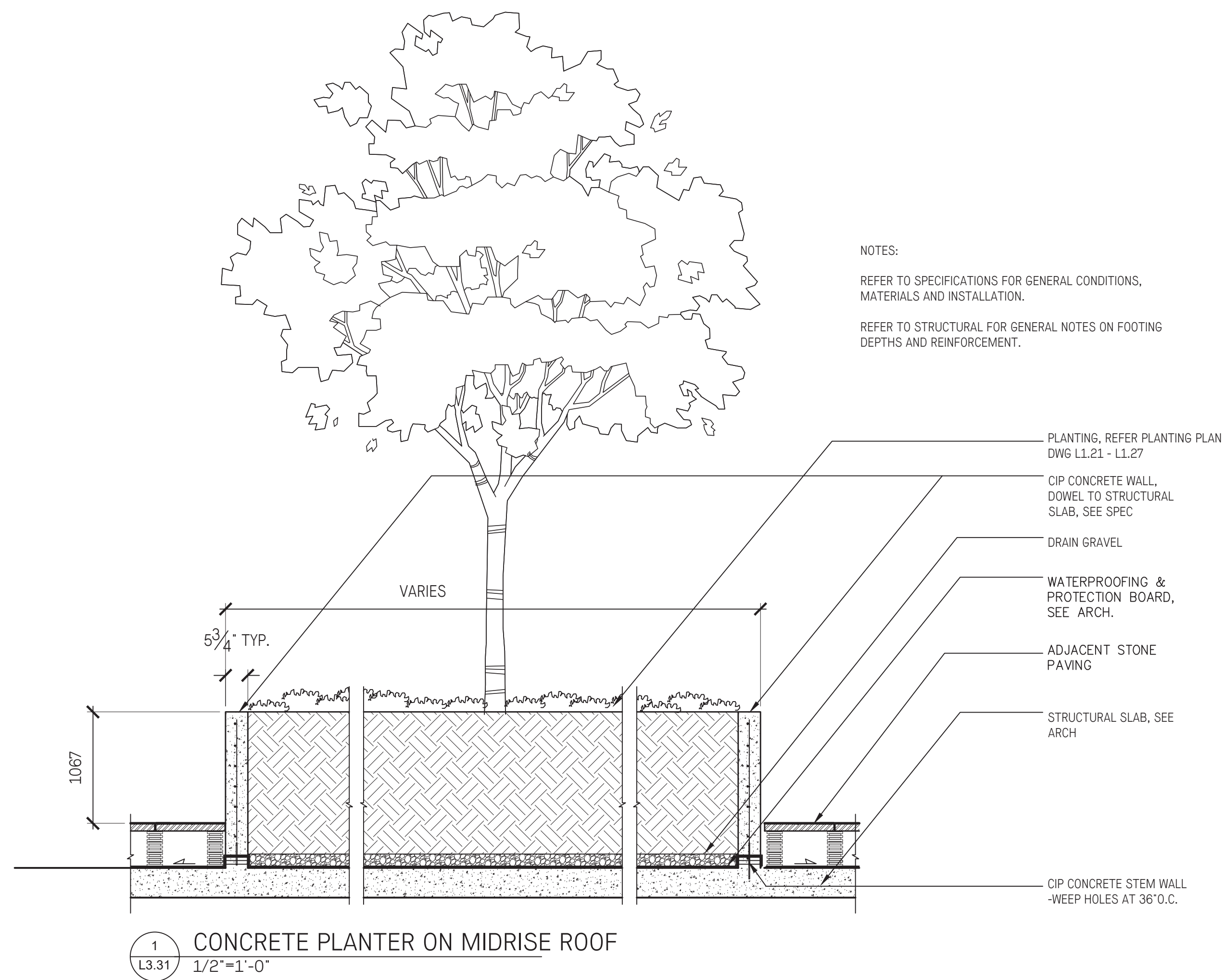


**3 BIKE RACK**  
 L3.30 3/4"=1'-0"

**NOTES:**

MODEL: UB1000-USX AS PER UBC DEVELOPMENT HANDBOOK REQ.  
 MATERIAL: 2" SCHEDULE 40 STEEL PIPE WITH FLAT HORIZONTAL CROSS BAR  
 MOUNT: EMBEDDED INTO CONCRETE WITH 10" BELOW GRADE, CONTINUOUS CURB ALONG LENGTH OF BIKE RACK. INSTALL PER MANUFACTURER'S INSTRUCTION.  
 FINISH: HOT-DIPPED GALVANIZED

SUPPLIER: URBAN RACKS  
 1-888-717-8881  
 WWW.URBANRACKS.COM

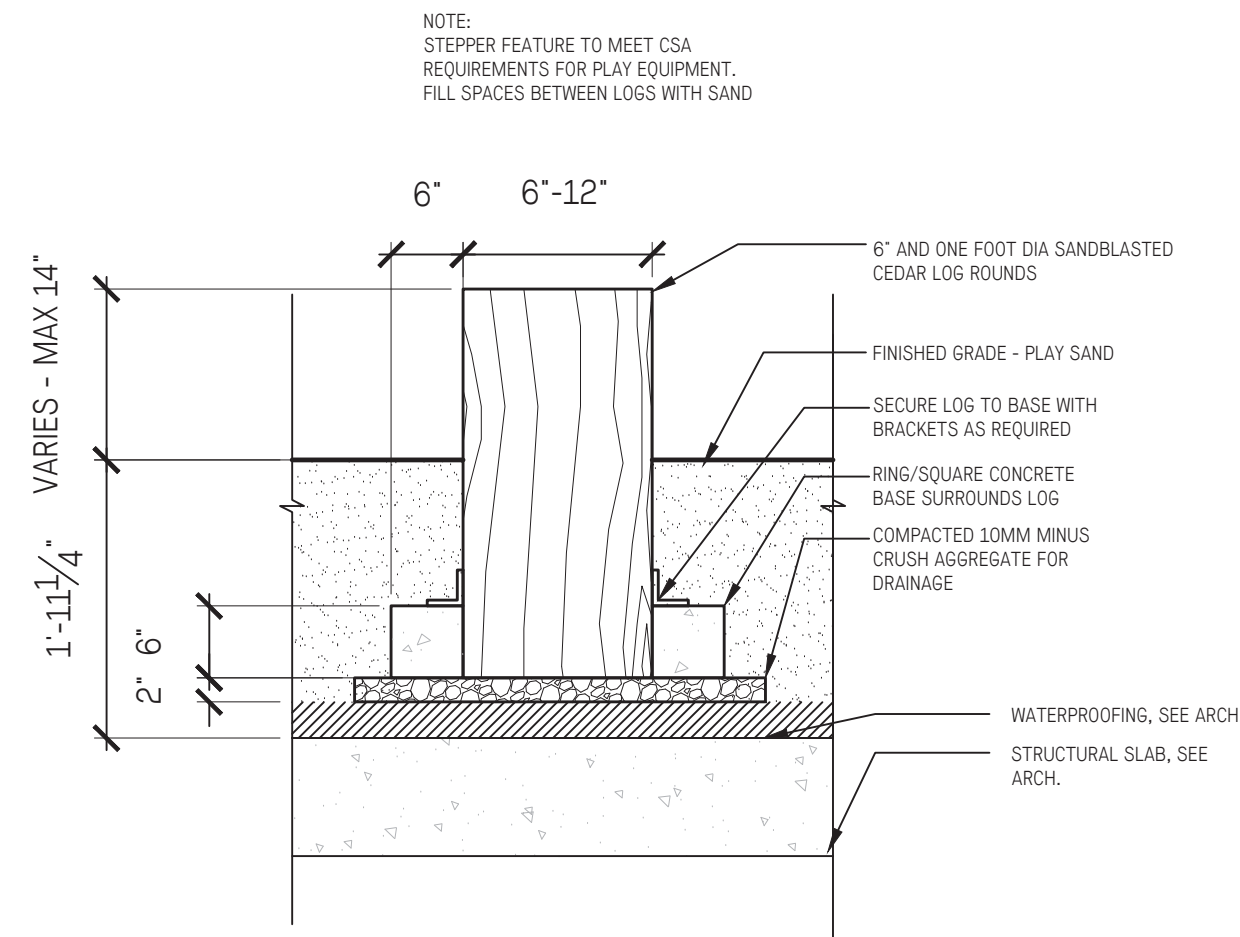


IVY ON THE PARK  
LOT 8

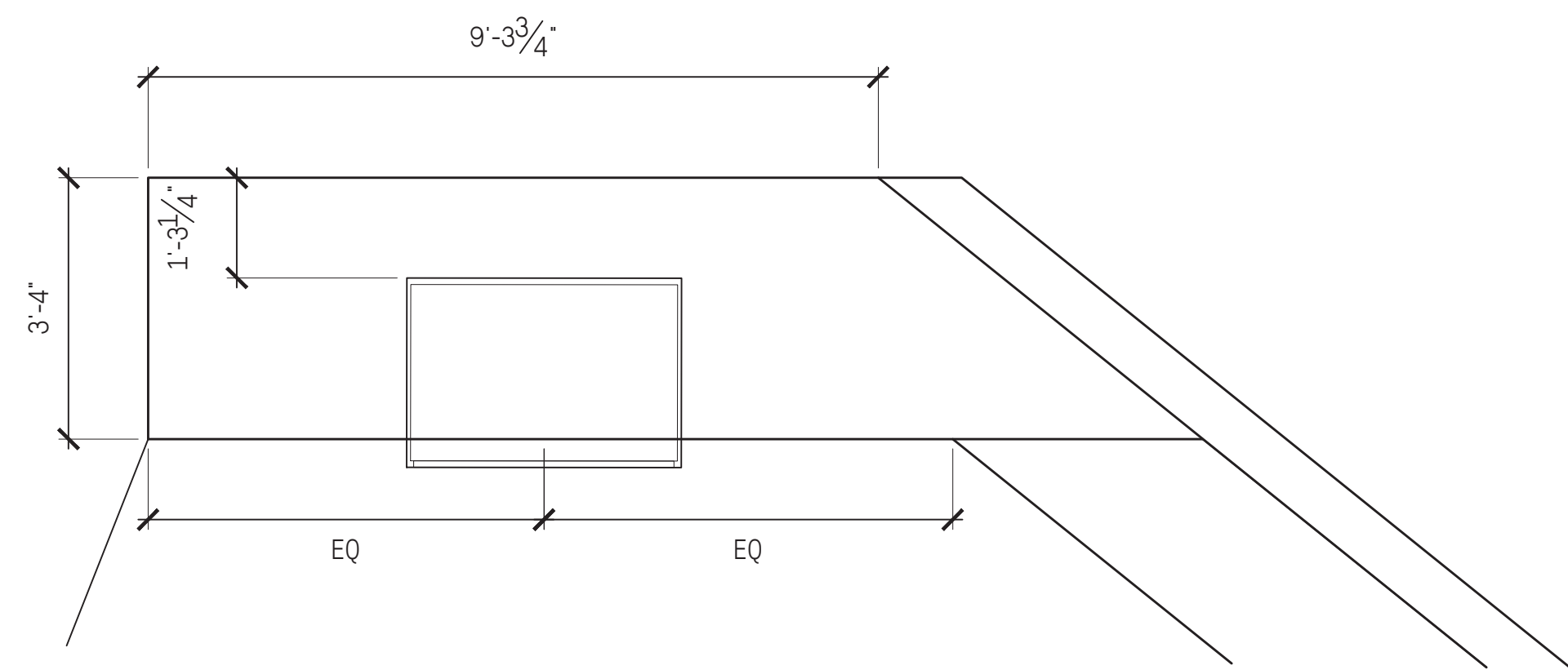
1	PRE-APPLICATION AUDP SUBMISSION	2017-11-02
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LANDSCAPE DETAILS  
FURNISHINGS

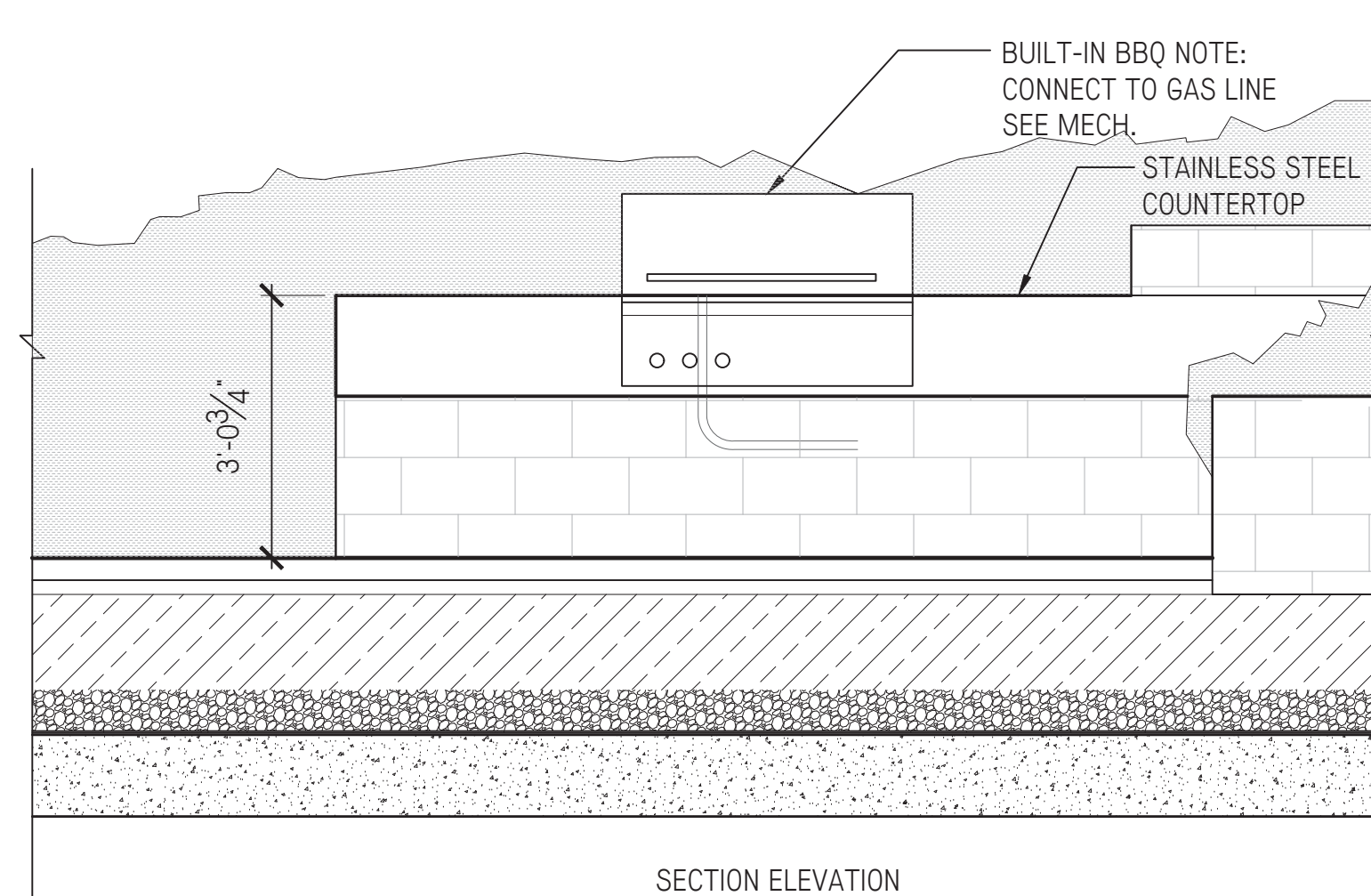
GENERAL NOTES:  
 1. REINFORCE ALL CONCRETE AS REQUIRED



1  
 L3.40  
 TIMBER STEPPER  
 3/4" = 1'-0"



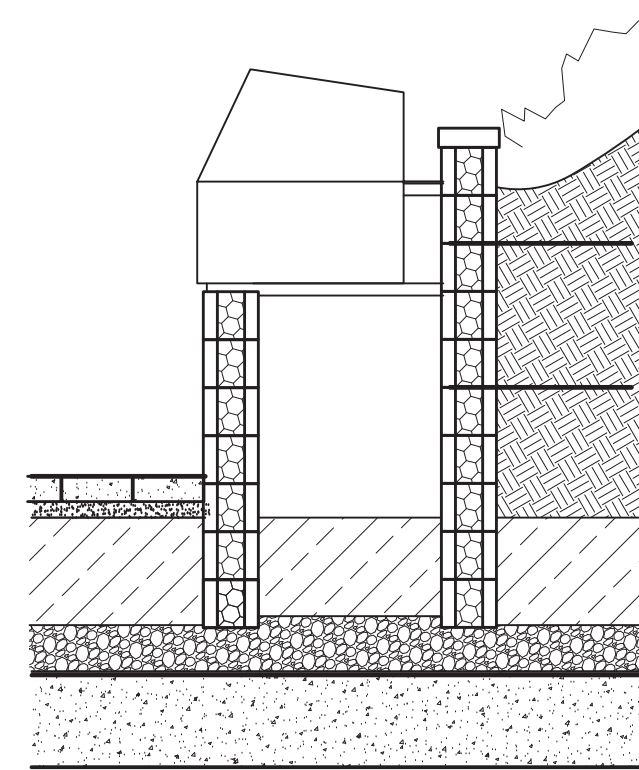
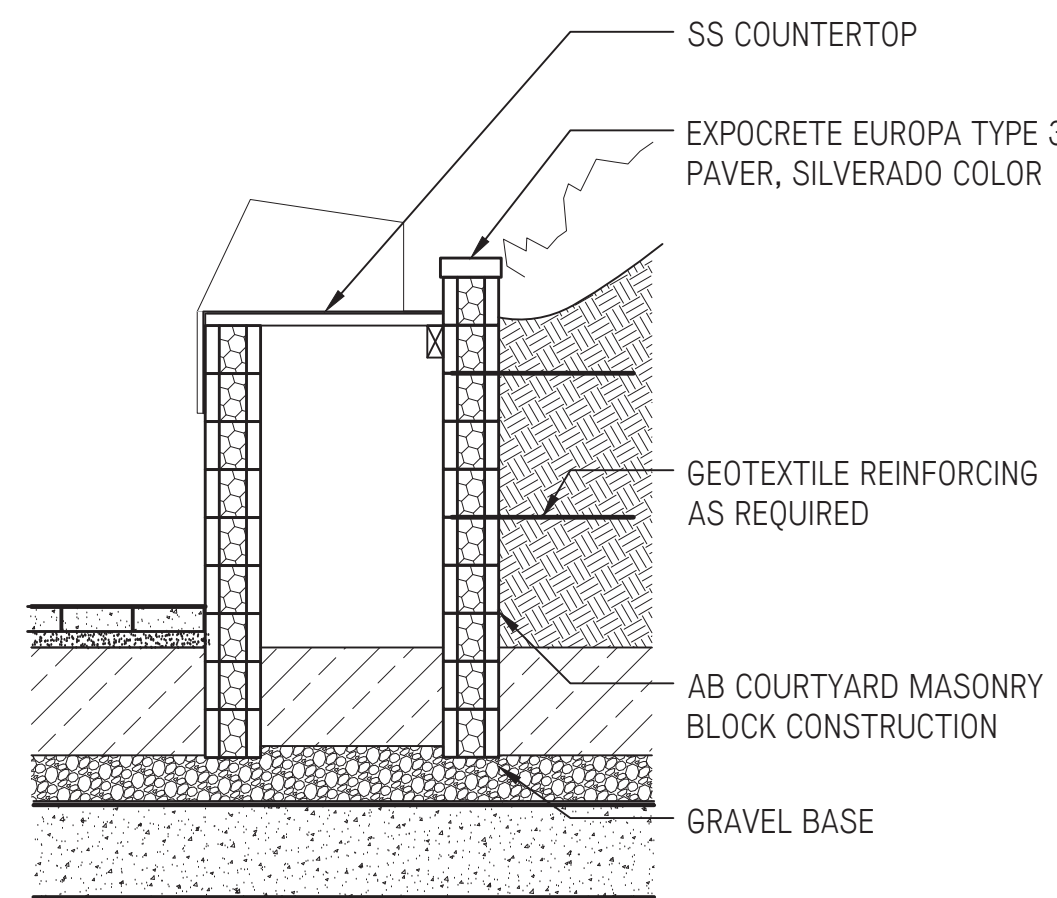
PLAN



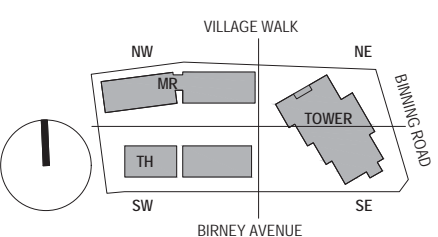
SECTION ELEVATION

NOTES:  
 1. COUNTERTOP: 3/16 GAUGE BRUSHED STAINLESS STEEL  
 2. CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS.  
 3. PROVIDE SHOP DRAWINGS.

3  
 L3.40  
 GROUND LEVEL OUTDOOR KITCHEN  
 1/2" = 1'-0"



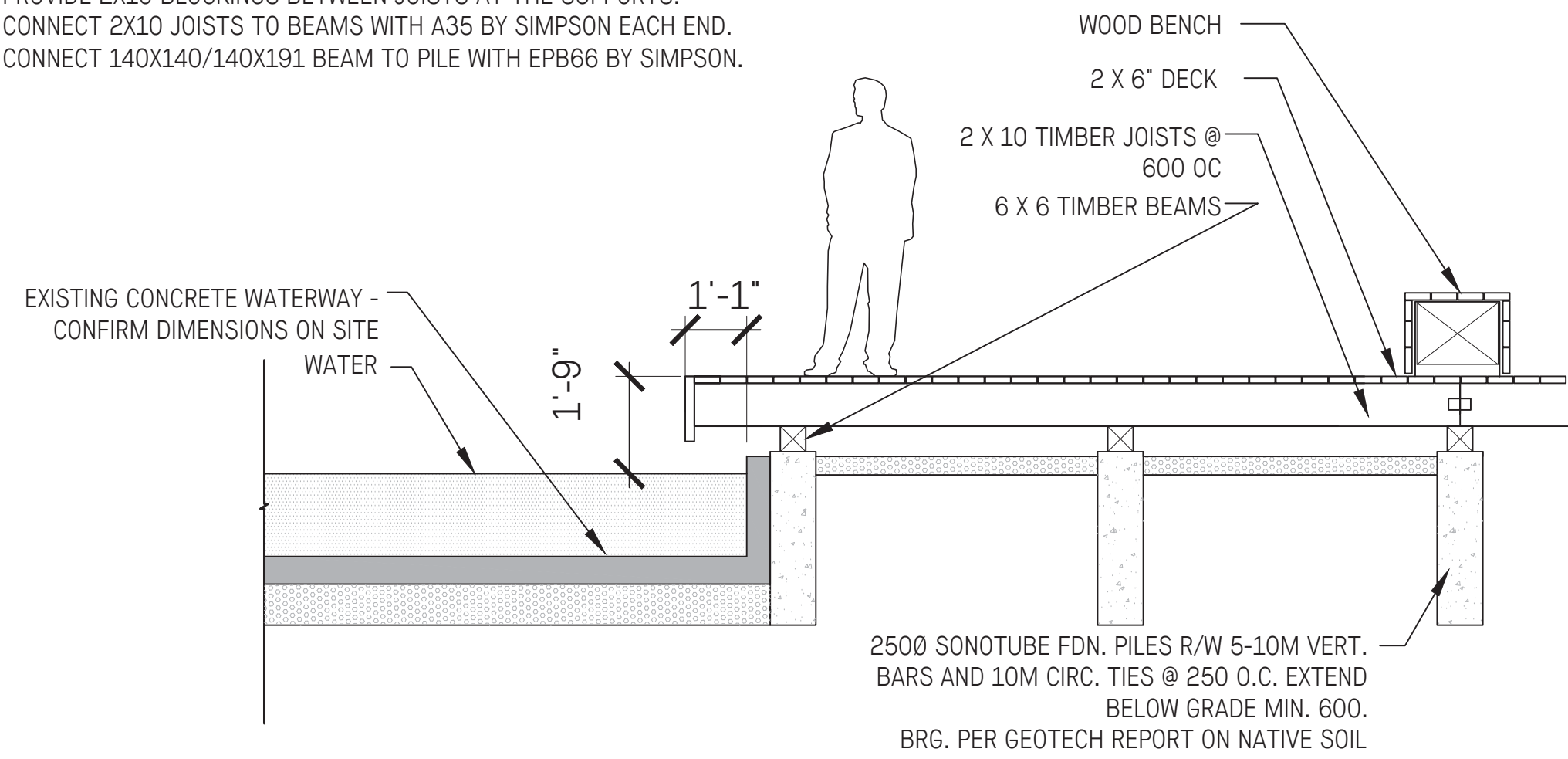
CROSS SECTIONS



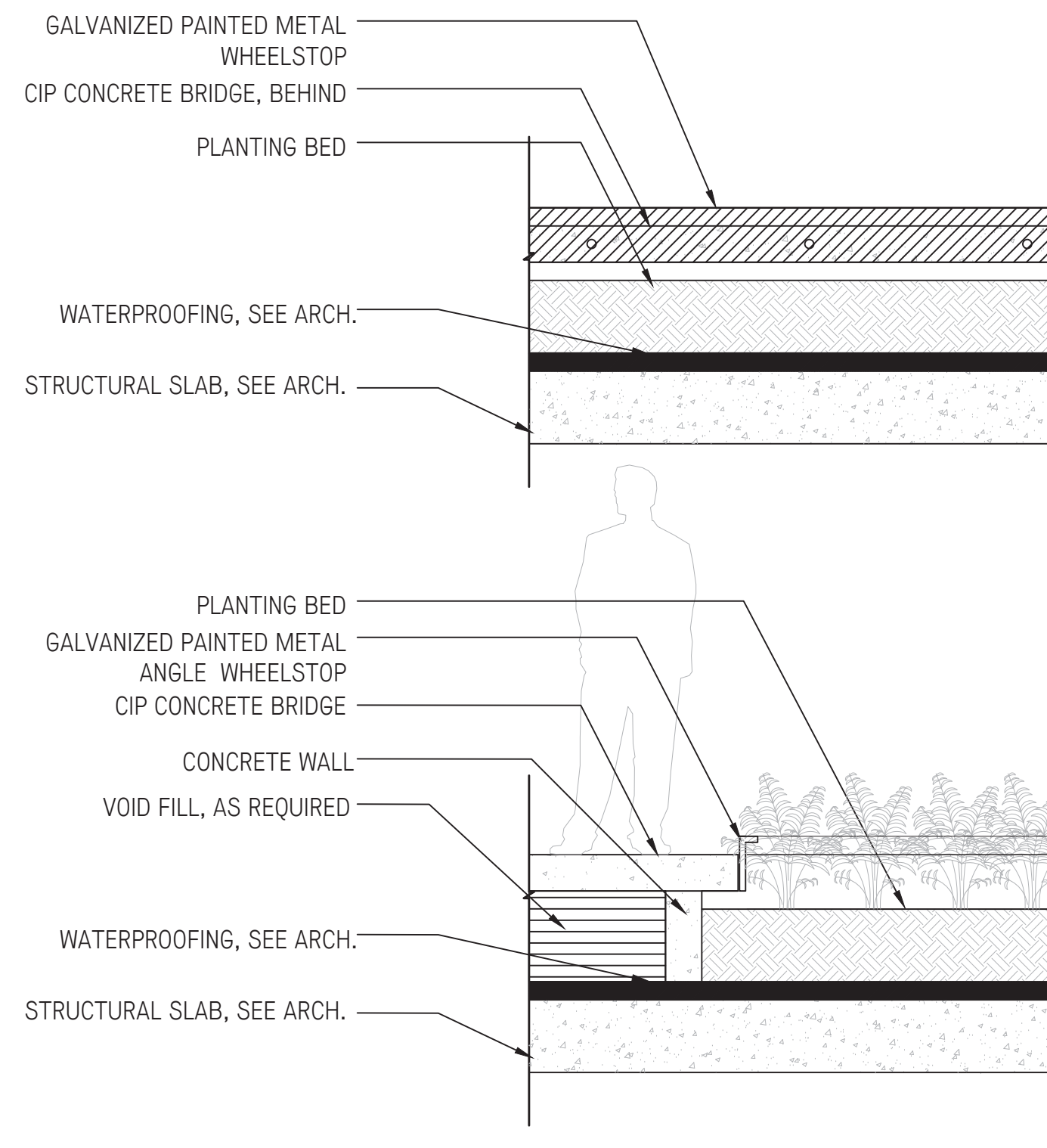
IVY ON THE PARK  
 LOT 8

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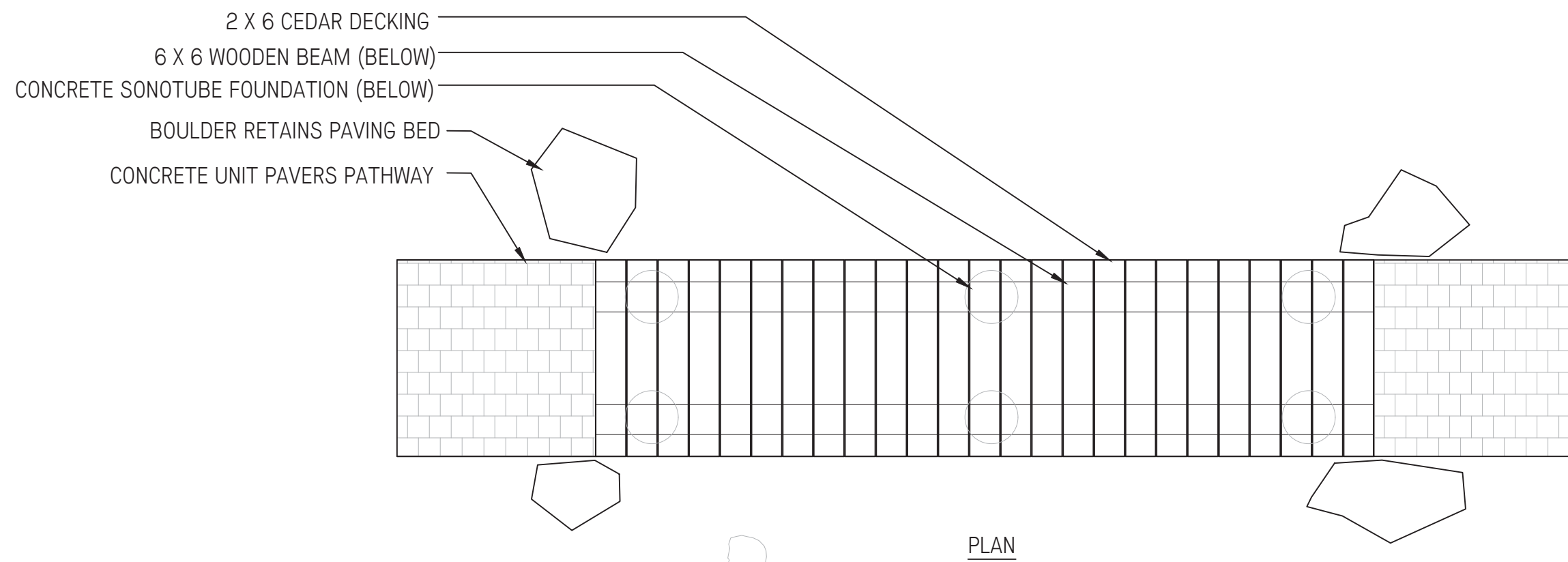
- NOTES:  
 1. CONNECT EACH DECK BOARD TO JOIST WITH MINIMUM 2-3" NAILS AT EACH SUPPORT  
 2. PROVIDE 2X10 BLOCKINGS BETWEEN JOISTS AT THE SUPPORTS.  
 3. CONNECT 2X10 JOISTS TO BEAMS WITH A35 BY SIMPSON EACH END.  
 4. CONNECT 140X140/140X191 BEAM TO PILE WITH EPB66 BY SIMPSON.



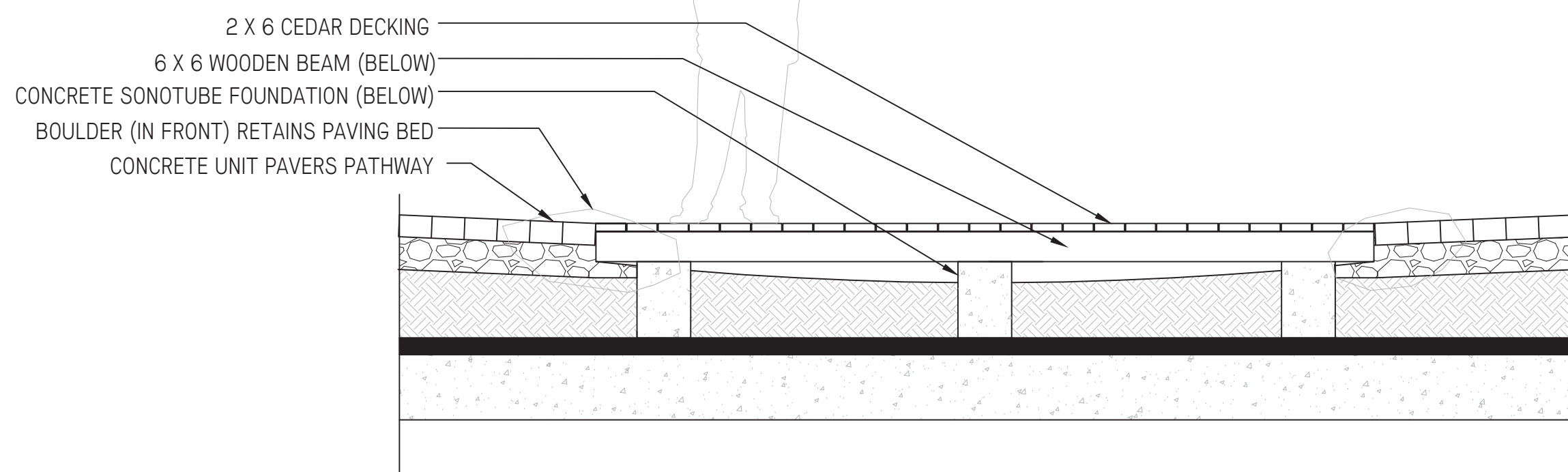
1  
L3.41 WATERWAY PERCH  
3/8" = 1'-0"



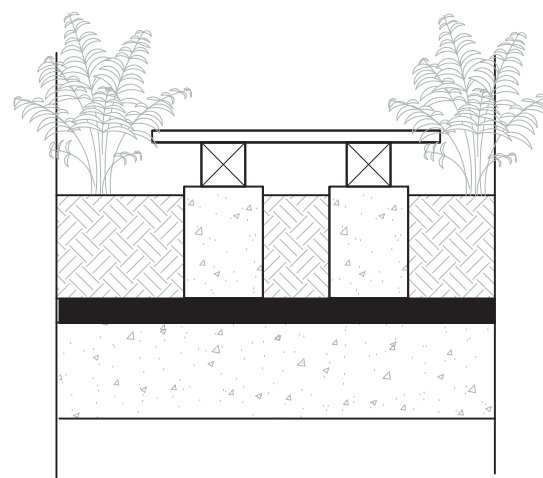
2  
L3.41 LOBBY ENTRANCE BRIDGE  
1/2" = 1'-0"



PLAN



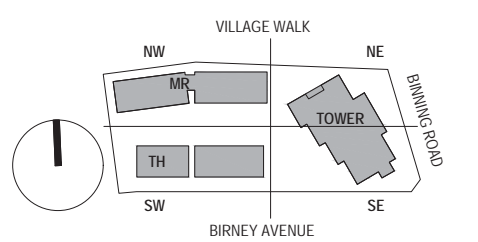
LONG SECTION



CROSS SECTION

3  
L3.41 FERN DELL BRIDGE  
1/2" = 1'-0"

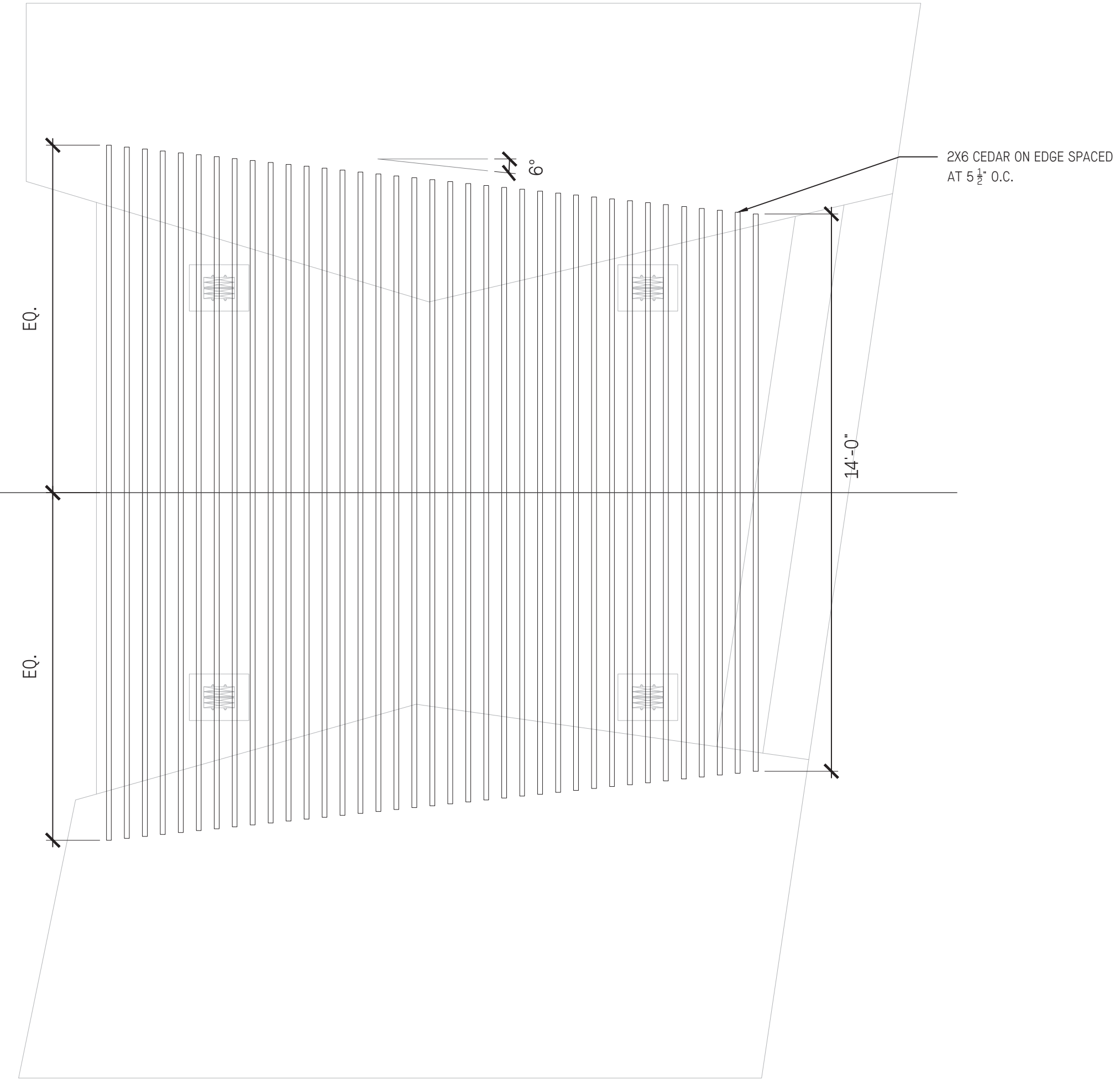
GENERAL NOTES:  
 1. REINFORCE ALL CONCRETE AS REQUIRED



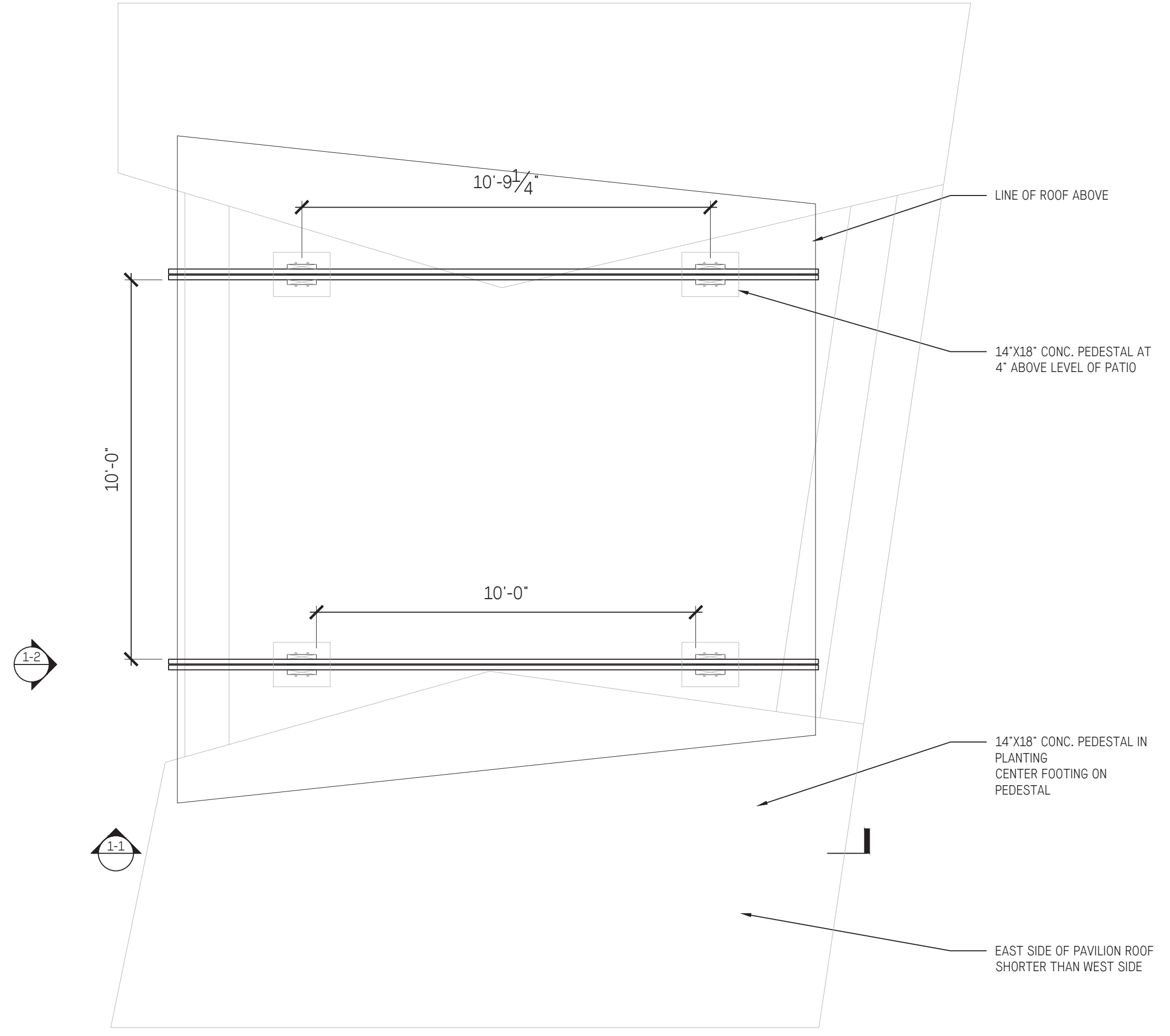
IVY ON THE PARK  
 LOT 8

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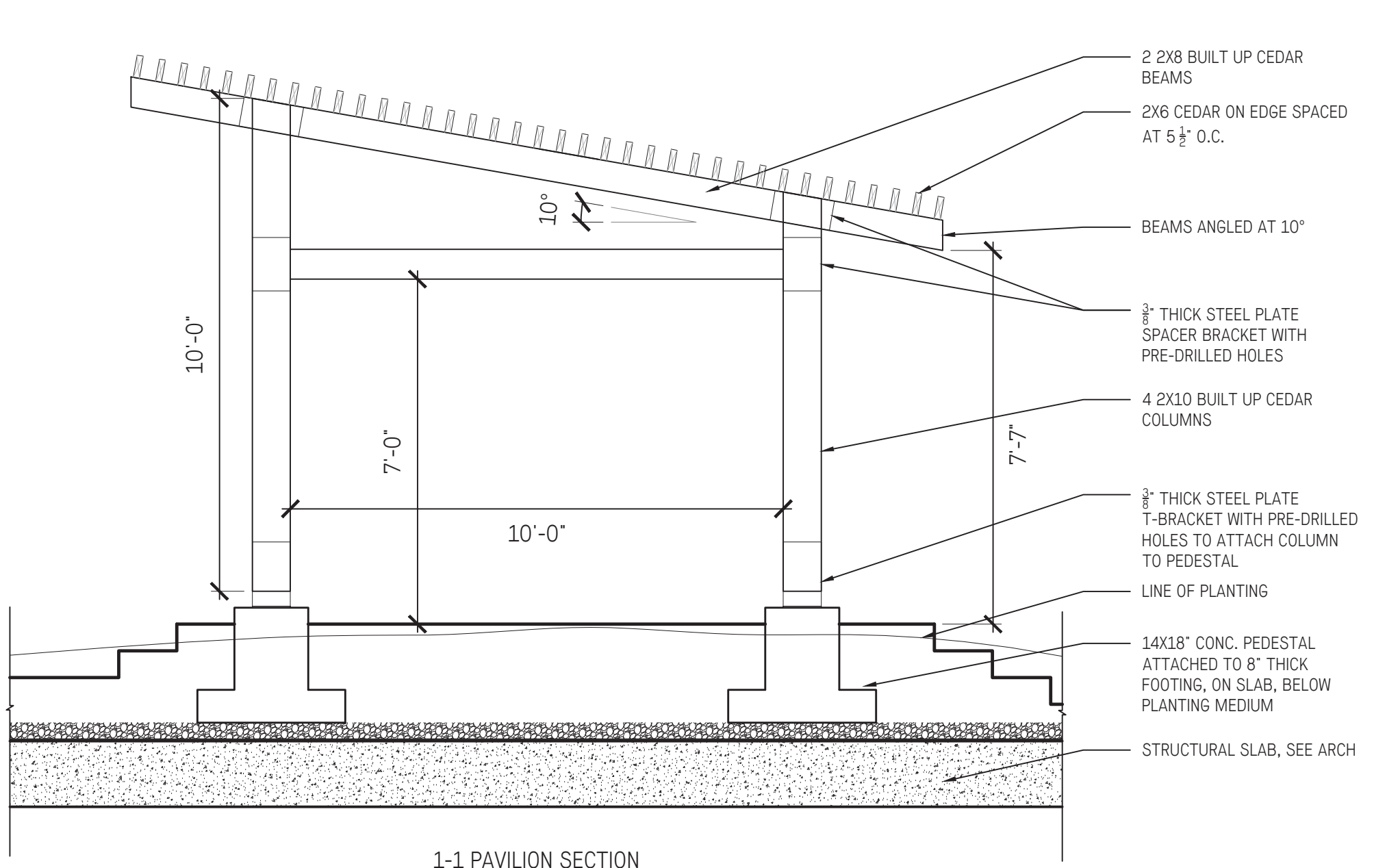
LANDSCAPE DETAILS  
 STRUCTURES



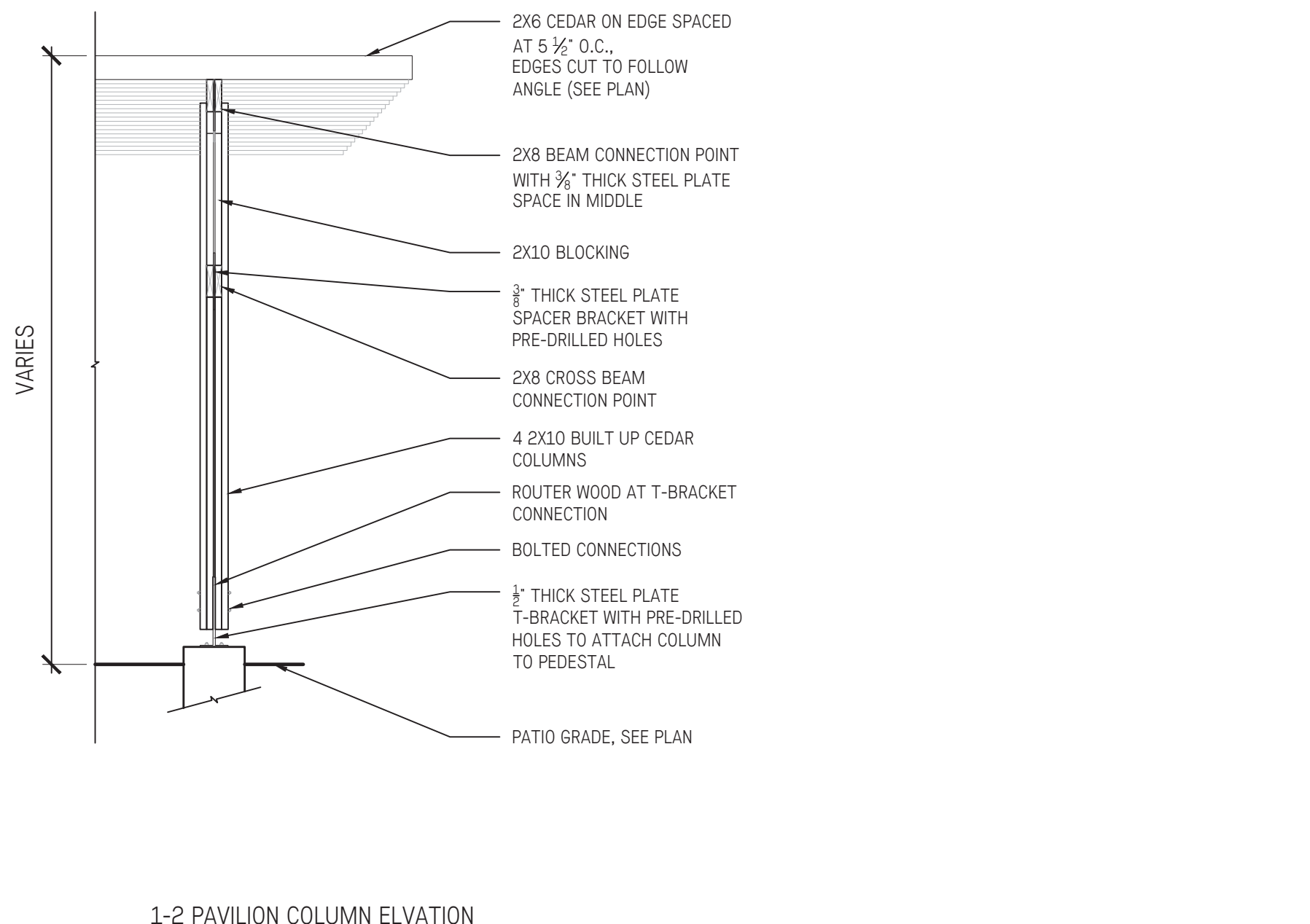
ROOF PLAN



FOOTING AND BEAM PLAN

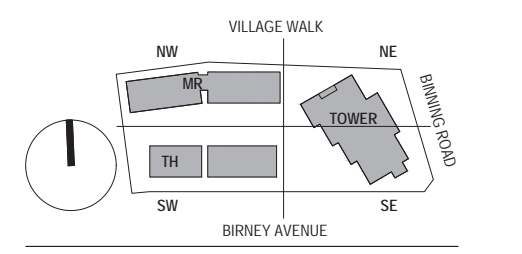


1-1 PAVILION SECTION



1-2 PAVILION COLUMN ELEVATION

GENERAL NOTES:  
 1. REINFORCE ALL CONCRETE AS REQUIRED  
 2. PROVIDE SHOP DRAWINGS FOR PAVILION ASSEMBLY

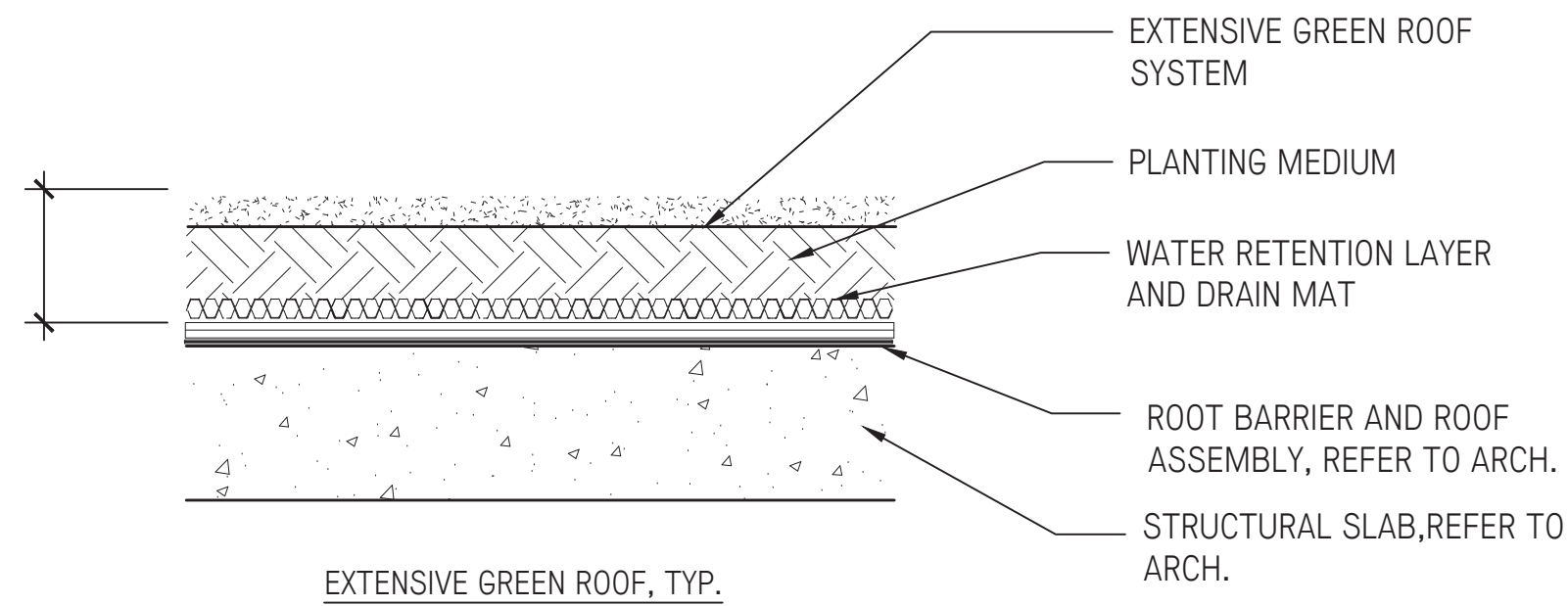


IVY ON THE PARK  
 LOT 8

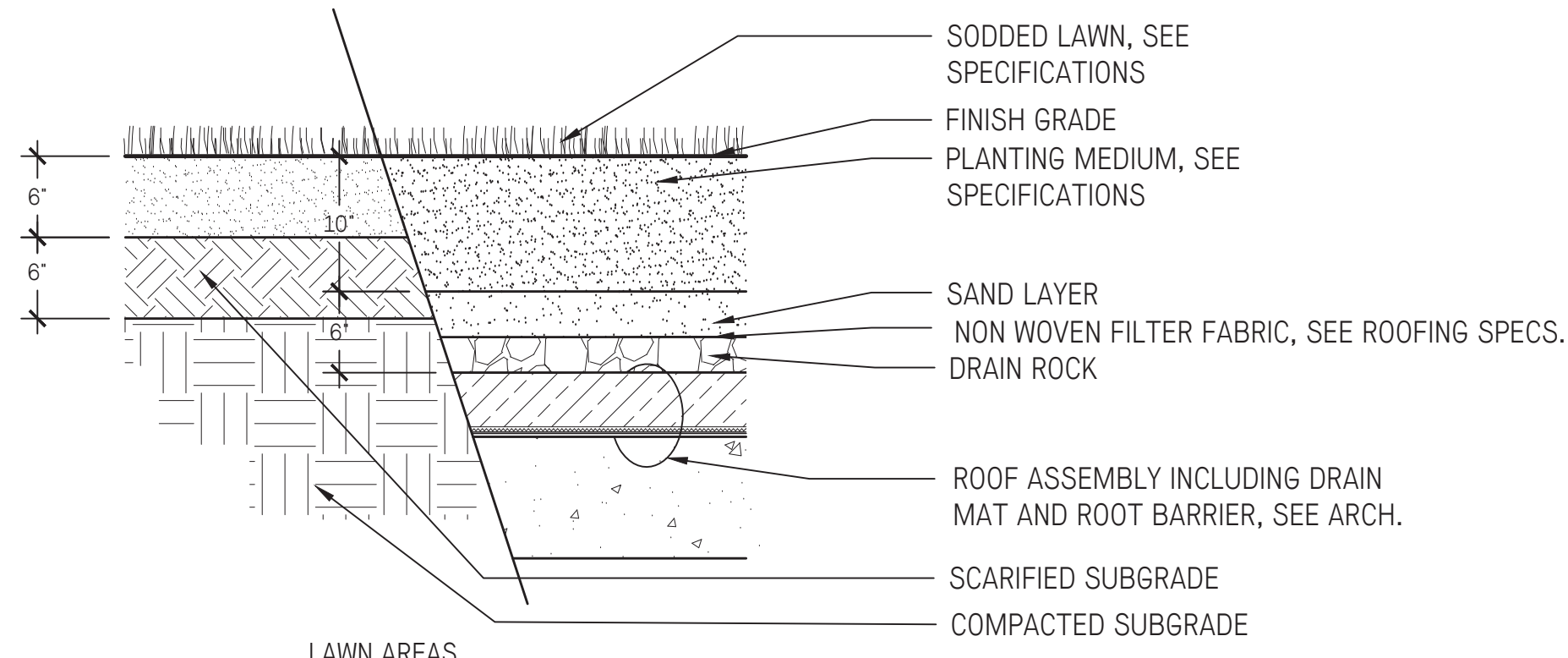
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LANDSCAPE DETAILS  
 PAVILION

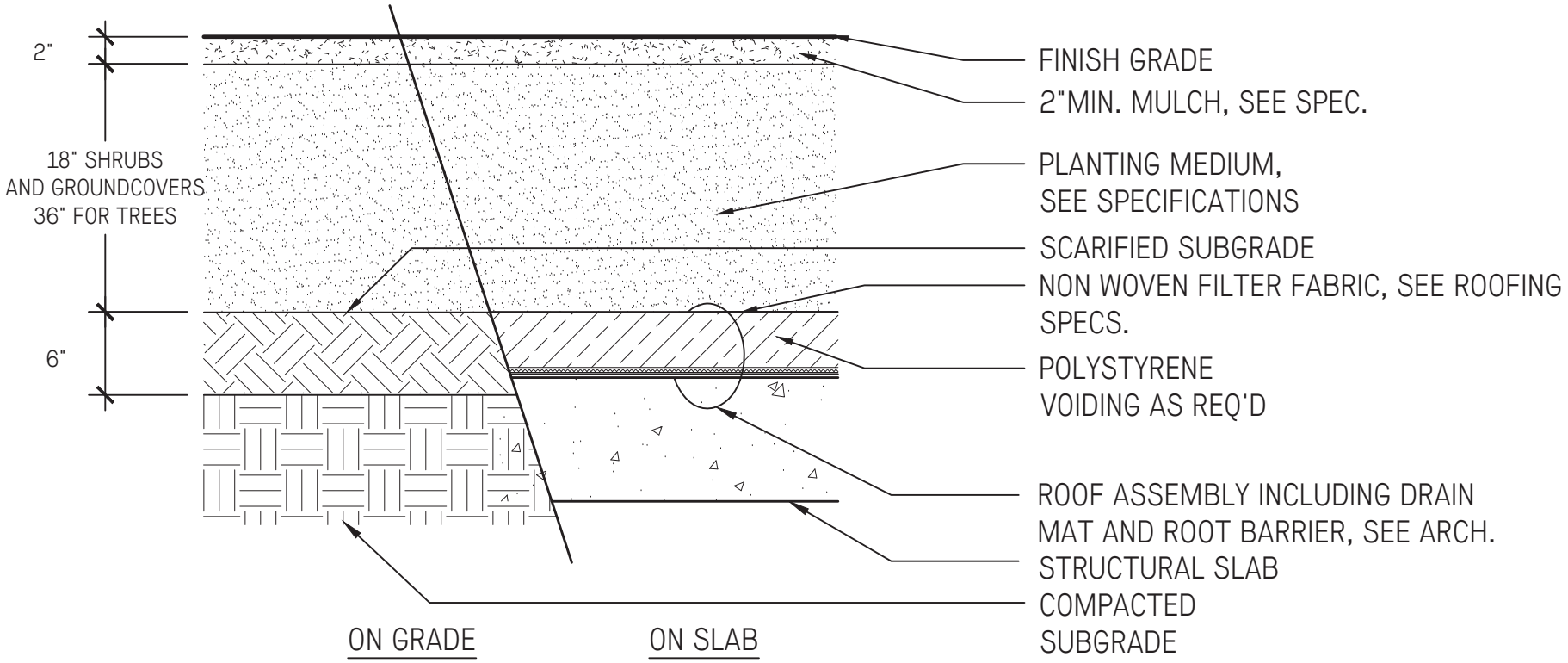
REFER TO GREEN ROOF SYSTEM SPECIFICATIONS



EXTENSIVE GREEN ROOF, TYP.

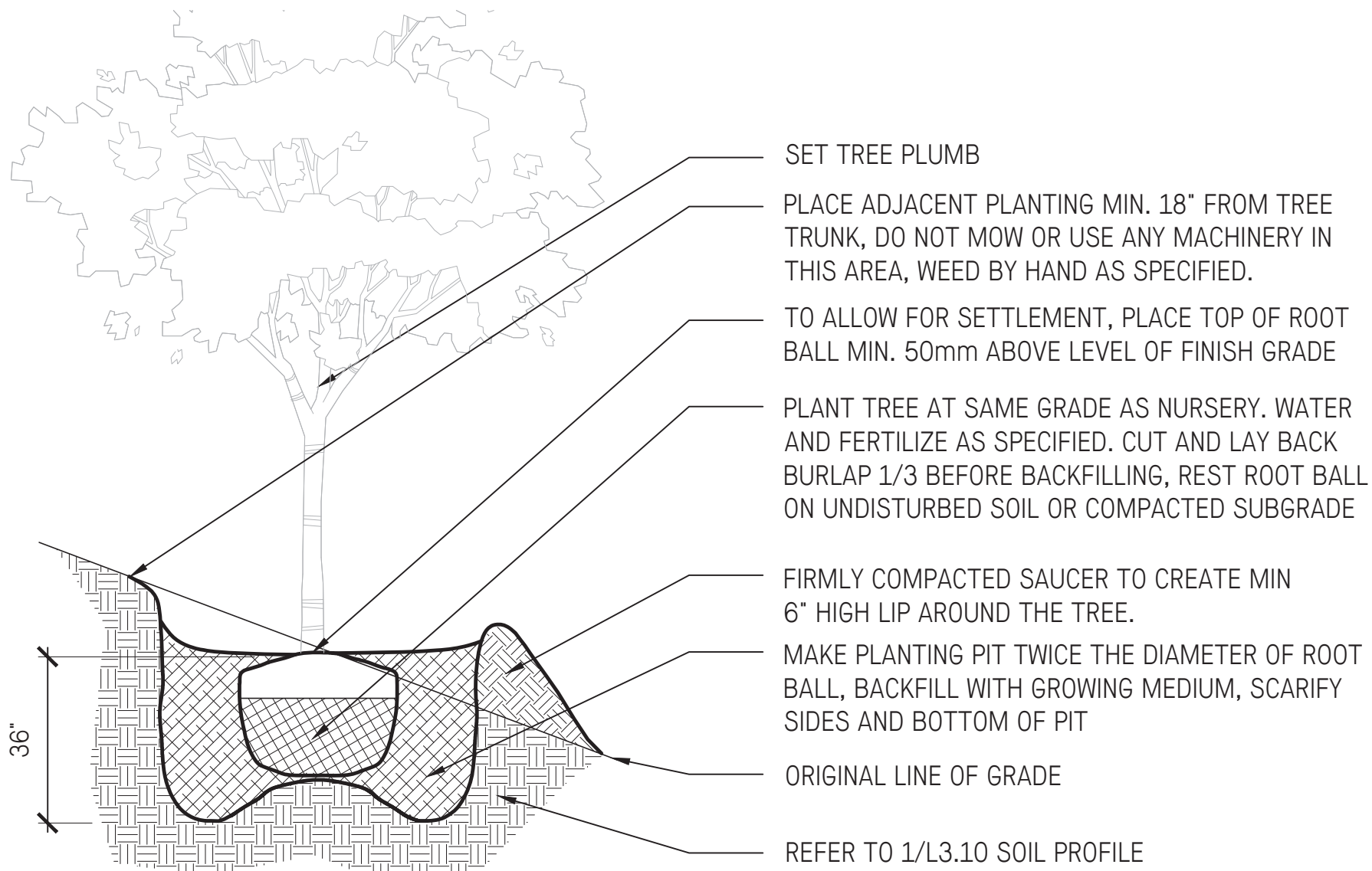


LAWN AREAS

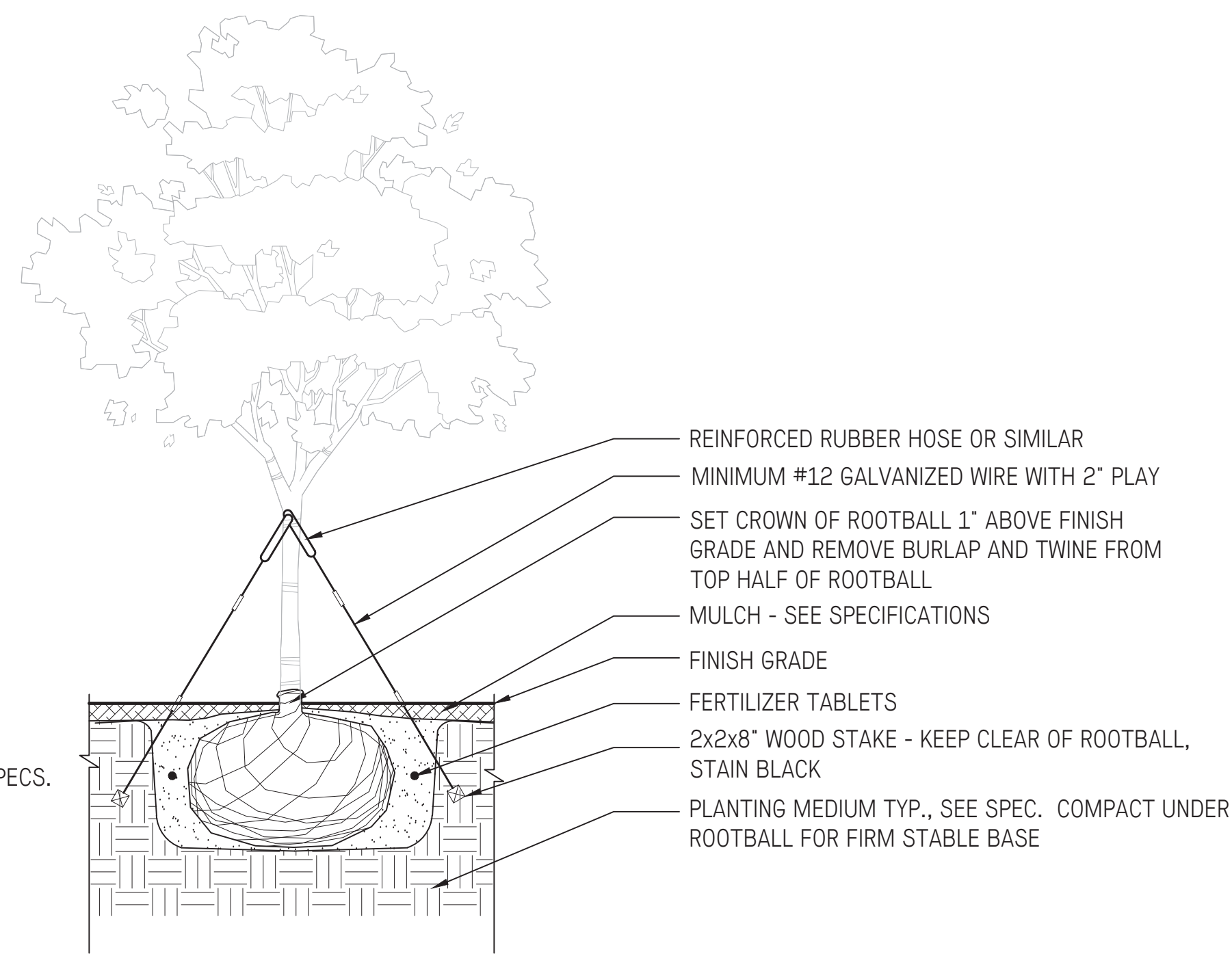


ON GRADE ON SLAB

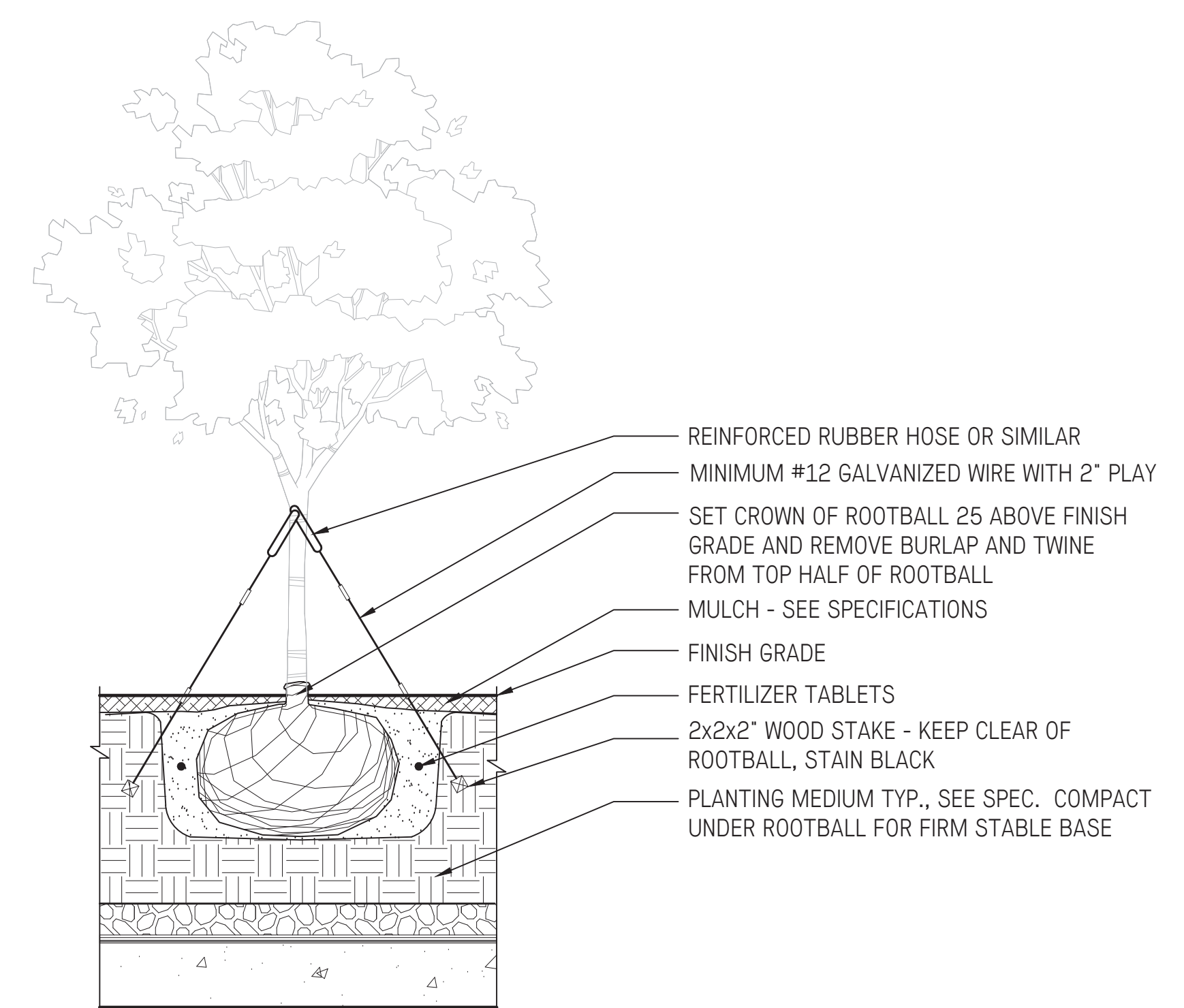
1 L3.50 SOIL PROFILES  
NTS



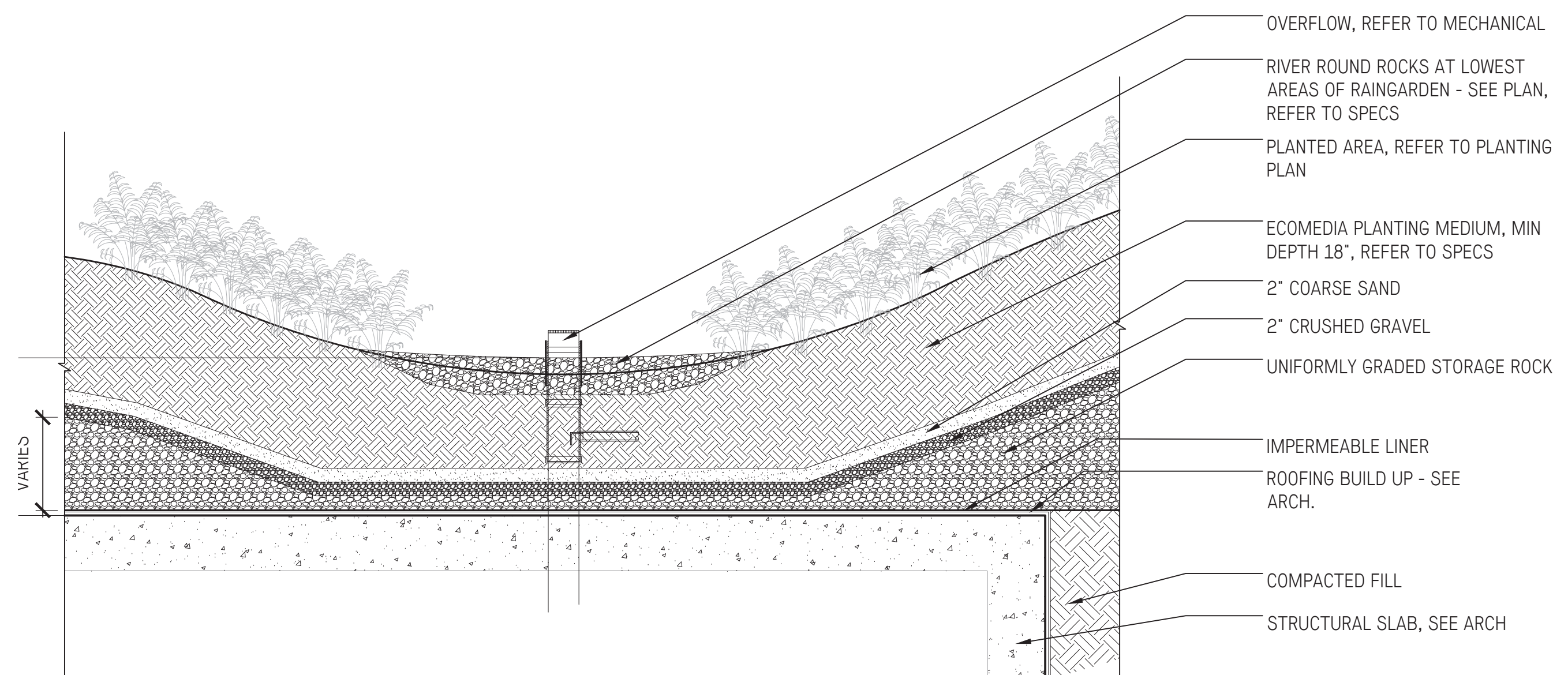
4 L3.50 TREE PLANTING ON SLOPE  
NTS



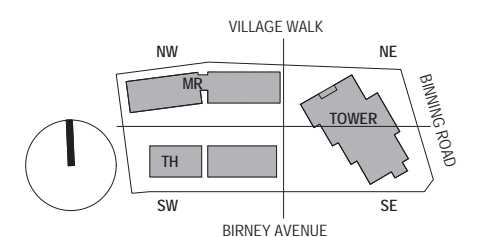
2 L3.50 TREE PLANTING ON GRADE  
NTS



3 L3.50 TREE PLANTING ON SLAB  
NTS



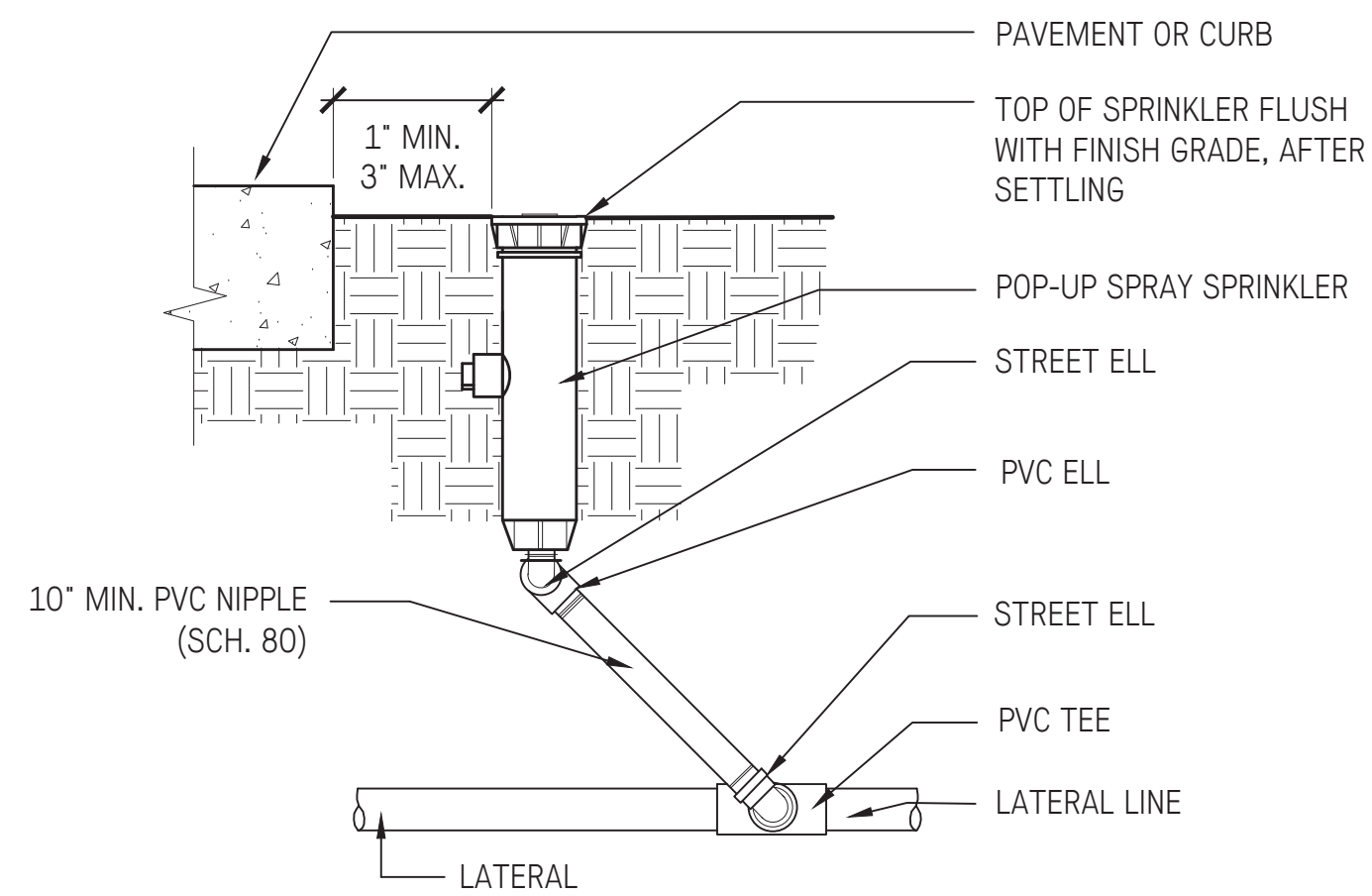
5 L3.50 FERN DELL SECTION DETAIL  
3/4" = 1'-0"



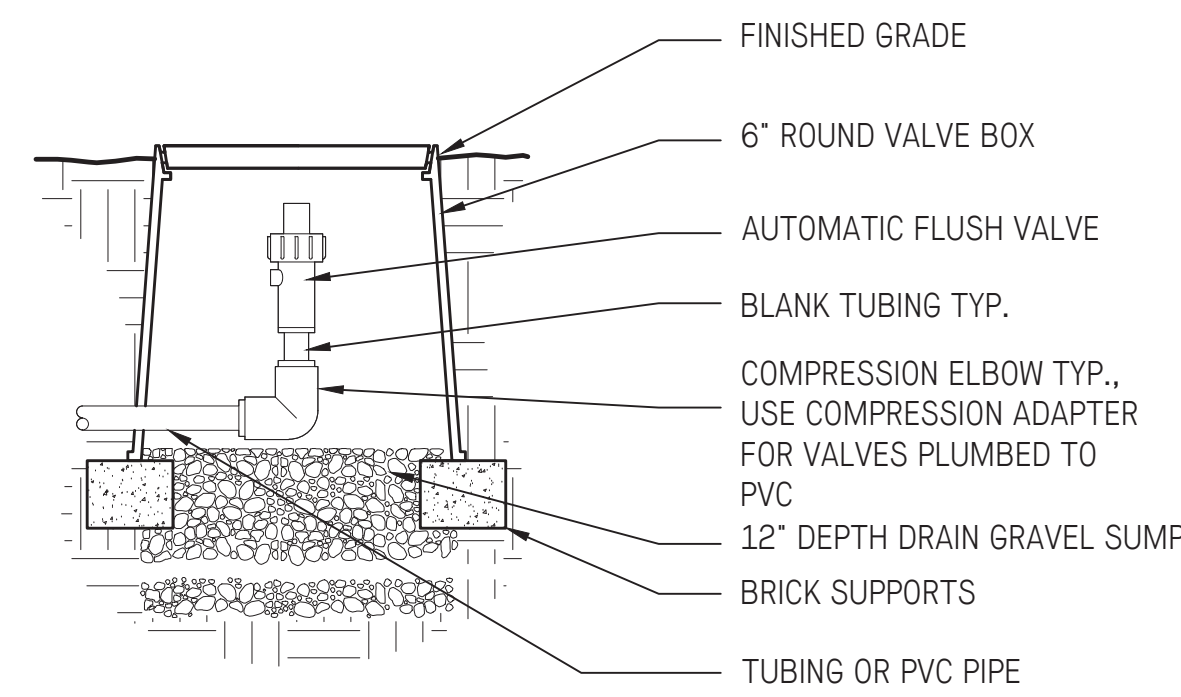
IVY ON THE PARK  
LOT 8

1	PRE-APPLICATION AUDP SUBMISSION	2017-11-02
2	PRE-APPLICATION AUDP SUBMISSION	2017-12-07
3	PRE-DP APPLICATION SUBMISSION	2017-12-06
4	DP APPLICATION AUDP SUBMISSION	2018-02-01
5	DEVELOPMENT PERMIT SUBMISSION	2018-01-23
6	DP RE-SUBMISSION	2018-03-02
7	DP RE-SUBMISSION	2018-05-24
8	DPMA SUBMISSION	2018-07-24
9	ISSUE FOR OWNER REVIEW	2018-07-25
10	ISSUE FOR TENDER	2018-09-26
11	ISSUE FOR DPMA	2018-10-17
12	PROGRESS SUBMISSION	2018-11-15
13	ISSUE FOR BUILDING PERMIT - FULL CONSTRUCTION	2019-02-15
14	ISSUE FOR DPMA	2019-08-19

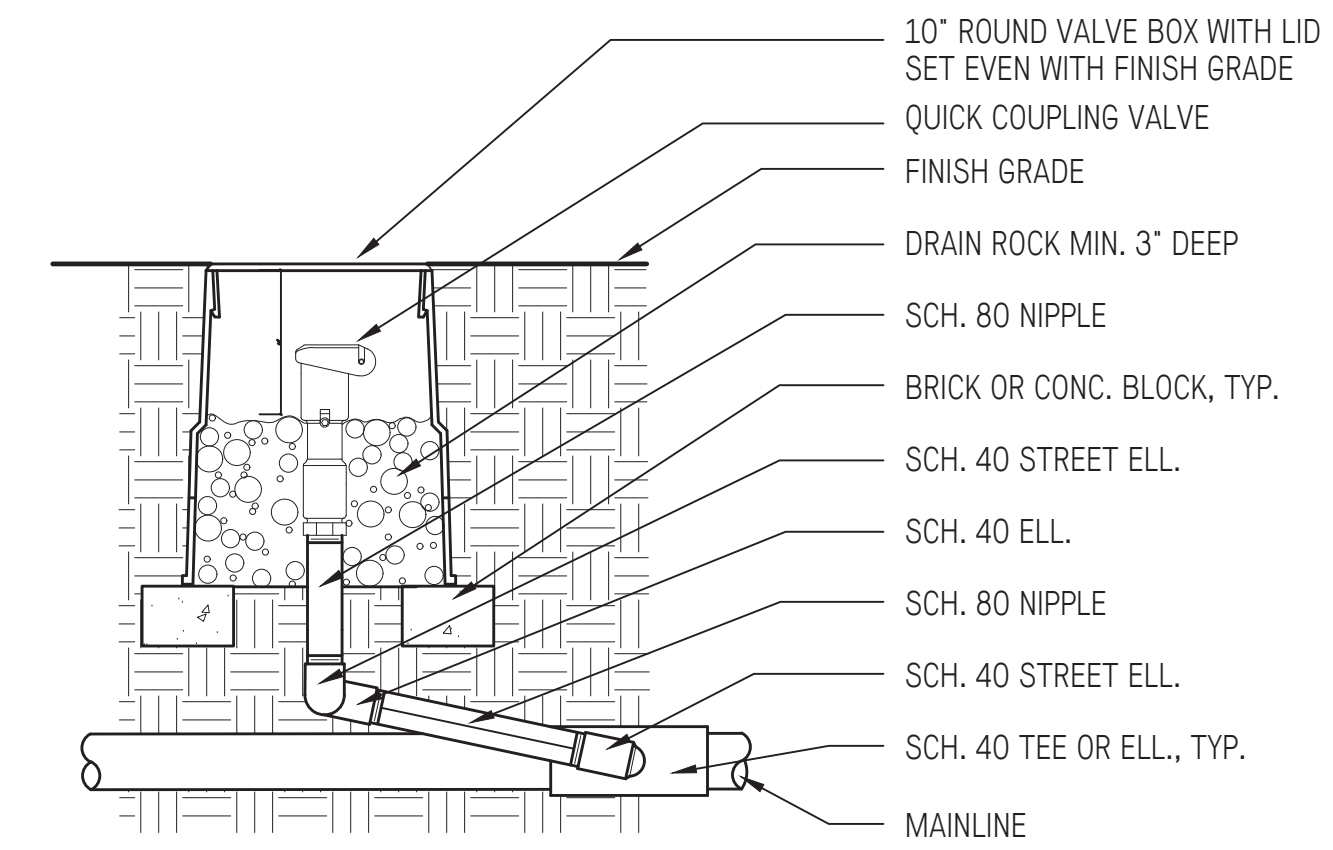
LANDSCAPE DETAILS  
PLANTING



1 POP-UP SPRINKLER  
1"=1'-0"

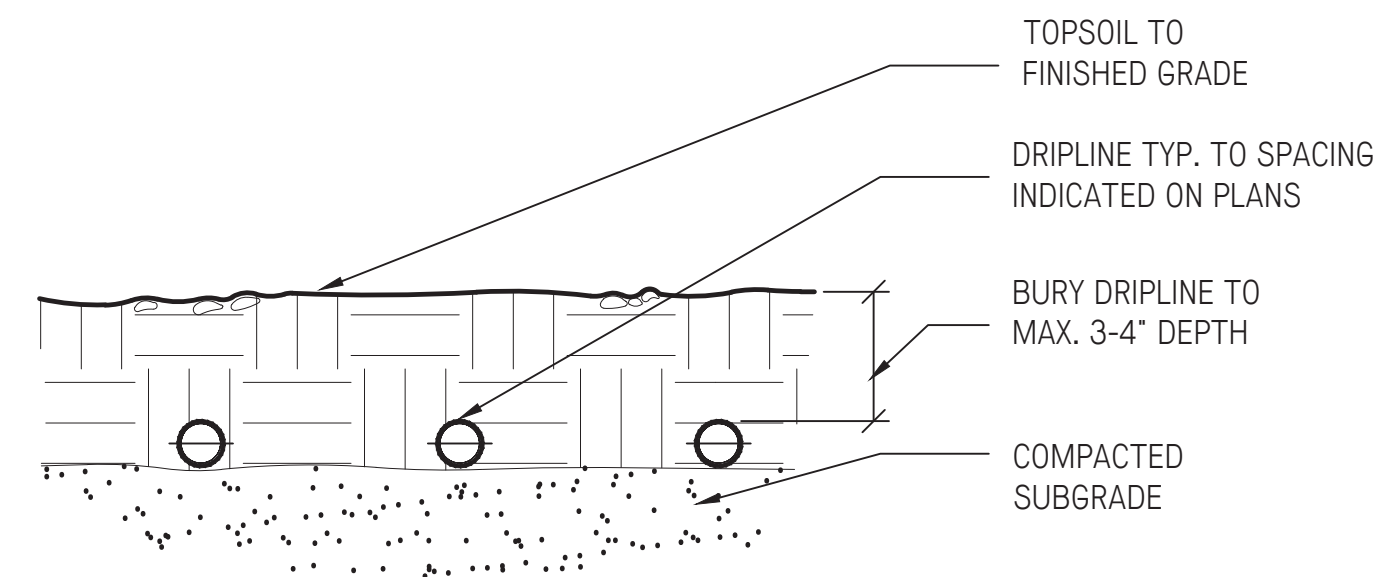


2 FLUSH VALVE  
1"=1'-0"

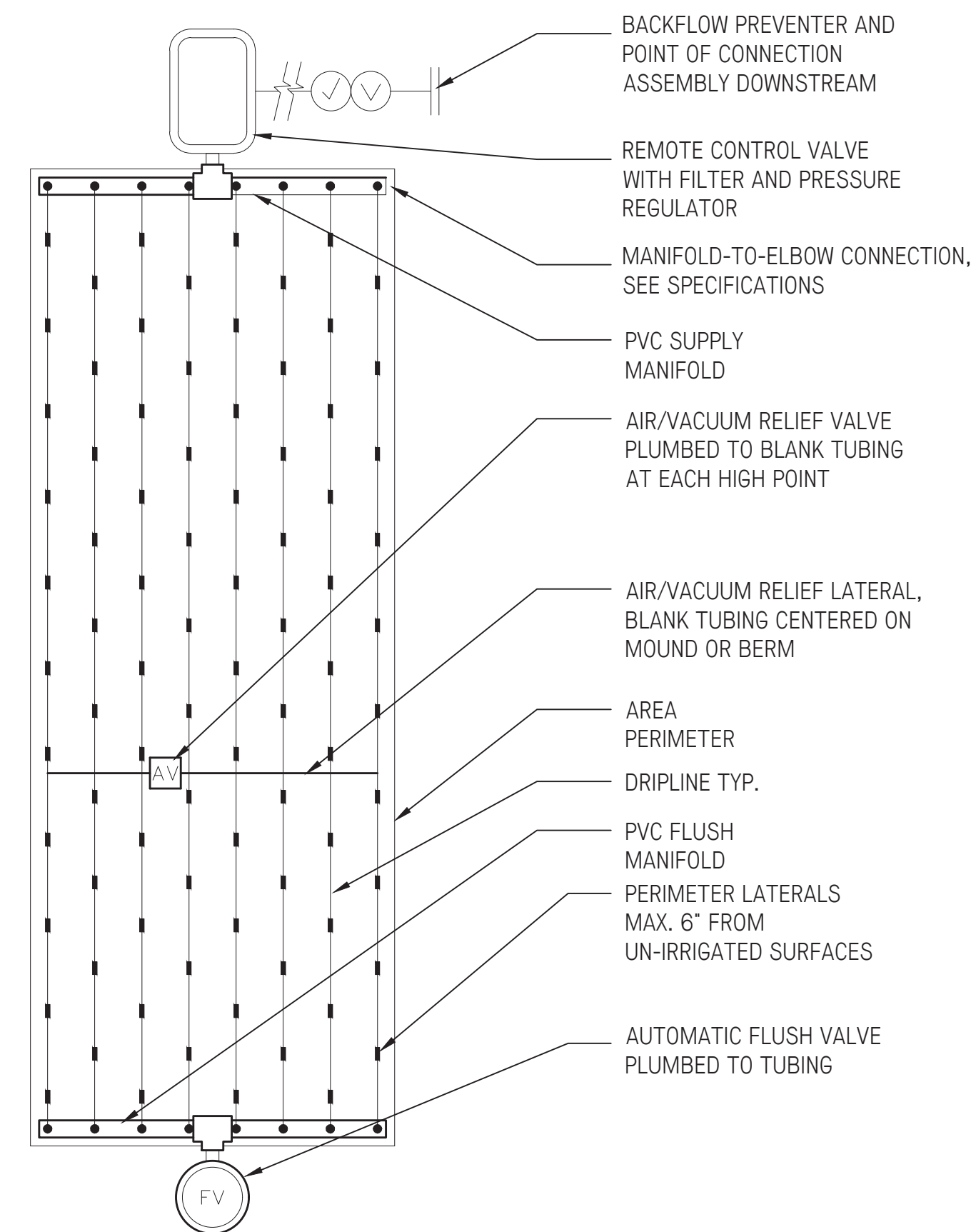


NOTE:  
WRAP ALL THREAD FITTINGS  
WITH TEFLON TAPE.

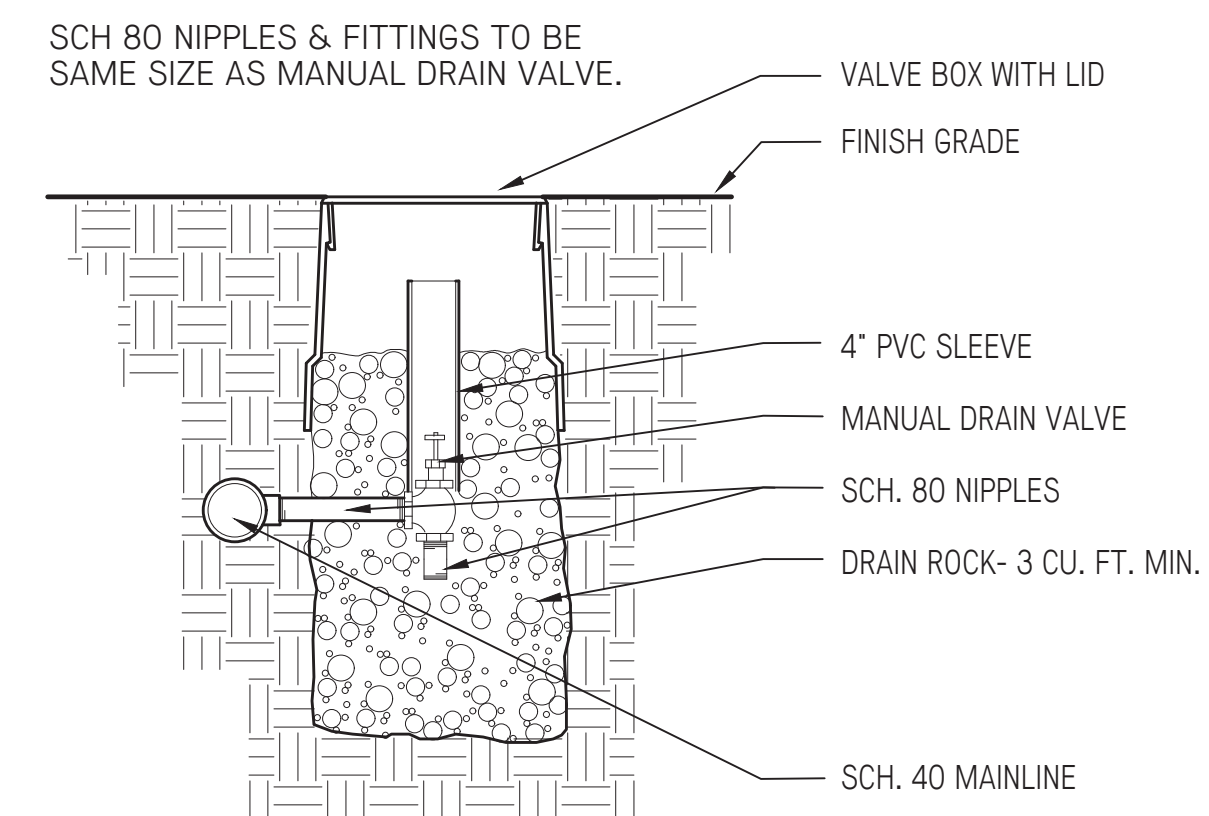
3 QUICK COUPLER  
1"=1'-0"



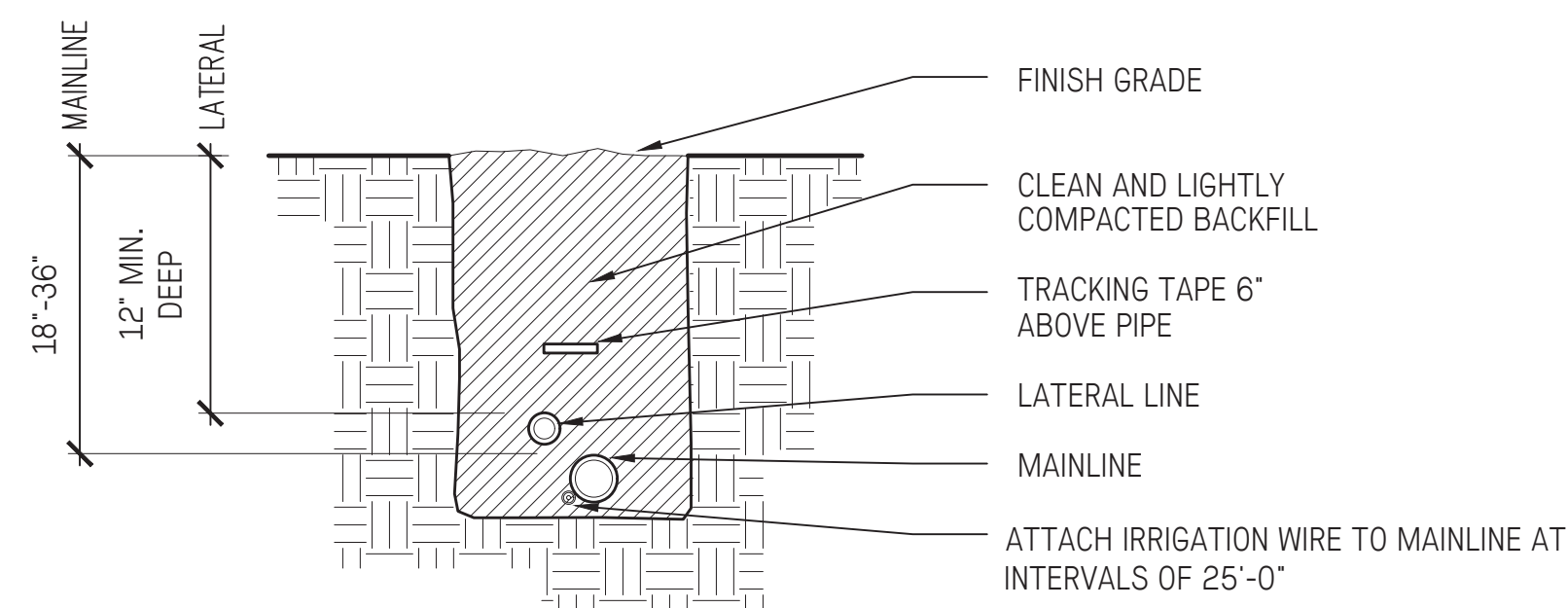
4 DRIP LINE SPACING  
1"=1'-0"



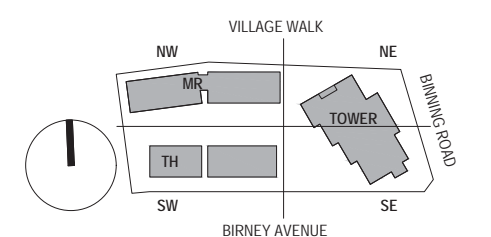
6 DRIP LINE LAYOUT TYP.  
1"=1'-0"



7 MANUAL DRAIN VALVE  
1"=1'-0"

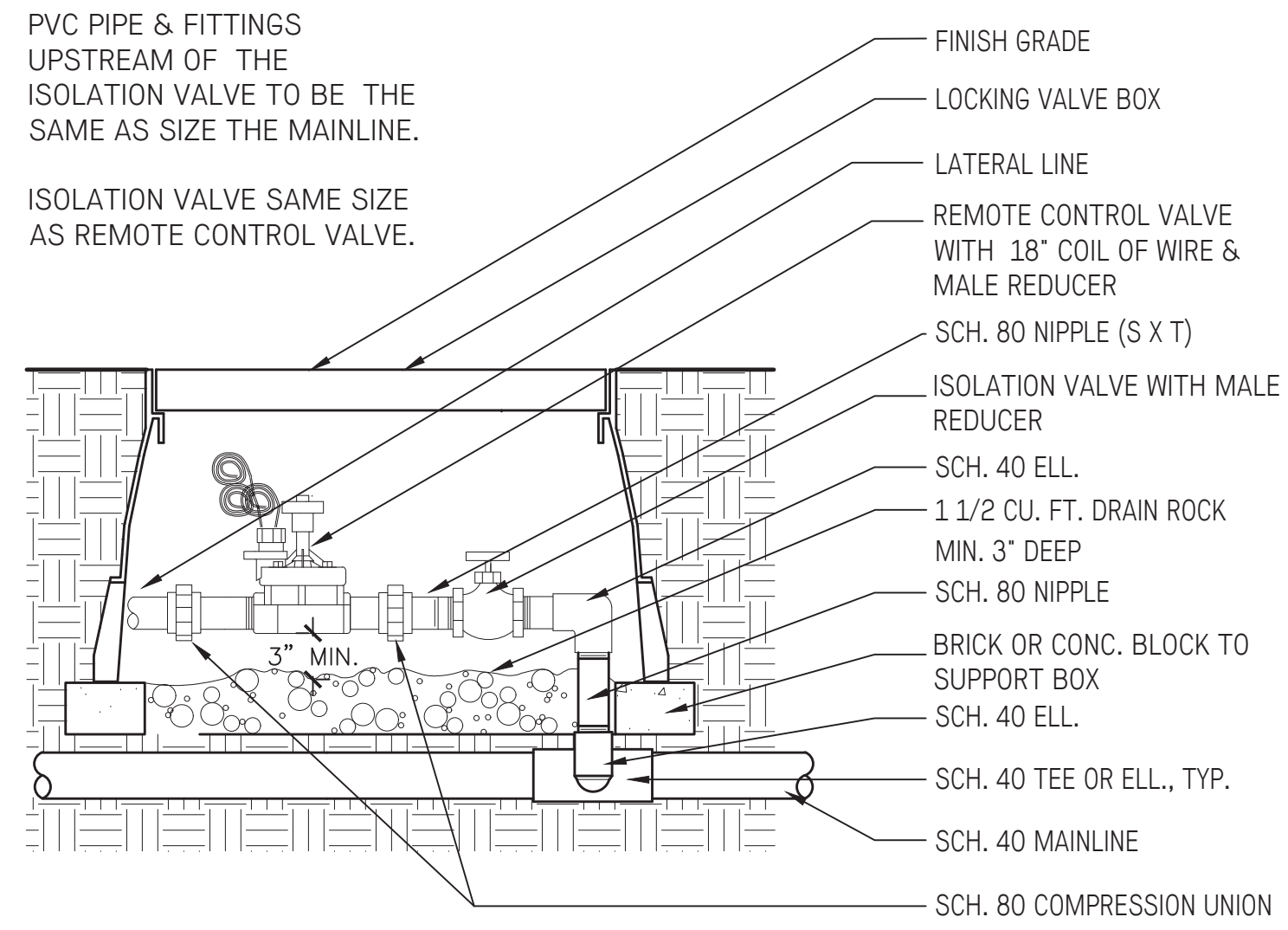


5 IRRIGATION TRENCH  
1"=1'-0"

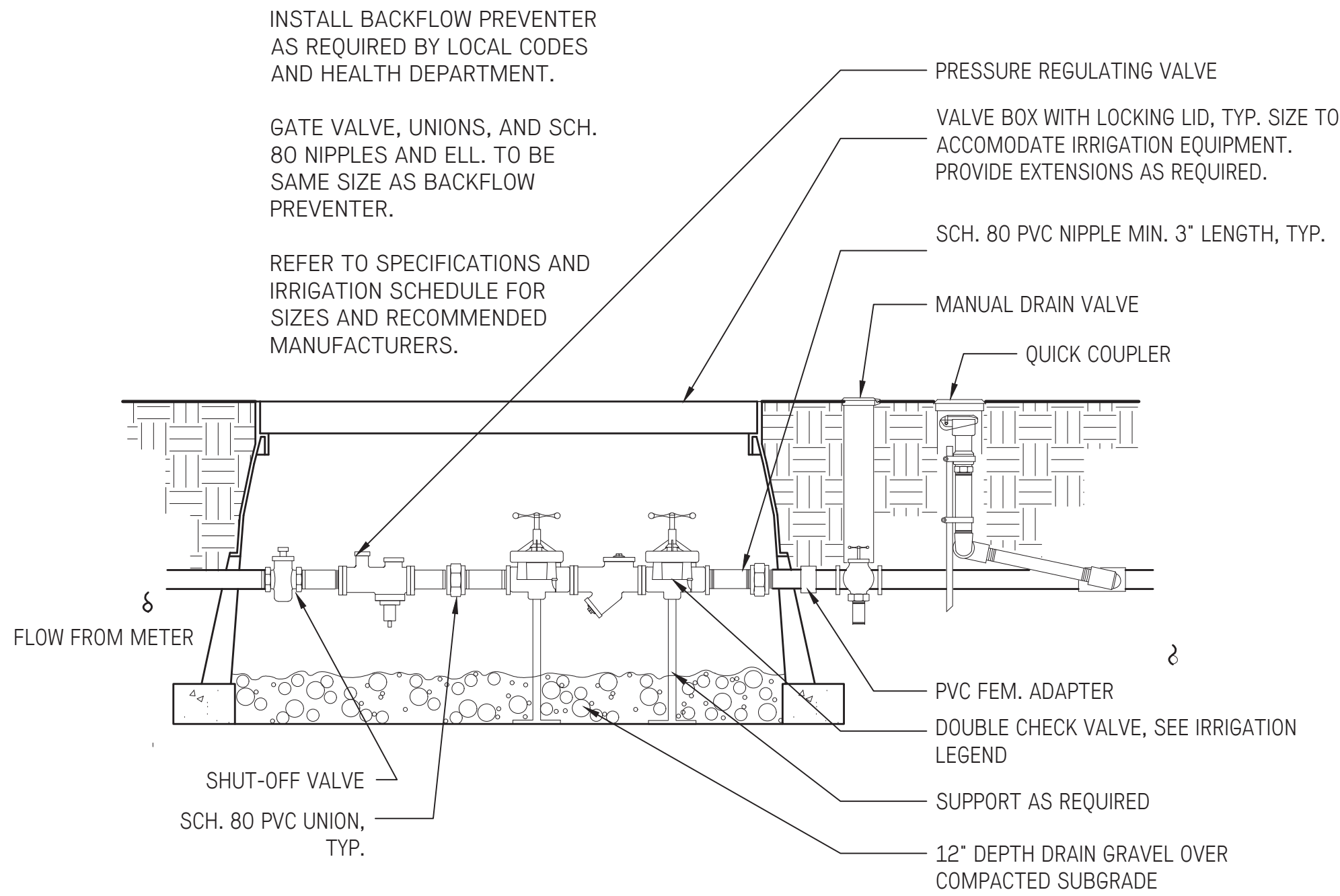


IVY ON THE PARK  
LOT 8

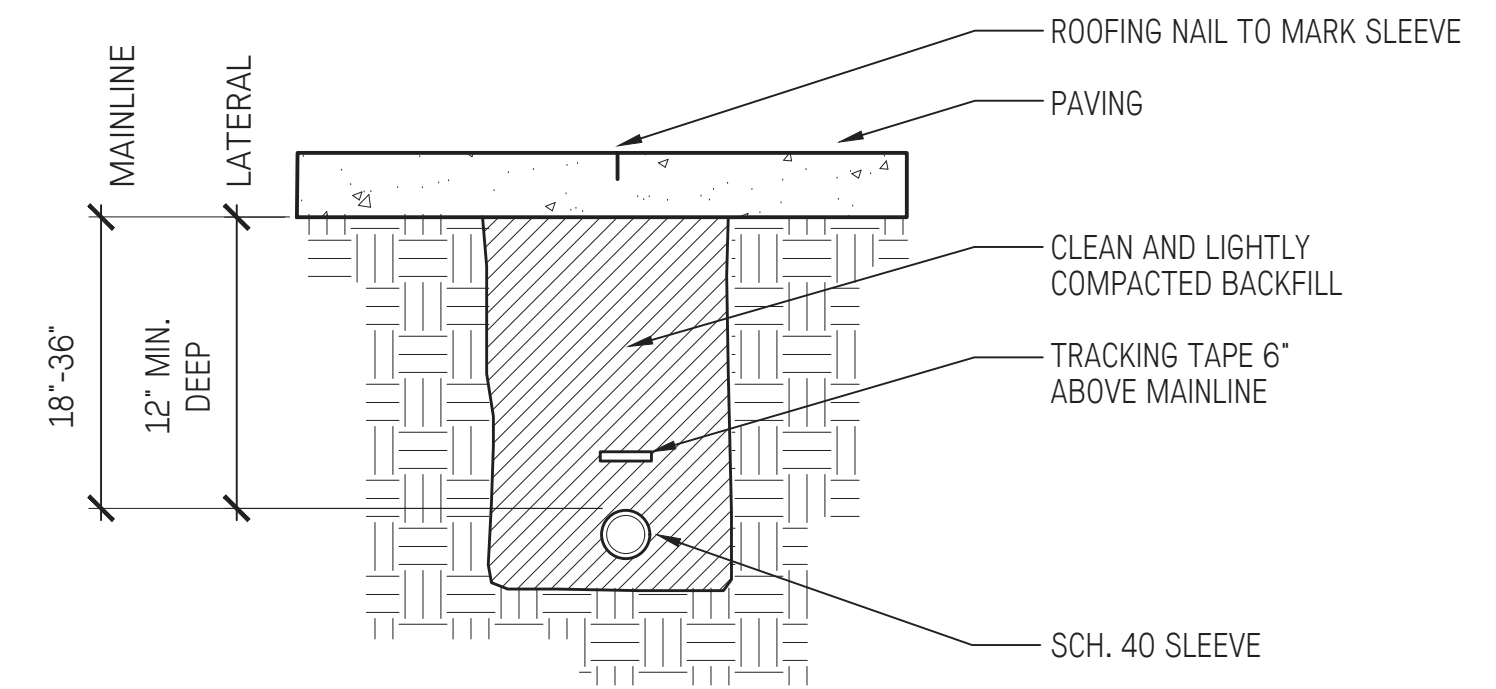
1	PRE-APPLICATION AUDP SUBMISSION	2017-11-02
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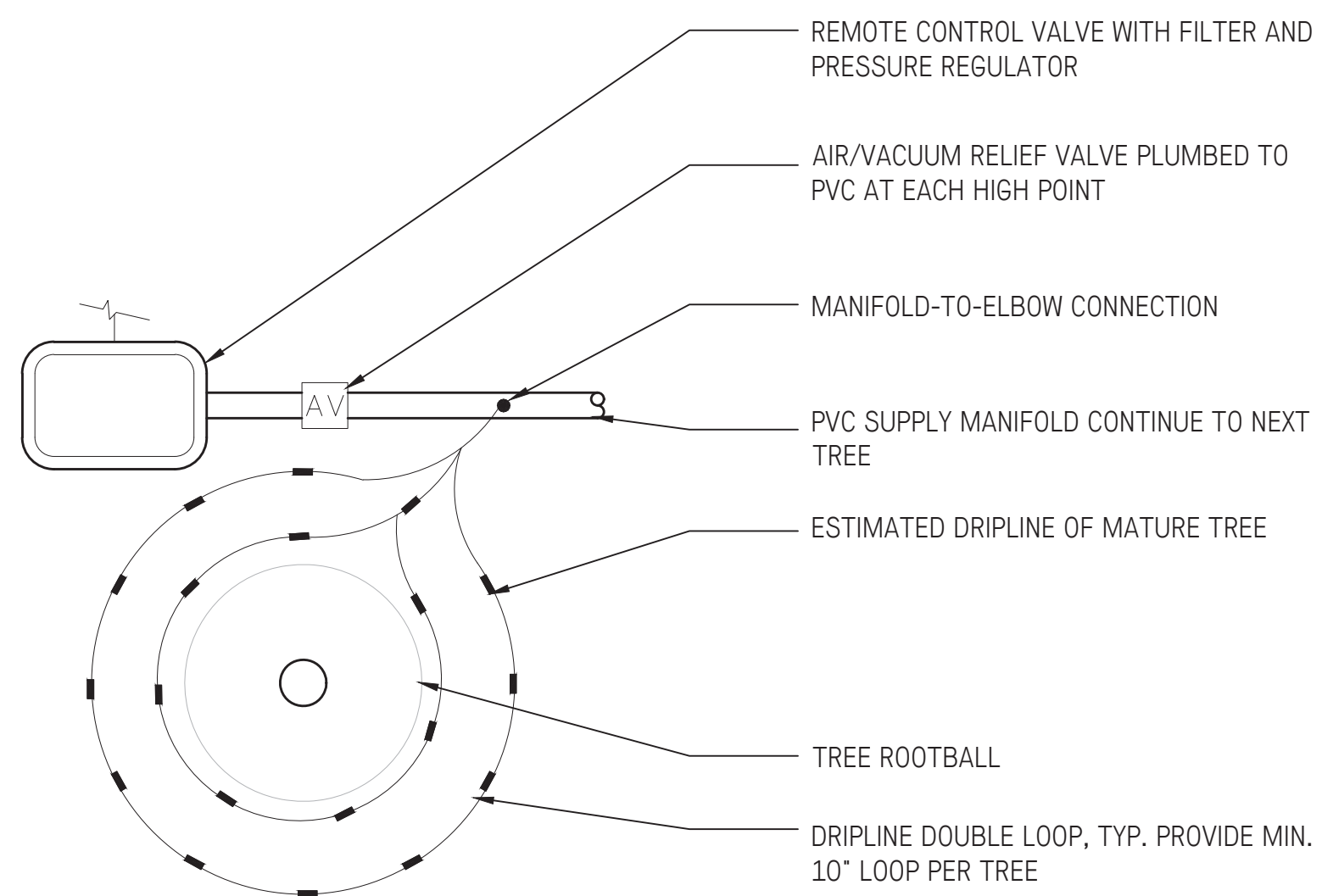
1  
L3.61  
REMOTE CONTROL VALVE  
1"=1'-0"



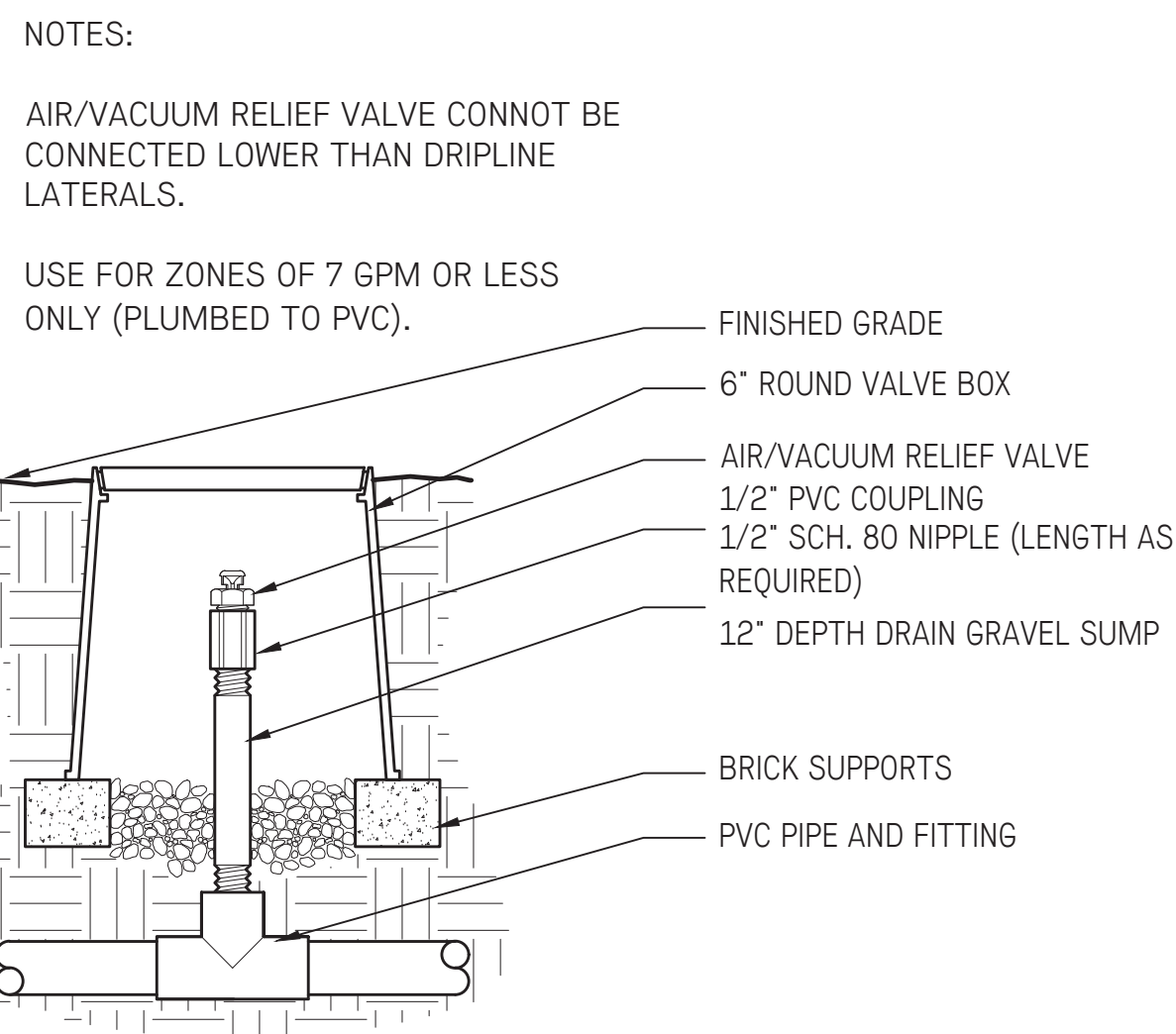
2  
L3.61  
BACKFLOW PREVENTER  
1"=1'-0"



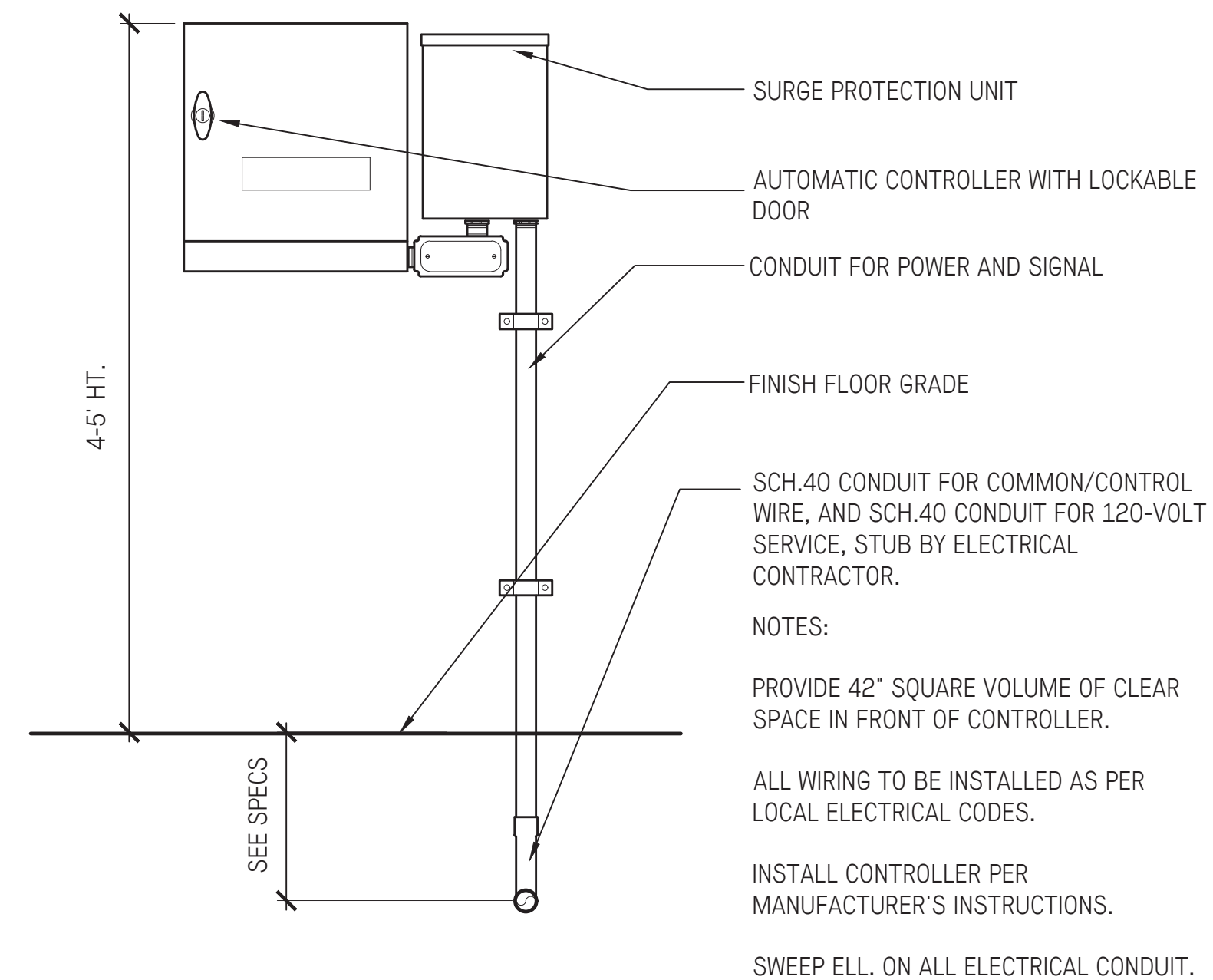
3  
L3.61  
IRRIGATION SLEEVING  
1"=1'-0"



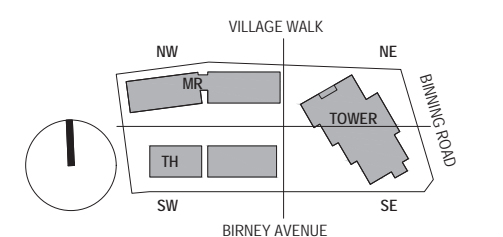
4  
L3.61  
DRIP LINE AT TREES, TYP.  
1"=1'-0"



5  
L3.61  
AIR VACUUM RELIEF  
1"=1'-0"



6  
L3.61  
CONTROLLER  
1"=1'-0"



IVY ON THE PARK  
LOT 8

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LANDSCAPE DETAILS  
IRRIGATION