

October 9th, 2020

Atten: Karen Russell & Paul Cloutier
Campus & Community Planning UBC
2210 West Mall
Vancouver BC
V6T 1Z4

Dear Karen and Paul,

Re: DP Amendment - The Conservatory - CBP20005

This letter is an outline of proposed revisions to the Development Permit for The Conservatory Project at 5608 Berton Avenue, Vancouver BC. Please also refer to the Architectural drawing package submitted with this letter as well as Landscape letter and drawing package.

DP Amendment Items:

Architectural:

1. West Tower Elevation – privacy screens were added to select balconies at the west elevation to improve the privacy, livability and to avoid overlook. These screens will also help with reducing solar heat gain in the summer. Please refer to tower renders of west elevation and tower plans indicating location of screens on A2.05-A2.09.
2. Roof Top Mechanical Screen –further coordination with the Mechanical consultant resulted in an increase in size of mechanical equipment at the roof top level. The screening has been revised to ensure the mechanical equipment is not visible from the street level. Please refer to elevations on A3.01-A3.05 and roof top plans on A2.11.
3. Reduction in Photovoltaic Panels at Roof – the number of photovoltaic panels in the array have been reduced to accommodate required maintenance and safety clearances, increased mechanical space required and balance cost with the renewable energy benefits. This reduction had a minimal impact on the energy model and the PV's will still provide power to the make-up air unit at the roof.
4. South Retaining Wall Revised – please refer to site plan A1.01 for location and extent of the revision to the south retaining wall. Height of the retaining wall has increased to provide appropriate coverage over the parking ramp roof slab and to integrate the generator



exhaust. We have incorporated stone cladding and trellis above to create an appropriate aesthetic appearance from the neighbouring fire lane. Please also refer to details on A5.58.

5. Exit Stair Elevations – to provide additional design information to better express design intent of exit stair at the south of the site. Please refer to site plan for location and A3.07 for design intent.
6. City Home Elevations – the following are revisions made to the City Homes, please refer to the City Home elevations on A3.06-A3.07 and rendered views.
 - a. Reduced the height of parapet at level 3 terrace and added a glass guard to minimize the height of the solid guard.
 - b. Corner window at level 3 on west elevation has been deleted.
 - c. Window 113 on west elevation has increased in size.
 - d. Canopy length over front entry door at the west façade has increased to provide more sufficient coverage over the entry door.
 - e. Front doors revised to solid panel matching the copper metal panel above and on tower.
 - f. Clerestory windows have been added to the north façade of the northern City Home (CH 01).

Landscape:

1. Revisions to the landscape design at Berton Avenue and Binning Road to include a public art garden. The landscape appearance in this area has been carefully coordinated with the artist, Brent Comber. In addition to the use of native plants we have included flat top basalt slab seating and paved areas around each art piece to allow the public to view the installation from all sides. The addition of the public art garden has required the relocation of bike racks to the Berton Avenue entry plaza. See L1.01, L2.01, L3.02
2. Revisions to the layout of the Berton Avenue entry plaza to incorporate bicycle parking requirements. We have grouped the bike racks and located them within a grove of trees surrounded by mass planting of evergreen shrubs in the northwest corner of the plaza. 1.0M high stone-faced walls within the shrub planting provide screening of the bike racks from the Berton Avenue sidewalk. Flat top basalt slab seating has been added adjacent to the sidewalk to reference the public art garden and to visually connect these spaces together. See L1.01, L2.01, L3.02.



3. We have deleted crushed glass element north of building entry. Flowering shrubs have been added to ensure a softer, splash of seasonal interest to the sidewalk edge. See L1.01, L2.01, L3.02.
4. We have relocated two flowering trees from the north side of building lobby to the Berton Avenue plaza to improve views to and from the lobby. See L3.02.
5. Updated tree replacement stats – trees removed 57 coniferous, 6 deciduous, replacement trees 69 deciduous, 14 coniferous. See L0.02, LL0.03.
6. Revise entry walkway locations to townhomes facing Khorana Park to align with unit doorways. See L1.01, L2.01, L3.02.
7. Revise courtyard pathway to decorative unit pavers to address fire exiting requirements. See L1.01.
8. Minor revisions to patios, patio access paths in the interior courtyard to improve CPTED and visibility to courtyard from the private patios. See L1.01, L2.01, L3.02.
9. Reduce number and extent of stone-faced walls in interior courtyard. Addition of hedging to provide separation, privacy and green landscape expression. See L1.01, L2.01, L3.02.

Thank you for taking the time to review our proposed Development Permit Amendment. We look forward to your comments and completing this process with you.

Yours sincerely,

dys architecture

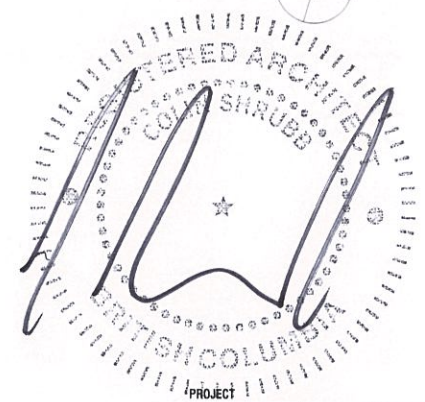
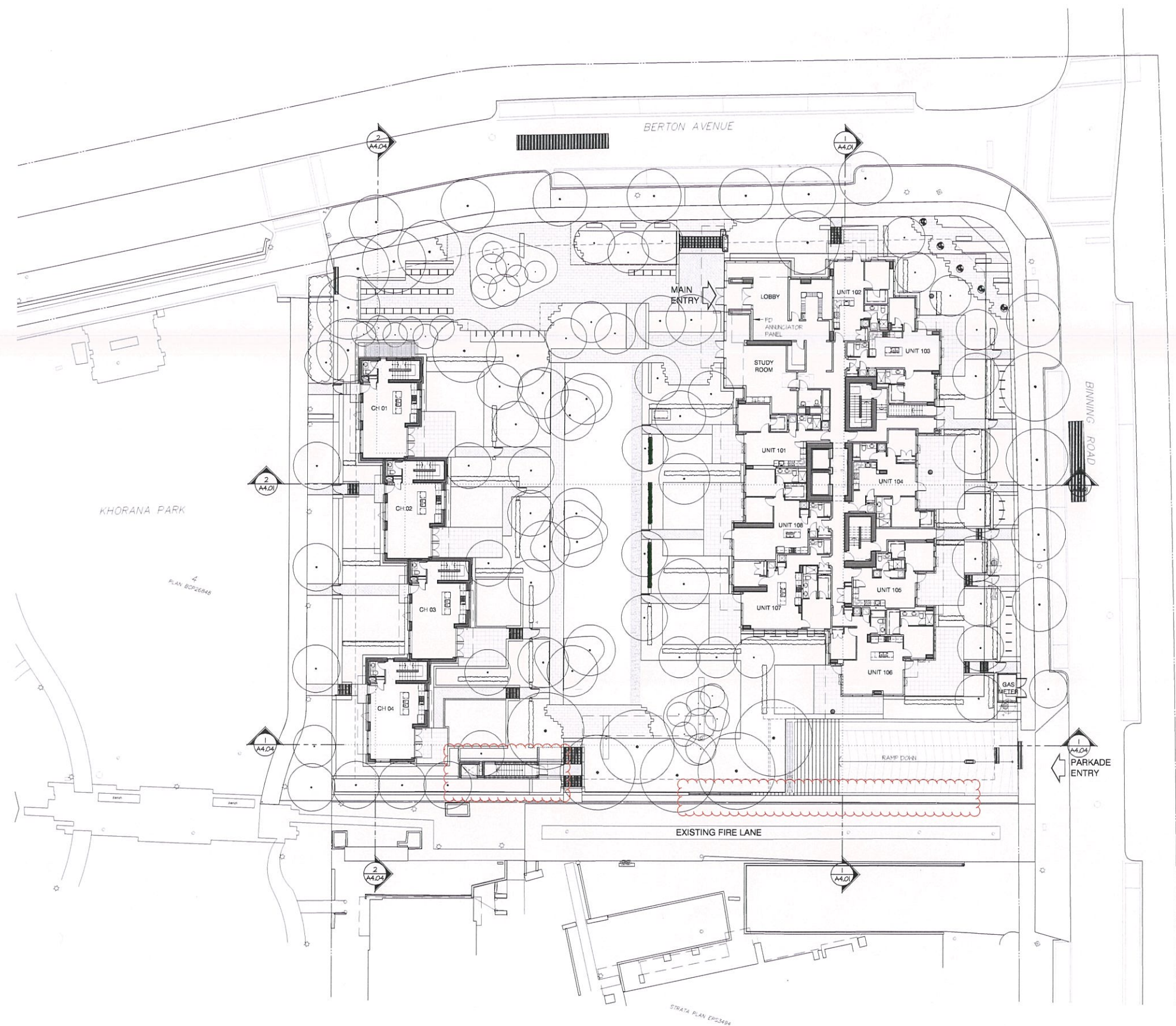
Colin Shrubb, Architect AIBC, MRAIC
Principal

CLIENT



NO.	DATE	ISSUE
1	2019-10-10	ISSUED FOR PRE-APP. AUDP
2	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
3	2019-12-05	ISSUED FOR AUDP
4	2020-05-29	ISSUED FOR 50% BP REVIEW
5	2020-06-17	ISSUED FOR FOUNDATION TO GRADE
6	2020-07-16	ISSUED FOR 90% BP REVIEW
7	2020-10-02	ISSUED FOR DP AMENDMENT

NO.	DATE	REVISION
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THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

SITE PLAN

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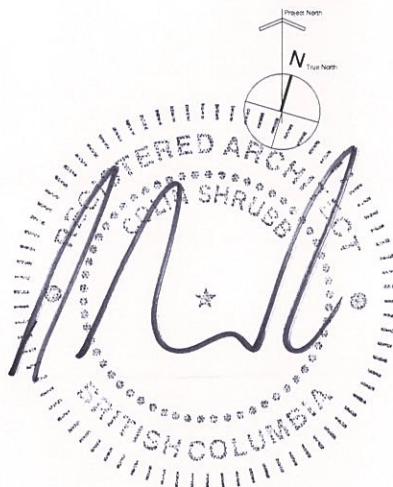
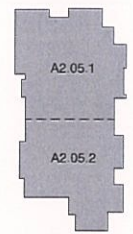
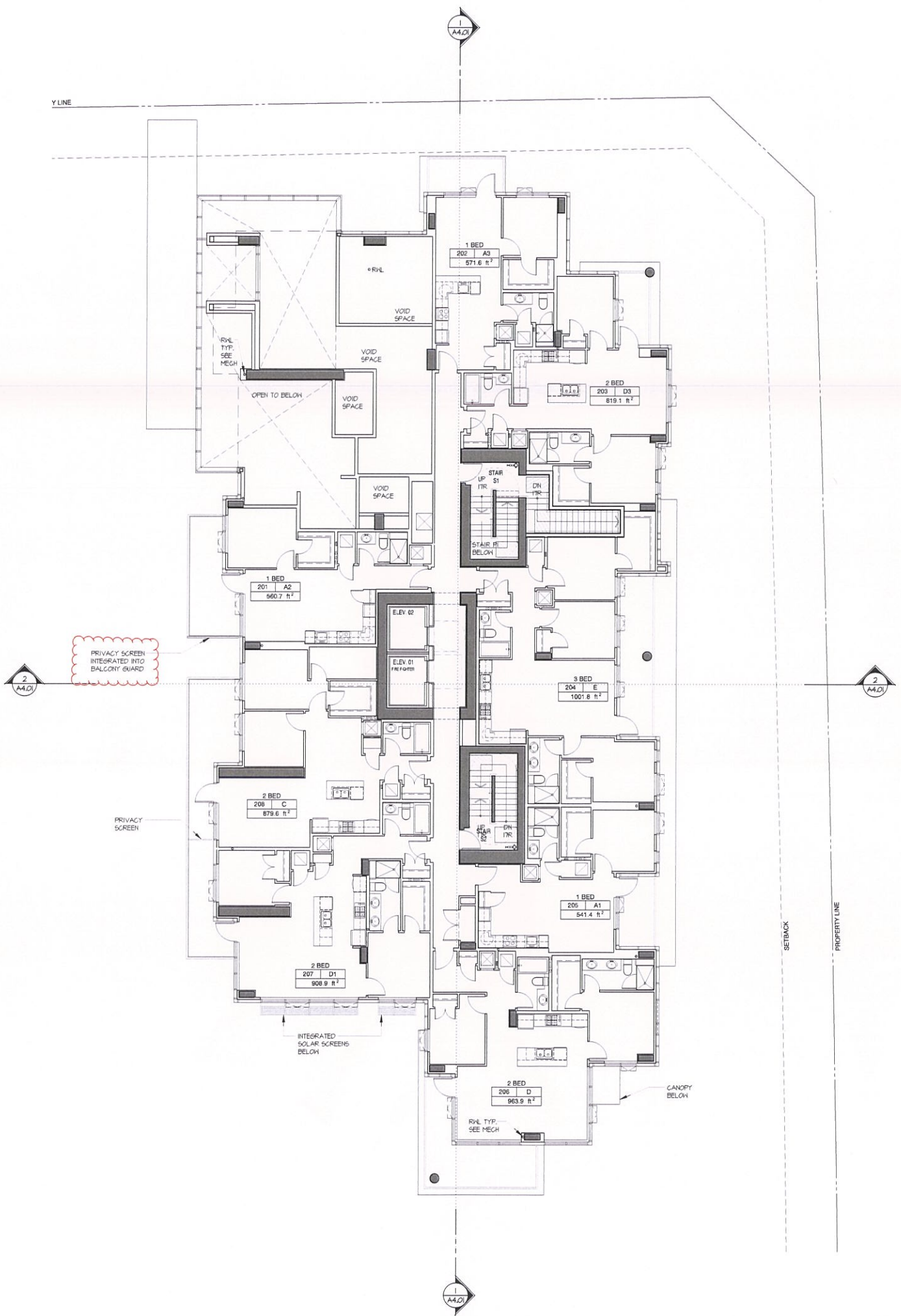
PROJECT A219461
DRAWN CHECKED CS
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DATE OCT. 02, 2020

CLIENT



NO.	DATE	ISSUE
1	2019-10-10	ISSUED FOR PRE-APP. AUDP
2	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
3	2019-12-06	ISSUED FOR AUDP
4	2020-05-29	ISSUED FOR 50% ISSUE BP REVIEW
5	2020-07-16	ISSUED FOR 80% ISSUE BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

NO.	DATE	REVISION
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PROJECT
**THE CONSERVATORY
RESIDENTIAL TOWER**

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

LEVEL 2 PLAN

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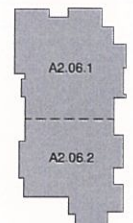
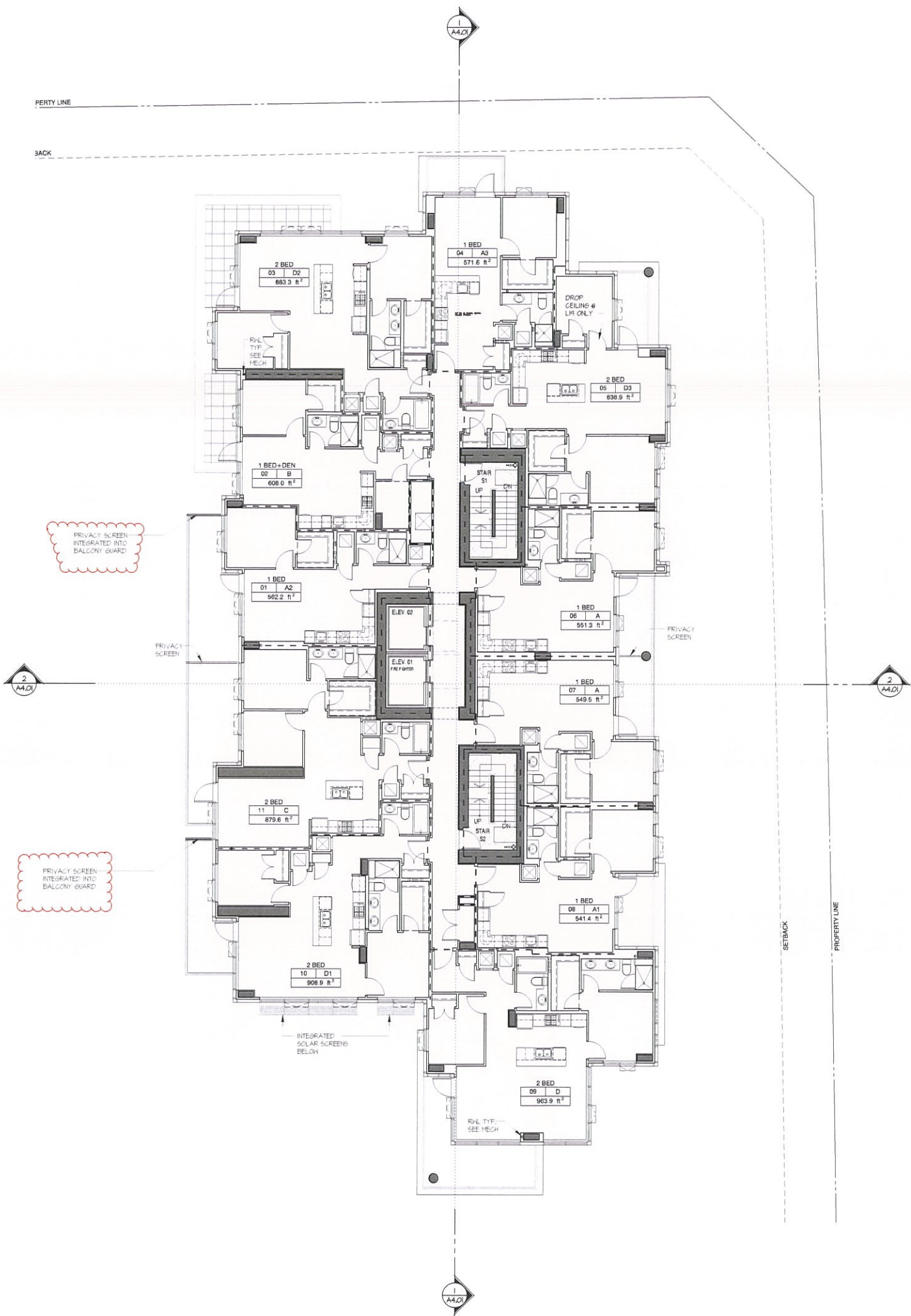
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2	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
3	2019-12-05	ISSUED FOR AUDP
4	2020-05-29	ISSUED FOR 60% BP REVIEW
5	2020-07-16	ISSUED FOR 80% BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

NO.	DATE	REVISION
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PROJECT
THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

LEVEL 3 PLAN

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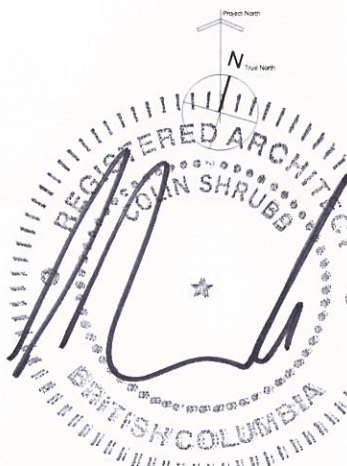
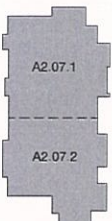
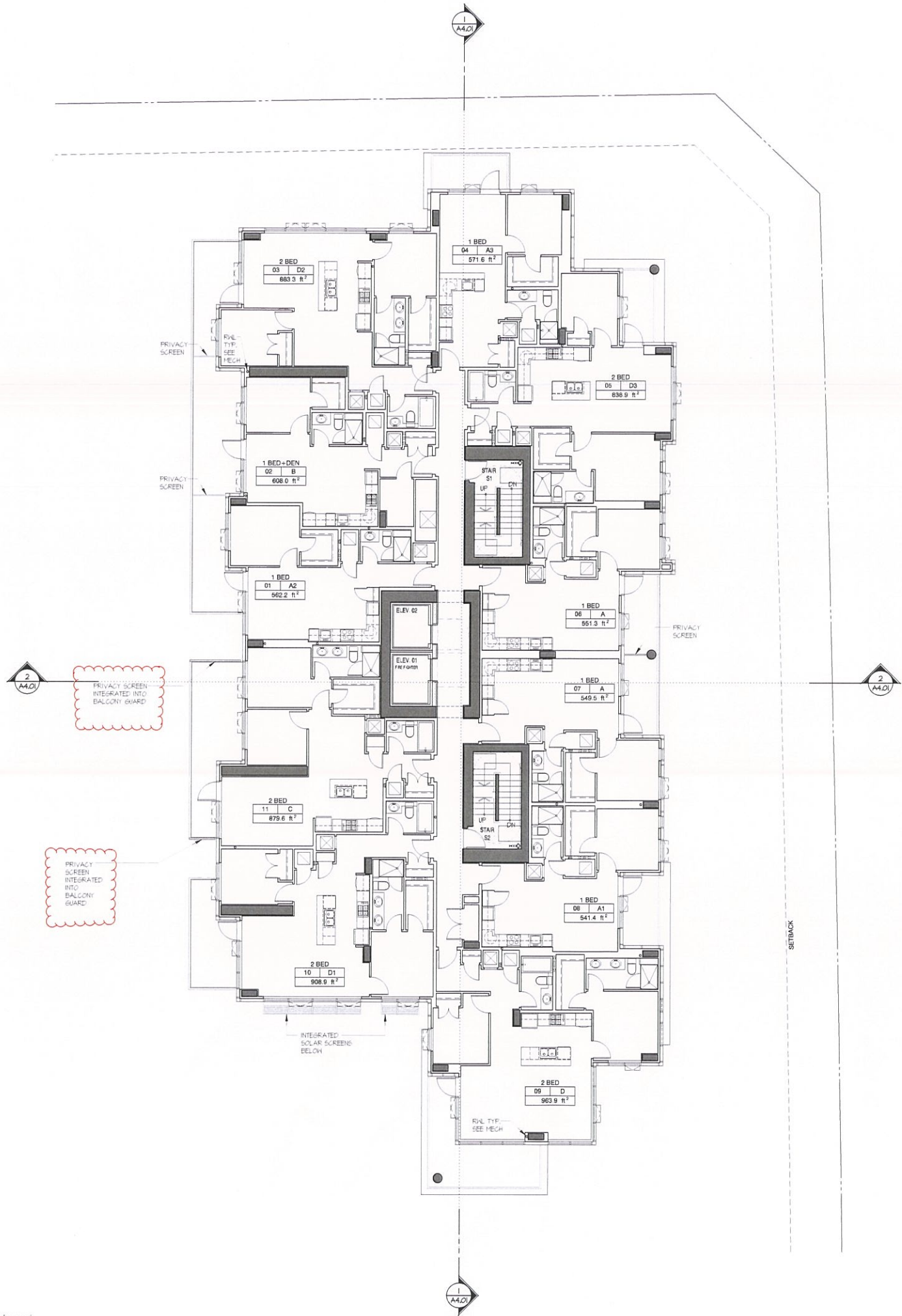
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2	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
3	2019-12-05	ISSUED FOR AUDP
4	2020-05-29	ISSUED FOR 50% BP REVIEW
5	2020-07-16	ISSUED FOR 80% BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

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PROJECT

THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

LEVEL 4,7,10,13,16,19
PLAN

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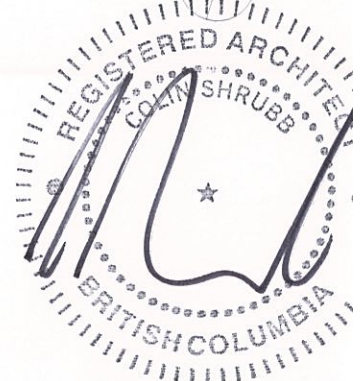
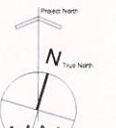
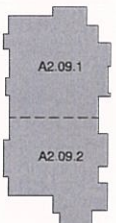
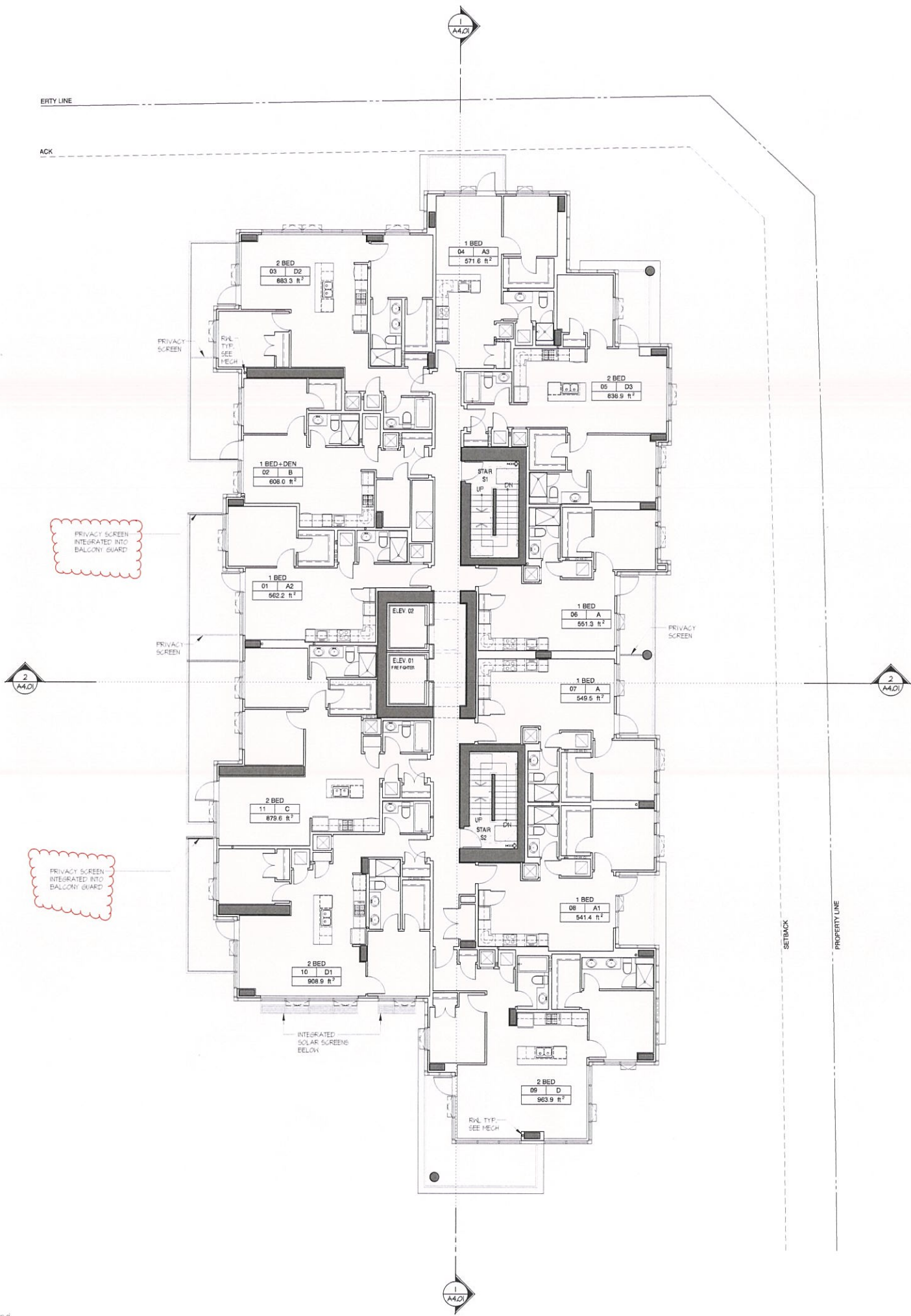


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2	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
3	2019-12-06	ISSUED FOR AUDP
4	2020-06-29	ISSUED FOR 50% BP REVIEW
5	2020-07-16	ISSUED FOR 90% BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

NO.	DATE	REVISION
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PROJECT

**THE CONSERVATORY
RESIDENTIAL TOWER**

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

**LEVEL 6,9,12,15,18
PLAN**

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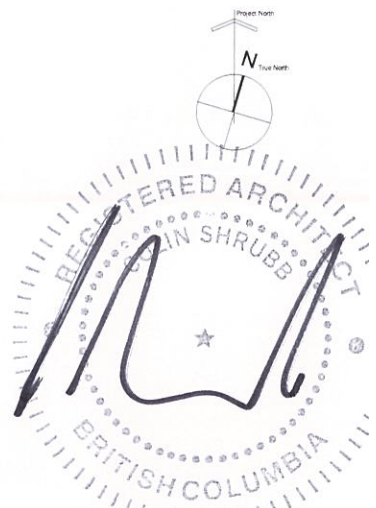
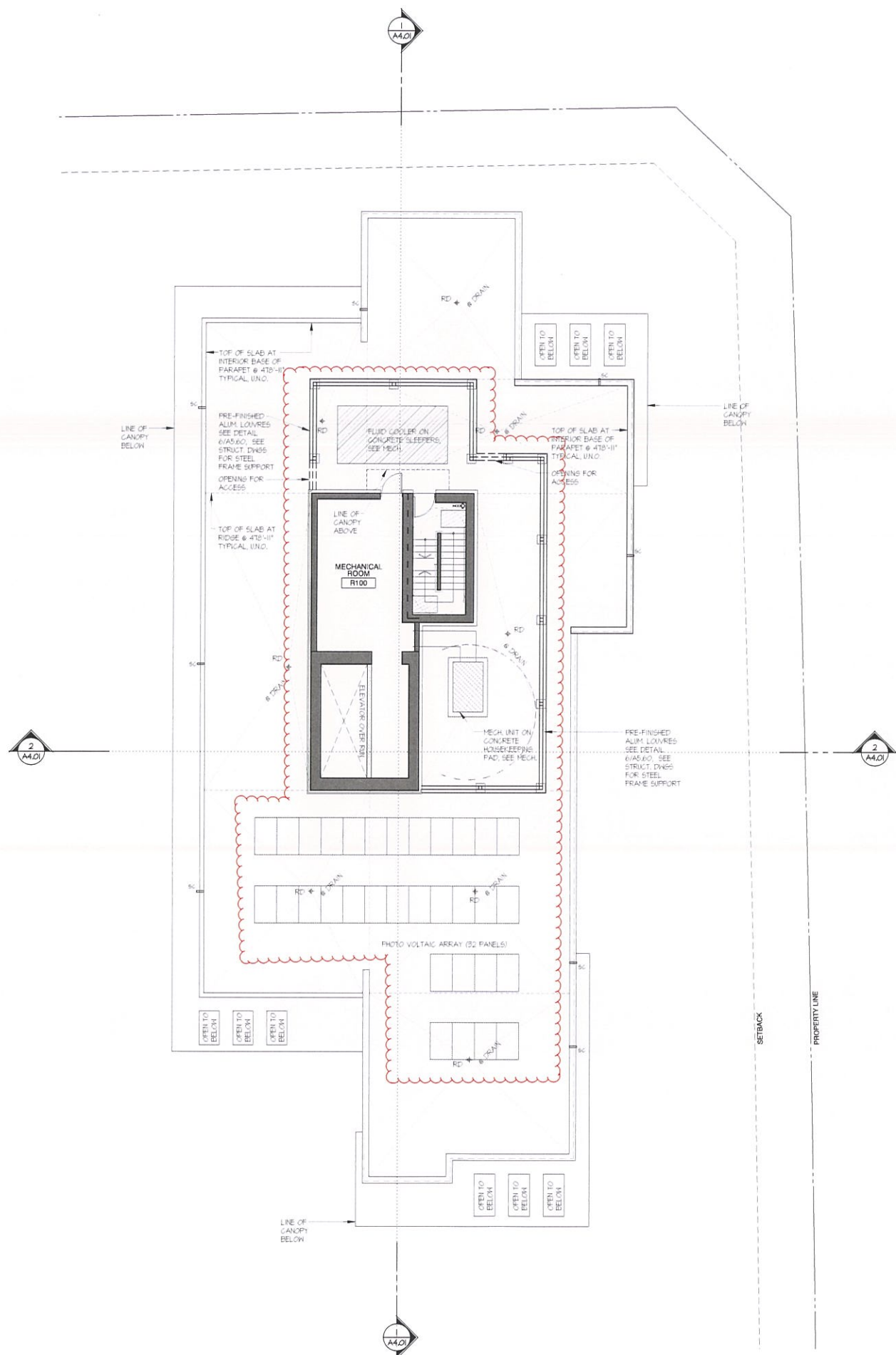
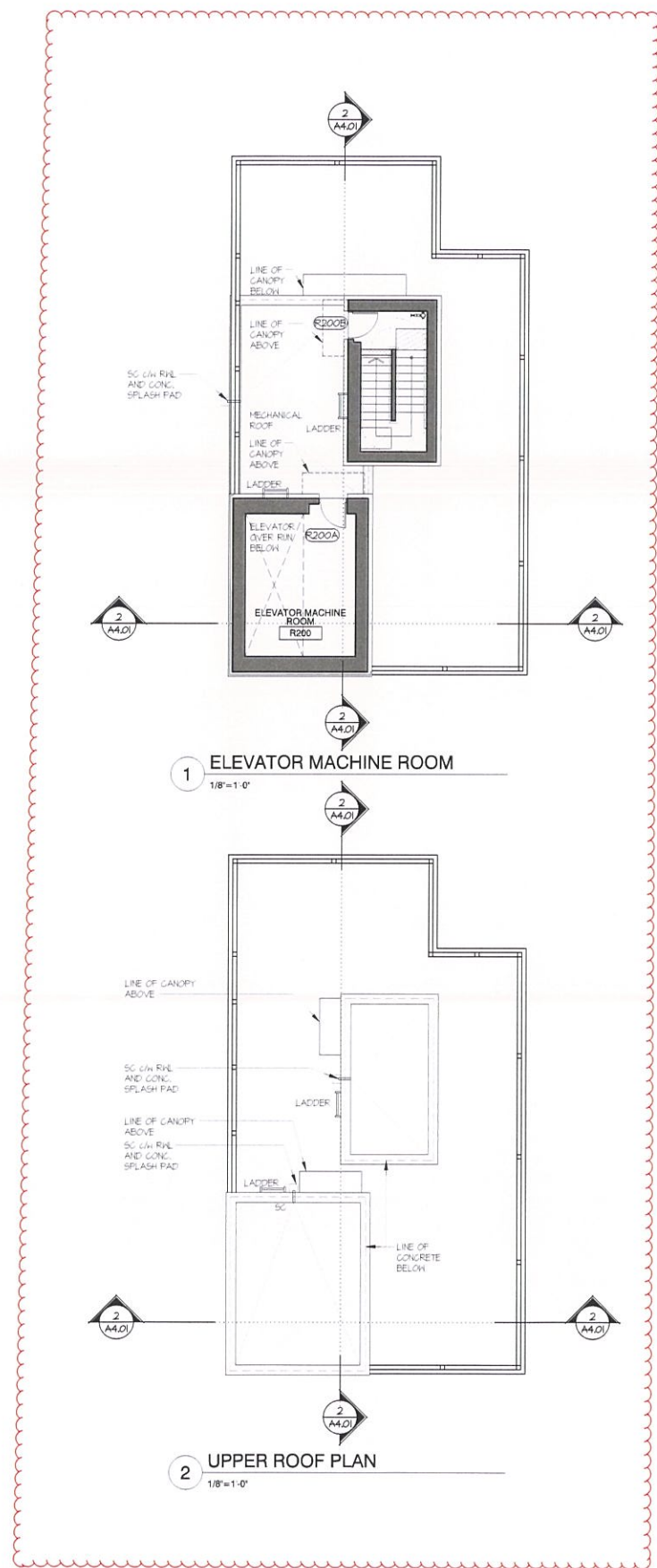
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NO.	DATE	ISSUE
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2	2019-12-05	ISSUED FOR AUP
3	2020-05-29	ISSUED FOR 50% BP REVIEW
4	2020-07-16	ISSUED FOR 90% BP REVIEW
5	2020-07-31	ISSUED FOR BUILDING PERMIT
6	2020-10-02	ISSUED FOR DP AMENDMENT

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PROJECT
**THE CONSERVATORY
RESIDENTIAL TOWER**

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

ROOF PLAN

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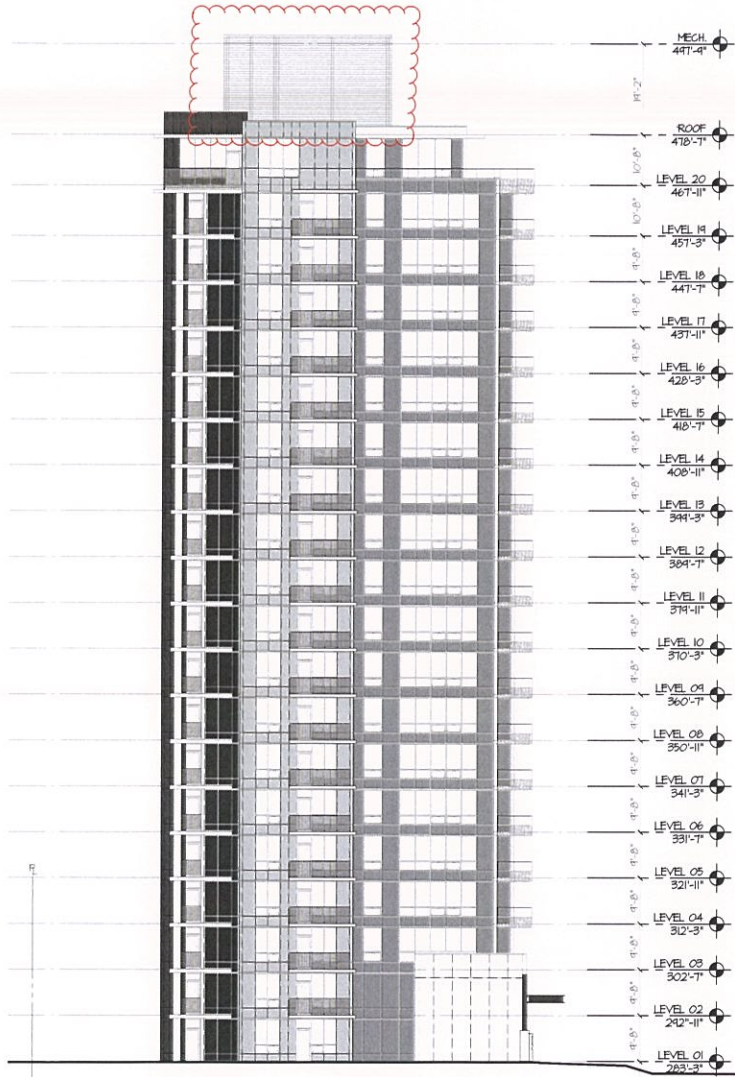
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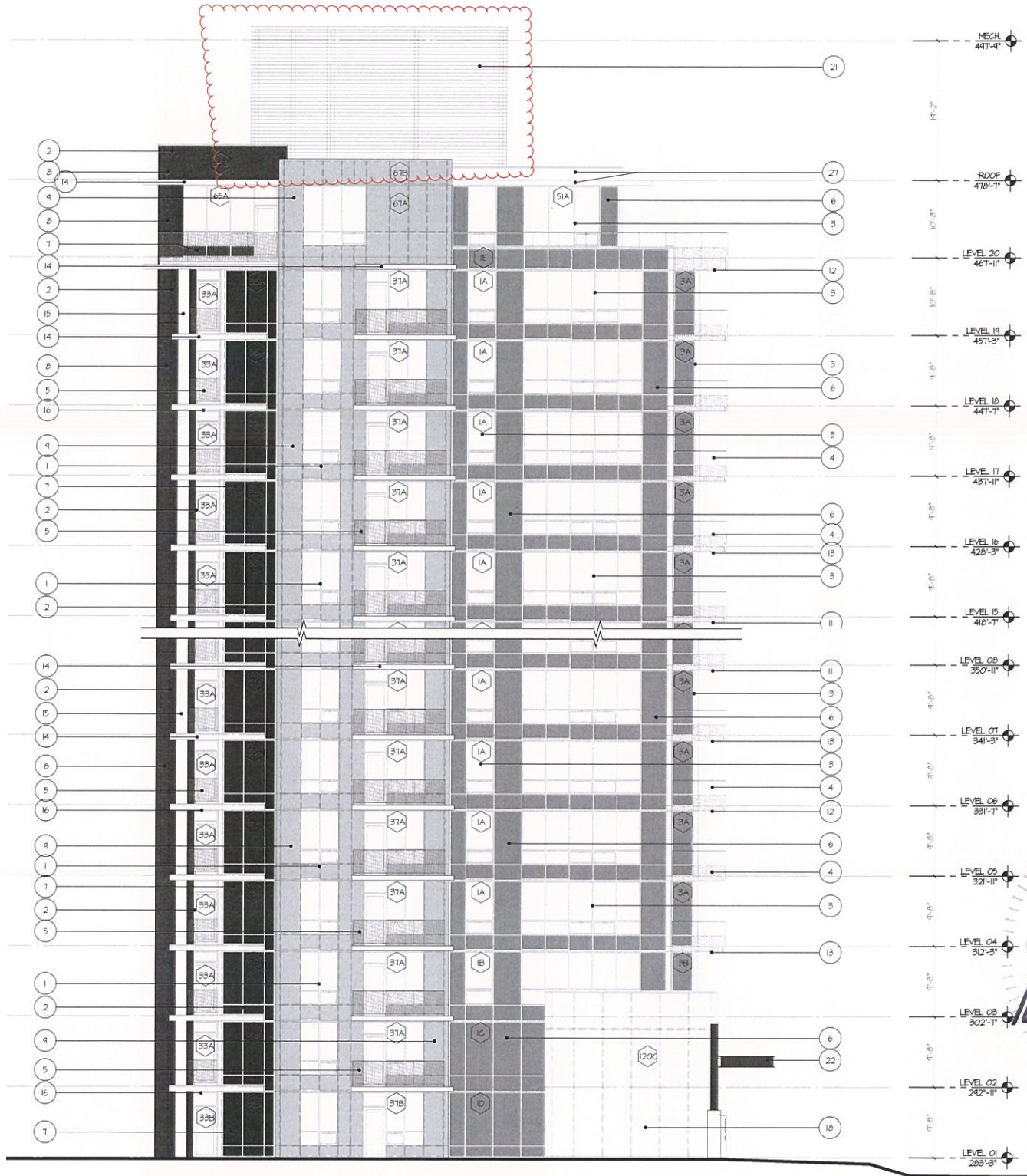


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1 NORTH ELEVATION OVERALL
1/16"=1'-0"



1 NORTH ELEVATION
1/8"=1'-0"

MATERIAL LEGEND

- NOTE: REFER TO RCP FOR LOCATION OF BALCONY SOFFIT PAINT COLOUR AS DESCRIBED BELOW (TAG 11-14):
- | | | | | | |
|--|---|--|---|---|--|
| 1 - PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (STANDARD SILVER) | 6 - GLASS SPANDREL PANEL - WHITE (REFER TO WINDOW SCHEDULE FOR SPANDREL PANEL COLOURS) | 11 - CONCRETE BALCONY SLAB 1 - 1/4" LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - DARK BLUE LATEX PAINT (BENJAMIN MOORE: COOL BLUE-2058-40)) | 15 - PAINTED CONCRETE - LIGHT GREY | 21 - MECHANICAL LOVERED SCREEN - PRE-FINISHED ALUM. LOUVRES (COLOR TO MATCH WHITE COMPOSITE ALUMINUM GLAZING PANELS ADJACENT) | 26 - BRICK - SUMMIT BRICK, ALASKAN 11 1/2" x 5 1/2" x 2 1/2", 15/16" STAGGER TO LAP AT CORNERS |
| 2 - PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (BLACK) | 7 - GLASS SPANDREL PANEL - BLACK (REFER TO WINDOW SCHEDULE FOR SPANDREL PANEL COLOURS) | 12 - CONCRETE BALCONY SLAB 2 - 1/4" LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - MED. BLUE LATEX PAINT (BENJAMIN MOORE: AQUARIUM BLUE - 2058-50)) | 16 - WOOD EFFECT ALUMINUM GLAZING PANELS & SOFFIT (LONGBOARD - LIGHT FIR) SEE RCP FOR LAYOUT | 22 - ENTRY CANOPY - CHARCOAL PAINTED STEEL AND GLASS | 27 - PAINTED CONCRETE - WHITE |
| 3 - PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (WHITE) | 8 - METAL SPANDREL PANEL - CHARCOAL (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH) | 13 - CONCRETE BALCONY SLAB 3 - 1/4" LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - LIGHT BLUE LATEX PAINT (BENJAMIN MOORE: OCEAN BREEZE - 2058-60)) | 17 - HORIZONTAL SOLAR SHADES - WHITE TO MATCH WINDOW WALL | 23 - TRELLIS OVER PARKADE ENTRY RAINF - CHARCOAL PAINTED STEEL | 28 - PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOWS) FACE MOUNTED 1/4" FRITTED TEMPERED GLASS |
| 4 - PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOWS) TOP MOUNTED 1/4" FRITTED TEMPERED GLASS | 9 - METAL SPANDREL PANEL - COPPER (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH) | 14 - CONCRETE BALCONY SLAB 4 - 1/4" LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - WHITE LATEX PAINT) | 18 - PRE-FINISHED CURTAIN WALL SYSTEM - CLEAR GLASS IN BLACK METAL FRAMES, STRUCTURAL SILICONE JOINTS AT VERTICALS, MULLION CAPS AT HORIZONTALS | 24 - COMPOSITE ALUMINUM GLAZING PANEL (ALUCOBOND-HAZELNUT HGA / GLOSS 25) | 29 - HORIZONTAL CORRUGATED TIN GLAZING, PAINTED WHITE |
| 5 - PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOWS) TOP MOUNTED 1/4" GREY TINTED TEMPERED GLASS | 10 - METAL SPANDREL PANEL - GREEN (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH) | | 19 - PRIVACY SCREENS - GLAZED 1/4" WHITE INTERLAYER IN WHITE ALUMINUM FRAMES | 25 - COMPOSITE ALUMINUM GLAZING PANEL (ALUCOBOND DIRTY CHARCOAL / PVDF 3 / GLOSS 30) | 30 - COMPOSITE ALUMINUM GLAZING PANEL (ALUCOBOND ALABASTER / PVDF 2 / GLOSS 30) |
| | | | 20 - PRIVACY SCREENS - GLAZED 1/4" GREEN INTERLAYER IN WHITE ALUMINUM FRAMES | | |



PROJECT
THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

NORTH
ELEVATION

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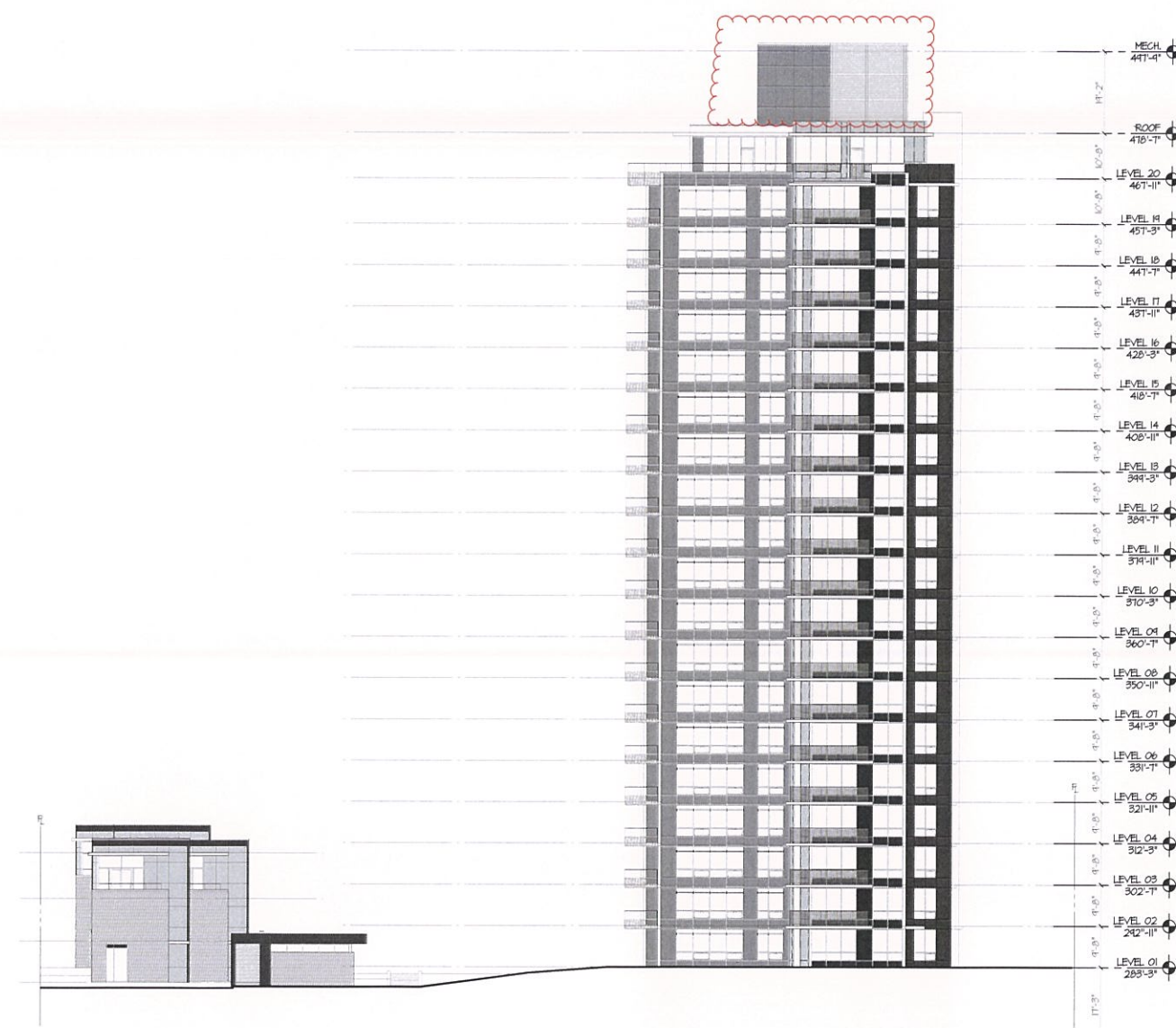
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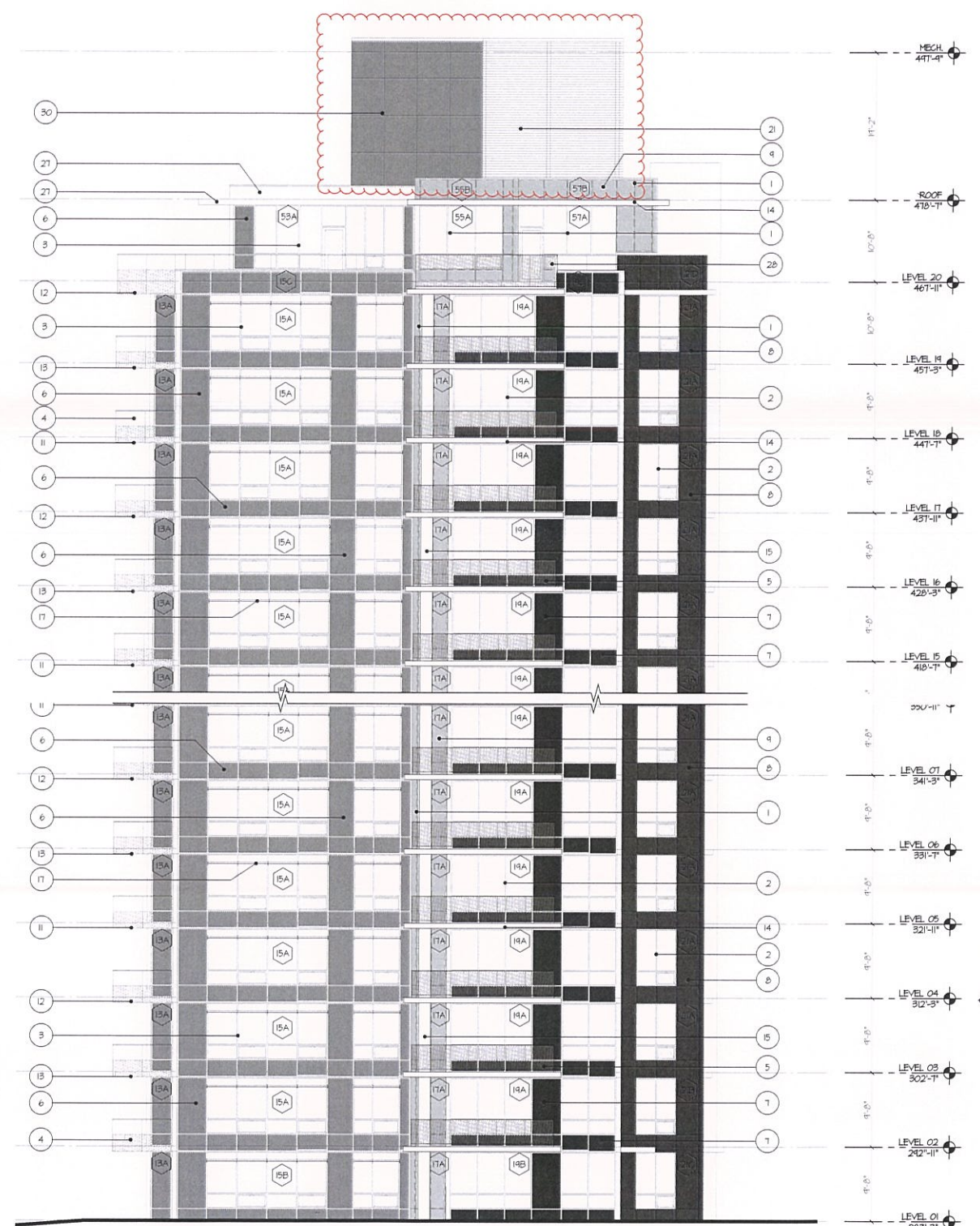


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2 SOUTH ELEVATION OVERALL
1/16"=1'-0"



2 SOUTH ELEVATION
1/8"=1'-0"

MATERIAL LEGEND

- 1 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (STANDARD SILVER)

2 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (BLACK)

3 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (WHITE)

4 PRE-FINISHED ALUMINUM GUARDRAIL (WHITE TO MATCH WINDOWS) FACE MOUNTED w/ FRITTED TEMPERED GLASS

5 PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOWS) TOP MOUNTED w/ GREY TINTED TEMPERED GLASS

6 GLASS SPANDREL PANEL - WHITE (REFER TO WINDOW SCHEDULE FOR SPANDREL PANEL COLOURS)

7 GLASS SPANDREL PANEL - BLACK (REFER TO WINDOW SCHEDULE FOR SPANDREL PANEL COLOURS)

8 METAL SPANDREL PANEL - CHARCOAL (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)

9 METAL SPANDREL PANEL - COPPER (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)

10 METAL SPANDREL PANEL - GREEN (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)
- 11 CONCRETE BALCONY SLAB 1 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - DARK BLUE LATEX PAINT (BENJAMIN MOORE: COOL BLUE-2056-40))

12 CONCRETE BALCONY SLAB 2 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - MED. BLUE LATEX PAINT (BENJAMIN MOORE: AQUARIUM BLUE - 2056-50))

13 CONCRETE BALCONY SLAB 3 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - LIGHT BLUE LATEX PAINT (BENJAMIN MOORE: OCEAN BREEZE - 2056-60))

14 CONCRETE BALCONY SLAB 4 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - WHITE LATEX PAINT)

15 PAINTED CONCRETE - LIGHT GREY

16 WOOD EFFECT ALUMINUM CLADDING PANELS & SOFFIT (LONGBOARD LIGHT FIR) SEE RCP FOR LAYOUT

17 HORIZONTAL SOLAR SHADES - WHITE TO MATCH WINDOW WALL

18 PRE-FINISHED CURTAIN WALL SYSTEM - CLEAR GLASS IN BLACK METAL FRAMES. STRUCTURAL SILICONE JOINTS AT VERTICALS. MULLION CAPS AT HORIZONTALS

19 PRIVACY SCREENS - GLAZED w/ WHITE INTERLAYER IN WHITE ALUMINUM FRAMES

20 PRIVACY SCREENS - GLAZED w/ GREEN INTERLAYER IN WHITE ALUMINUM FRAMES

21 MECHANICAL COVERED SCREEN - PRE-FINISHED ALUM. LOUVRES. COLOUR TO MATCH WHITE COMPOSITE ALUMINUM CLADDING PANELS ADJACENT

22 ENTRY CANOPY - CHARCOAL PAINTED STEEL AND GLASS

23 TRELLIS OVER PARKADE ENTRY RAMPE - CHARCOAL PAINTED STEEL

24 COMPOSITE ALUMINUM CLADDING PANEL (ALUCOBOND-HAZELNUT MICA / GLOSS 25)

25 COMPOSITE ALUMINUM CLADDING PANEL (ALUCOBOND DARTY CHARCOAL / PVDF 2 / GLOSS 30)

26 BRICK - SUMMIT BRICK, ALASKAN 1 1/2" x 5 1/2" x 2 1/2" (3rd STAGGER TO LAP AT CORNERS)

27 PAINTED CONCRETE - WHITE

28 PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOWS) FACE MOUNTED w/ GREY TINTED TEMPERED GLASS

29 HORIZONTAL CORRUGATED TIN CLADDING PAINTED WHITE

30 COMPOSITE ALUMINUM CLADDING PANEL (ALUCOBOND ALABASTER / PVDF 2 / GLOSS 30)

NOTE:
REFER TO RCP FOR LOCATION OF
BALCONY SOFFIT PAINT COLOUR AS
DESCRIBED BELOW (TAGS 11-14):



PROJECT
THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

SOUTH
ELEVATION

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PROJECT A219461
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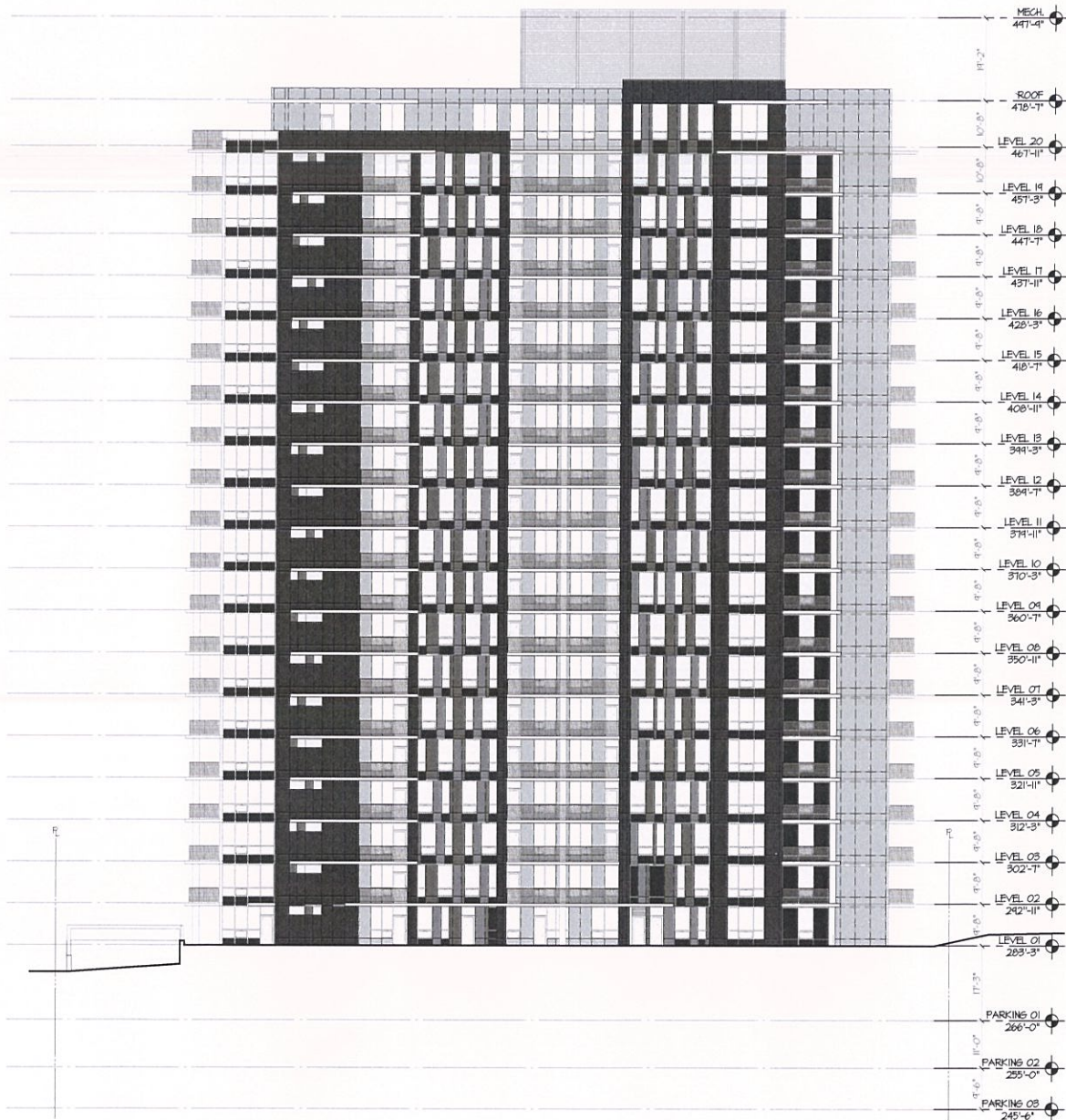
SCALE AS NOTED
DATE OCT. 02, 2020

CLIENT

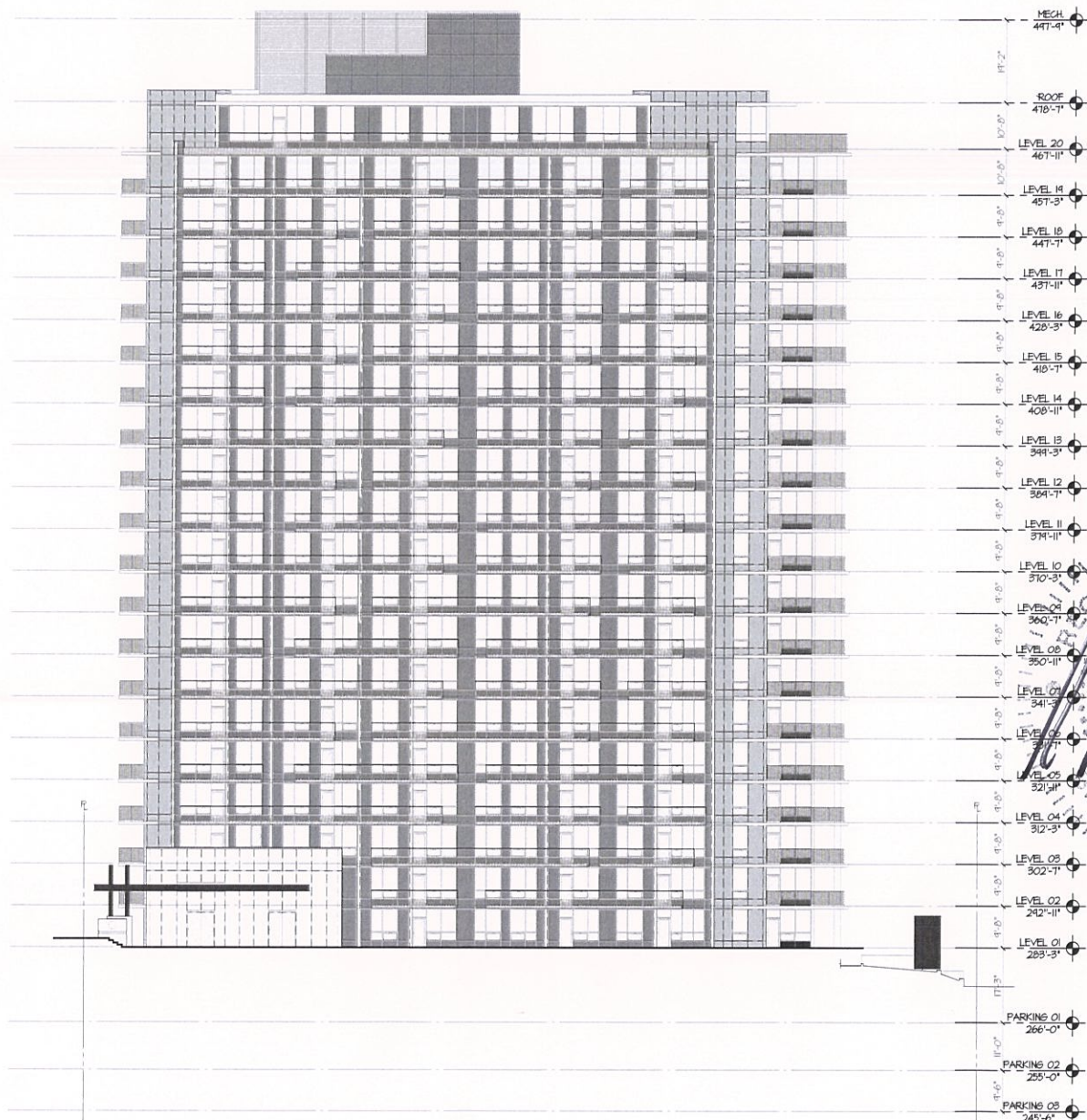


NO.	DATE	ISSUE
1	2019-10-10	ISSUED FOR PRE-APP. AUDP
2	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
3	2019-12-05	ISSUED FOR AUDP
4	2020-05-29	ISSUED FOR 90% BP REVIEW
5	2020-07-16	ISSUED FOR 90% BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

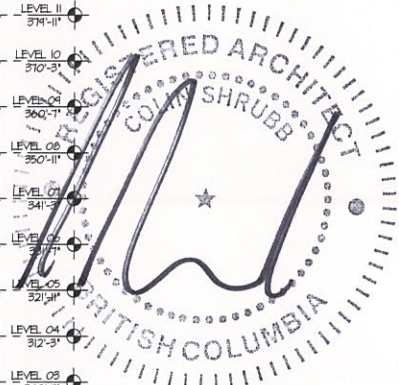
NO.	DATE	REVISION
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1 EAST ELEVATION OVERALL
1/16"=1'-0"



2 WEST ELEVATION OVERALL
1/16"=1'-0"



PROJECT
THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

EAST & WEST
ELEVATIONS
OVERALL

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SCALE 1/16"=1'-0"
DATE OCT. 02, 2020

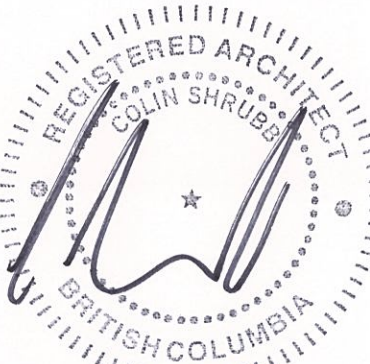
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POLYGON

NO.	DATE	ISSUE
1	2019-10-10	ISSUED FOR PRE-APP. AUDP
2	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
3	2019-12-05	ISSUED FOR AUDP
4	2020-05-29	ISSUED FOR 50% BP REVIEW
5	2020-07-16	ISSUED FOR 90% BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

NO.	DATE	REVISION
-----	------	----------



PROJECT

THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

EAST
ELEVATION

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PROJECT A219461

DRAWN

CHECKED CS

SCALE

DATE

1/8"=1'-0"

OCT. 02, 2020

A3.04

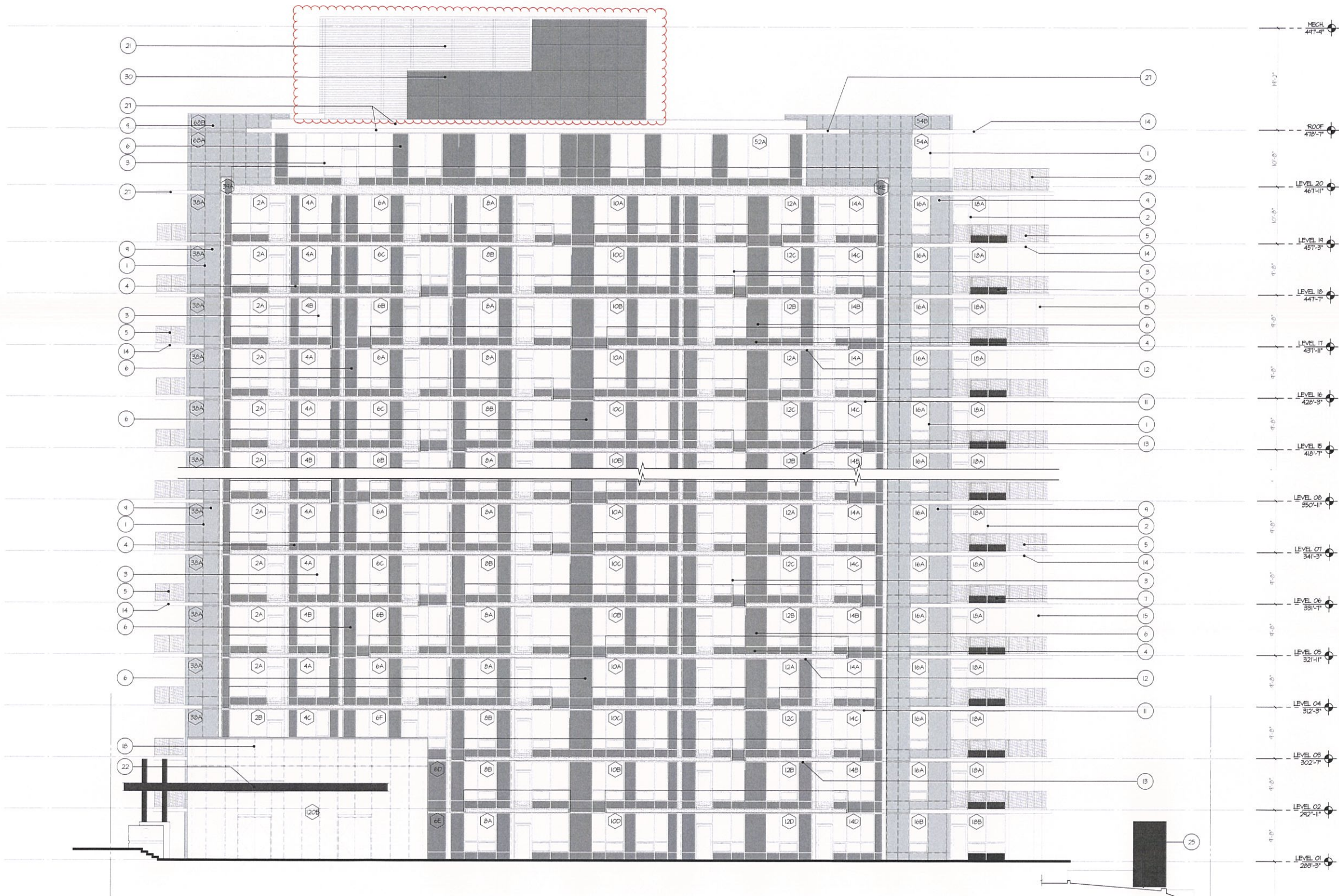
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POLYGON

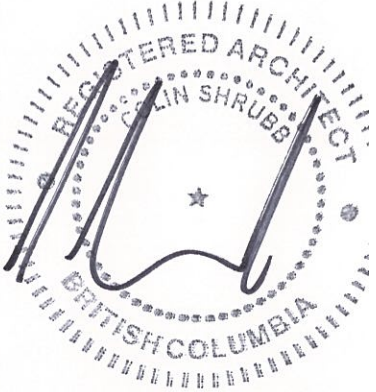
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1	2019-10-10	ISSUED FOR PRE-APP. AUDP
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5	2020-07-16	ISSUED FOR 90% BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

NO.	DATE	REVISION
-----	------	----------



MATERIAL LEGEND

- NOTE: REFER TO RCP FOR LOCATION OF BALCONY SOFFIT PAINT COLOUR AS DESCRIBED BELOW (TAGS 11-14):
- 1 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (STANDARD SILVER)
 - 2 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (BLACK)
 - 3 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (WHITE)
 - 4 PRE-FINISHED ALUMINUM GUARDRAIL (WHITE TO MATCH WINDOWS) FACE MOUNTED, 1/4\"



PROJECT
THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

WEST
ELEVATION

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PROJECT A219461
DRAWN CHECKED CS

SCALE 1/8\"

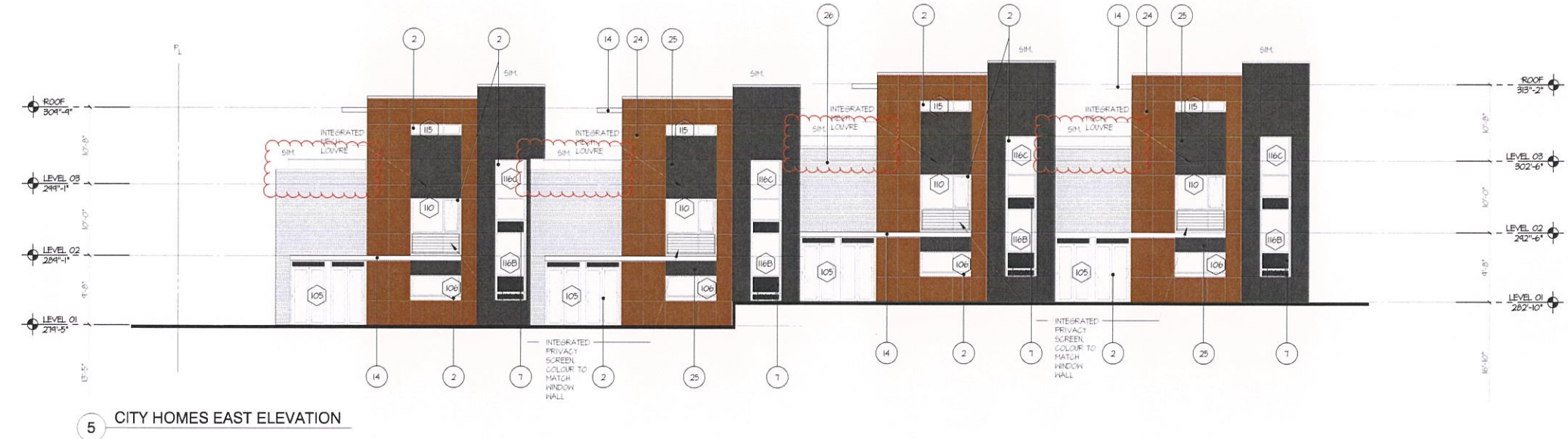
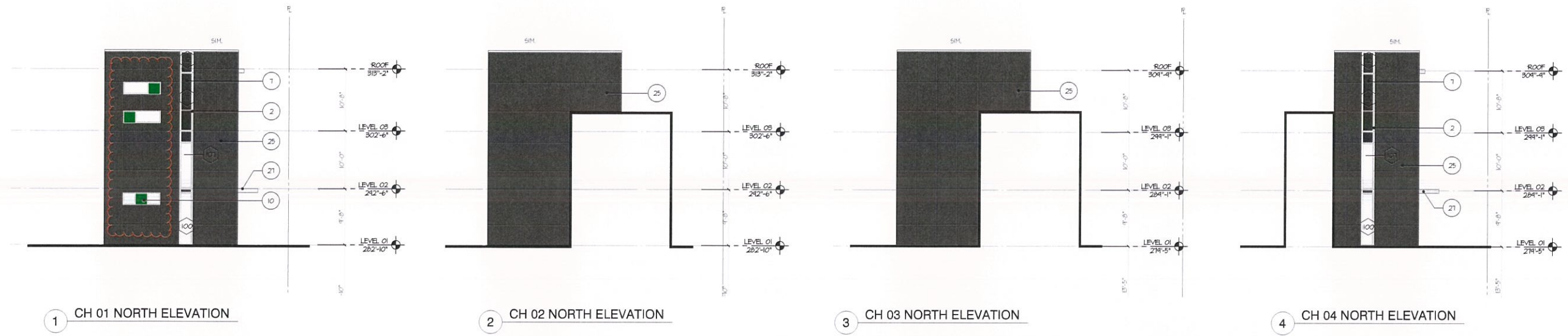
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CLIENT

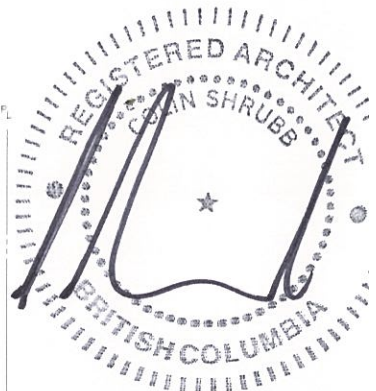


NO.	DATE	ISSUE
1	2019-10-10	ISSUED FOR PRE-APP AUDP
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6	2020-10-02	ISSUED FOR DP AMENDMENT

NO.	DATE	REVISION
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MATERIAL LEGEND			
1	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (STANDARD SILVER)	6	GLASS SPANDREL PANEL - WHITE (REFER TO WINDOW SCHEDULE FOR SPANDREL PANEL COLOURS)
2	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (BLACK)	7	GLASS SPANDREL PANEL - BLACK (REFER TO WINDOW SCHEDULE FOR SPANDREL PANEL COLOURS)
3	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (WHITE)	8	METAL SPANDREL PANEL - CHARCOAL (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)
4	PRE-FINISHED ALUMINUM GUARDRAIL (WHITE TO MATCH WINDOWS) FACE MOUNTED w/ FRITTED TEMPERED GLASS	9	METAL SPANDREL PANEL - COPPER (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)
5	PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOWS) TOP MOUNTED w/ GREY TINTED TEMPERED GLASS	10	METAL SPANDREL PANEL - GREEN (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)
11	CONCRETE BALCONY SLAB 1 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - DARK BLUE LATEX PAINT (BENJAMIN MOORE: COOL BLUE-2058-40))	15	PAINTED CONCRETE - LIGHT GREY
12	CONCRETE BALCONY SLAB 2 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - MED. BLUE LATEX PAINT (BENJAMIN MOORE: AQUARIUM BLUE - 2058-30))	16	WOOD EFFECT ALUMINUM GLAZING PANELS & SOFFIT (LONGBOARD - LIGHT FIR) SEE RUP FOR LAYOUT
13	CONCRETE BALCONY SLAB 3 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - LIGHT BLUE LATEX PAINT (BENJAMIN MOORE: OCEAN BREEZE - 2058-40))	17	HORIZONTAL SOLAR SHADES - WHITE TO MATCH WINDOW WALL
14	CONCRETE BALCONY SLAB 4 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY) (SOFFIT - WHITE LATEX PAINT)	18	PRE-FINISHED CURTAIN WALL SYSTEM - CLEAR GLASS IN BLACK METAL FRAMES. STRUCTURAL SILICONE JOINTS AT VERTICALS. MULLION CAPS AT HORIZONTALS
		19	PRIVACY SCREENS - GLAZED w/ WHITE INTERLAYER IN WHITE ALUMINUM FRAMES
		20	PRIVACY SCREENS - GLAZED w/ GREEN INTERLAYER IN WHITE ALUMINUM FRAMES
		21	MECHANICAL LOUVERED SCREEN - PRE-FINISHED ALUM. LOUVRES COLOR TO MATCH WHITE COMPOSITE ALUMINUM GLAZING PANELS ADJACENT
		22	ENTRY CANOPY - CHARCOAL PAINTED STEEL AND GLASS
		23	TRELLIS OVER PARKADE ENTRY FRAME - CHARCOAL PAINTED STEEL
		24	COMPOSITE ALUMINUM GLAZING PANEL (ALUCOBOND-HAZELNUT MICA / GLOSS 25)
		25	COMPOSITE ALUMINUM GLAZING PANEL (ALUCOBOND DUSTY CHARCOAL / PVDF 3 / GLOSS 30)
		26	BRICK - SUMMIT BRICK, ALASKAN 11 1/2" x 5 1/2" x 2 1/2" (9x3 STASSER TO LAP AT CORNERS)
		27	PAINTED CONCRETE - WHITE
		28	PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOWS) FACE MOUNTED w/ GREY TINTED TEMPERED GLASS
		29	HORIZONTAL CORRUGATED TIN GLAZING PAINTED WHITE
		30	COMPOSITE ALUMINUM GLAZING PANEL (ALUCOBOND ALABASTER / PVDF 2 / GLOSS 30)



PROJECT
**THE CONSERVATORY
RESIDENTIAL TOWER**

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

**CITY HOME
ELEVATIONS**

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PROJECT A219461
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SCALE 1/8"=1'-0"
DATE OCT. 02, 2020

A3.06

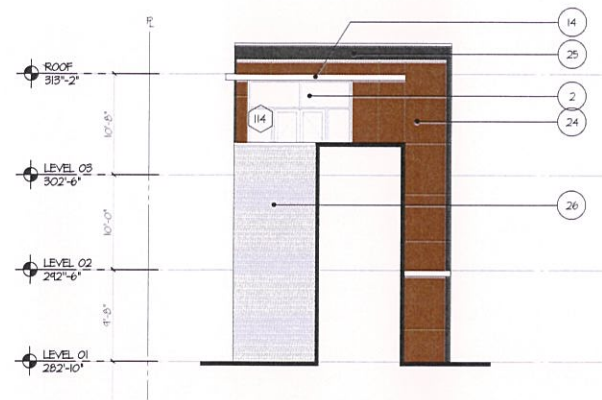
CLIENT



POLYGON

NO.	DATE	ISSUE
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2	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
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5	2020-07-16	ISSUED FOR 90% BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

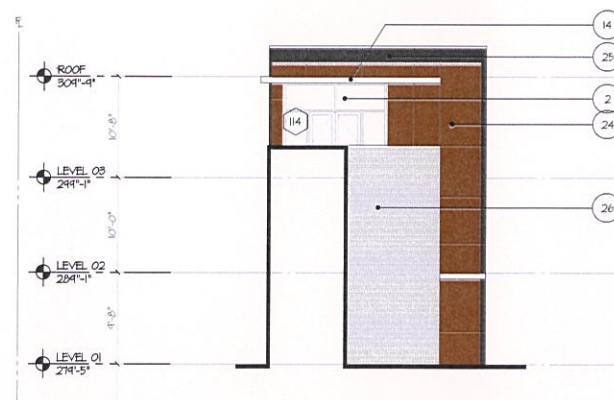
NO.	DATE	REVISION
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1 CH 01 SOUTH ELEVATION



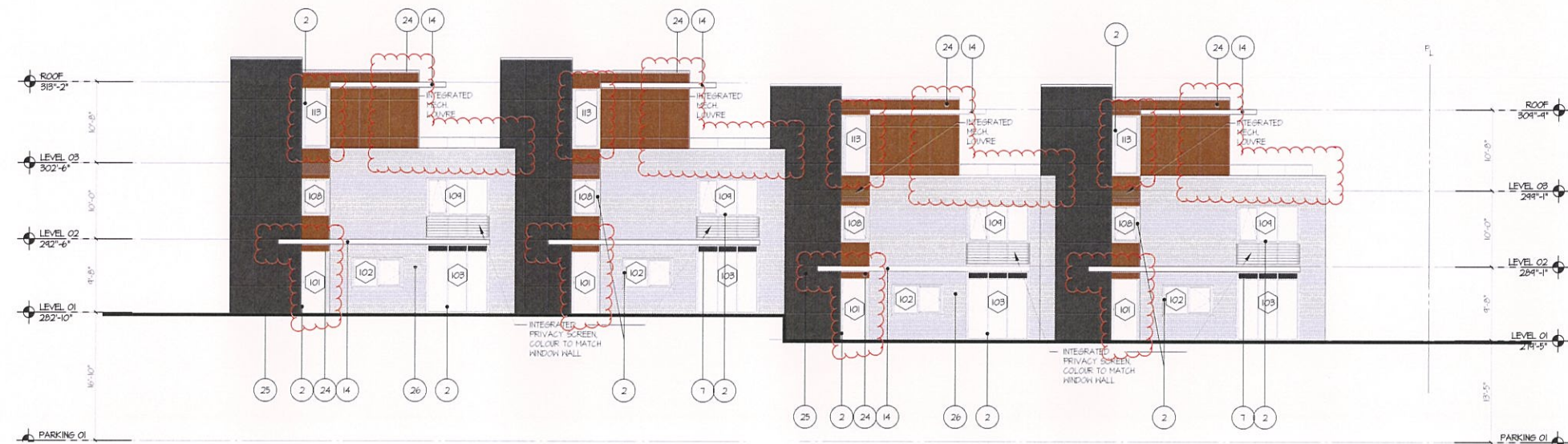
2 CH 02 SOUTH ELEVATION



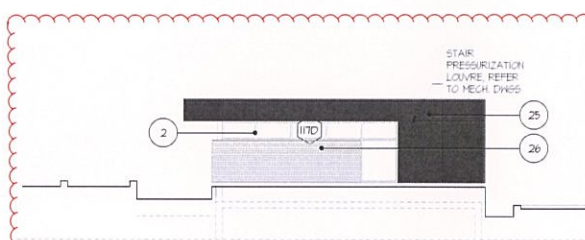
3 CH 03 SOUTH ELEVATION



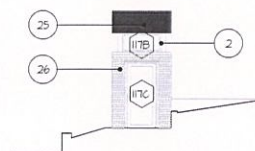
4 CH 04 SOUTH ELEVATION



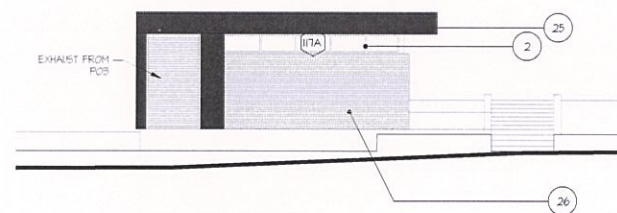
5 CITY HOMES WEST ELEVATION



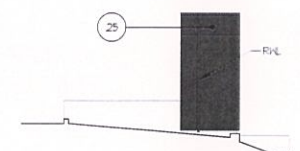
6 STAIR P3 NORTH ELEVATION



7 STAIR P3 EAST ELEVATION



8 STAIR P3 SOUTH ELEVATION



9 STAIR P3 WEST ELEVATION

MATERIAL LEGEND

- 1 PRE-FINISHED ALUMINUM WINDOW HALL SYSTEM (STANDARD SILVER)
- 2 PRE-FINISHED ALUMINUM WINDOW HALL SYSTEM (BLACK)
- 3 PRE-FINISHED ALUMINUM WINDOW HALL SYSTEM (WHITE)
- 4 PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOW FACE MOUNTED) w/ FRITTED TEMPERED GLASS
- 5 PRE-FINISHED ALUMINUM GUARDRAIL (WHITE TO MATCH WINDOW FACE MOUNTED) w/ FRITTED TEMPERED GLASS

- 6 GLASS SPANDREL PANEL - WHITE (REFER TO WINDOW SCHEDULE FOR SPANDREL PANEL COLOURS)
- 7 GLASS SPANDREL PANEL - BLACK (REFER TO WINDOW SCHEDULE FOR SPANDREL PANEL COLOURS)
- 8 METAL SPANDREL PANEL - CHARCOAL (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)
- 9 METAL SPANDREL PANEL - COPPER (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)
- 10 METAL SPANDREL PANEL - GREEN (REFER TO WINDOW SCHEDULE FOR SPANDREL COLOURS & DEPTH)

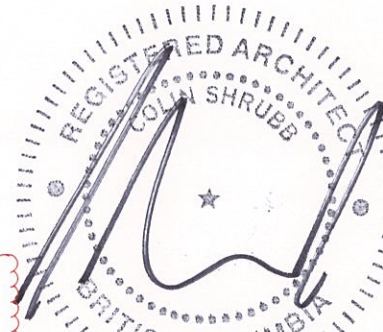
NOTE:
REFER TO RCP FOR LOCATION OF BALCONY SOFFIT PAINT COLOUR AS DESCRIBED BELOW (TAGS 11-14):

- 11 CONCRETE BALCONY SLAB 1 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY)
- 12 CONCRETE BALCONY SLAB 2 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY)
- 13 CONCRETE BALCONY SLAB 3 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY)
- 14 CONCRETE BALCONY SLAB 4 - w/ LIQUID APPLIED WATERPROOFING MEMBRANE (TOP - STANDARD LIGHT GREY)

- 15 PAINTED CONCRETE - LIGHT GREY
- 16 WOOD EFFECT ALUMINUM CLADDING PANELS w/ SOFFIT LONGBOARD - LIGHT GRAY SEE RCP FOR LAYOUT
- 17 HORIZONTAL SOLAR SHADES - WHITE TO MATCH WINDOW HALL
- 18 PRE-FINISHED CURTAIN WALL SYSTEM - CLEAR GLASS IN BLACK METAL FRAMES, STRUCTURAL SILICONE JOINTS AT VERTICALS, MULLION CAPS AT HORIZONTALS
- 19 PRIVACY SCREENS - GLAZED w/ WHITE INTERLAYER IN WHITE ALUMINUM FRAMES
- 20 PRIVACY SCREENS - GLAZED w/ GREEN INTERLAYER IN WHITE ALUMINUM FRAMES

- 21 MECHANICAL LOUVERED SCREEN - PRE-FINISHED ALUM. LOUVRES COLOUR TO MATCH WHITE COMPOSITE ALUMINUM CLADDING PANELS ADJACENT
- 22 ENTRY CANOPY - CHARCOAL PAINTED STEEL AND GLASS
- 23 TRELLIS OVER PARKADE ENTRY RAMPE - CHARCOAL PAINTED STEEL
- 24 COMPOSITE ALUMINUM CLADDING PANEL (ALUCOBOND-HAZELNUT MICA / GLOSS 25)
- 25 COMPOSITE ALUMINUM CLADDING PANEL (ALUCOBOND DUSTY CHARCOAL / PVDF 2 / GLOSS 30)

- 26 BRICK - SUMMIT BRICK, ALASKAN 1 1/2" x 3 1/2" x 2 1/2" 1/8" STAGGER TO LAP AT CORNERS
- 27 PAINTED CONCRETE - WHITE
- 28 PRE-FINISHED ALUMINUM GUARDRAIL (BLACK TO MATCH WINDOW FACE MOUNTED) w/ FRITTED TEMPERED GLASS
- 29 HORIZONTAL CORRUGATED TIN CLADDING PAINTED WHITE
- 30 COMPOSITE ALUMINUM CLADDING PANEL (ALUCOBOND ALABASTER / PVDF 2 / GLOSS 30)



PROJECT

THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

CITY HOME &
STAIR P3
ELEVATIONS

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PROJECT A219461

DRAWN

CHECKED CS

SCALE

1/8"=1'-0"

DATE

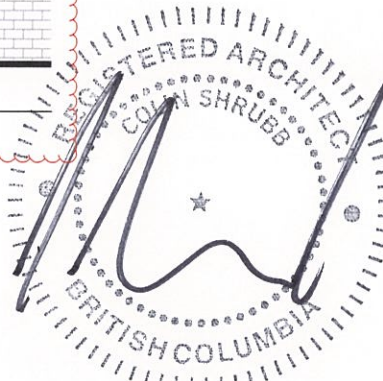
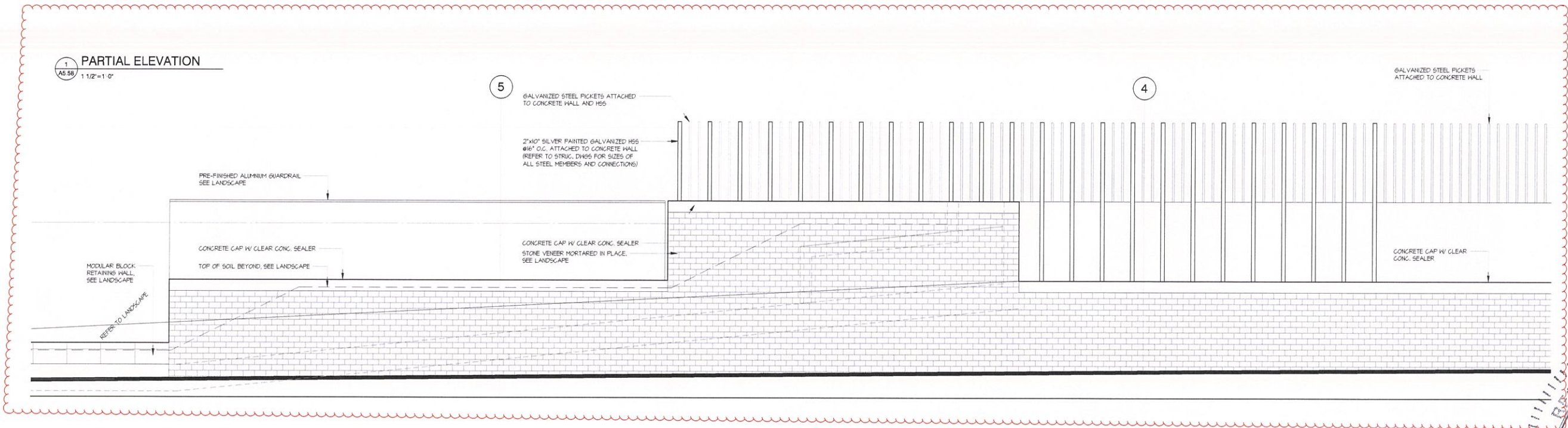
OCT. 02, 2020

CLIENT



NO.	DATE	ISSUE
5	2020-07-16	ISSUED FOR 90% BP REVIEW
6	2020-10-02	ISSUED FOR DP AMENDMENT

NO.	DATE	REVISION
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PROJECT

THE CONSERVATORY
RESIDENTIAL TOWER

5608 BERTON AVENUE
VANCOUVER, BC (UBC)

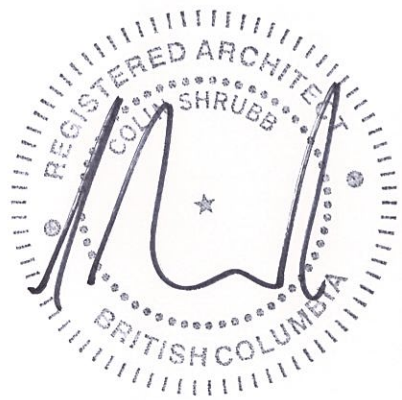
SECTION
DETAILS

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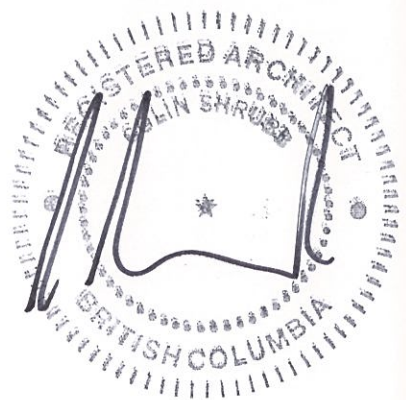
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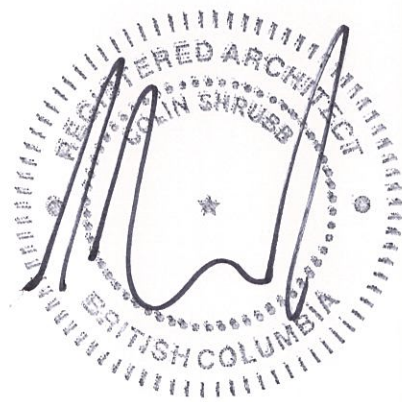
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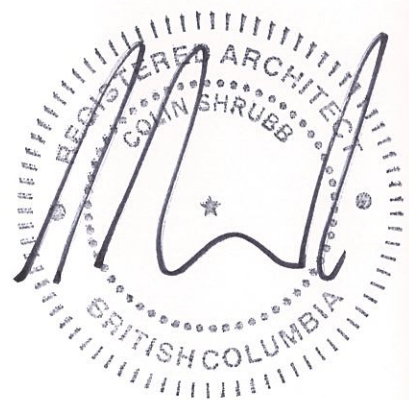
SCALE AS NOTED
DATE OCT. 02, 2020















PACIFIC SPIRIT
REGIONAL PARK

BERTON AVENUE

PACIFIC SPIRIT
REGIONAL PARK

BINNING ROAD

KHORANA PARK

PROJECT NAME
UBC LOT 5 WESBROOK PLACE

CIVIC ADDRESS
5728 Berton Avenue

DRAWING CONTENTS

L0.00	COVER
L0.01	PRECEDENT IMAGES
L0.02	TREE MANAGEMENT PLAN
L0.03	TREE REPLACEMENT PLAN
L1.01	LAYOUT AND MATERIALS PLAN
L2.01	GRADING PLAN
L3.01	PLANT LIST
L3.02	PLANTING PLAN
L4.01	LIGHTING PLAN
L5.01	IRRIGATION PLAN
L6.01	SECTIONS
L6.02	SECTIONS

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
2	2019-11-27	ISSUED FOR ALDP
3	2020-01-06	DEVELOPMENT PERMIT BOARD SUBMISSION
4	2020-02-10	RE-ISSUED FOR DEVELOPMENT PERMIT
5	2020-03-01	ISSUED FOR PRICING
6	2020-05-29	ISSUED FOR 50% BP
7	2020-07-16	ISSUED FOR 80% BP
8	2020-10-29	ISSUED FOR DPMA
9	2020-10-29	ISSUED FOR TENDER

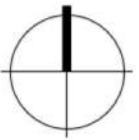
PROJECT
THE CONSERVATORY
UBC LOT 5
WESBROOK PLACE

ADDRESS
5608 Berton Avenue,
Vancouver BC


DRAWING TITLE
COVER

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NORTH



SCALE



PROJECT NO.	19037
DATE	November 2019
FILE NAME	19037 PLAN.vwx
PLOTTED	20-10-29
DRAWN	MB, EW
REVIEWED	BH

DRAWING

L0.00

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
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7	2020-07-16	ISSUED FOR 90% BP
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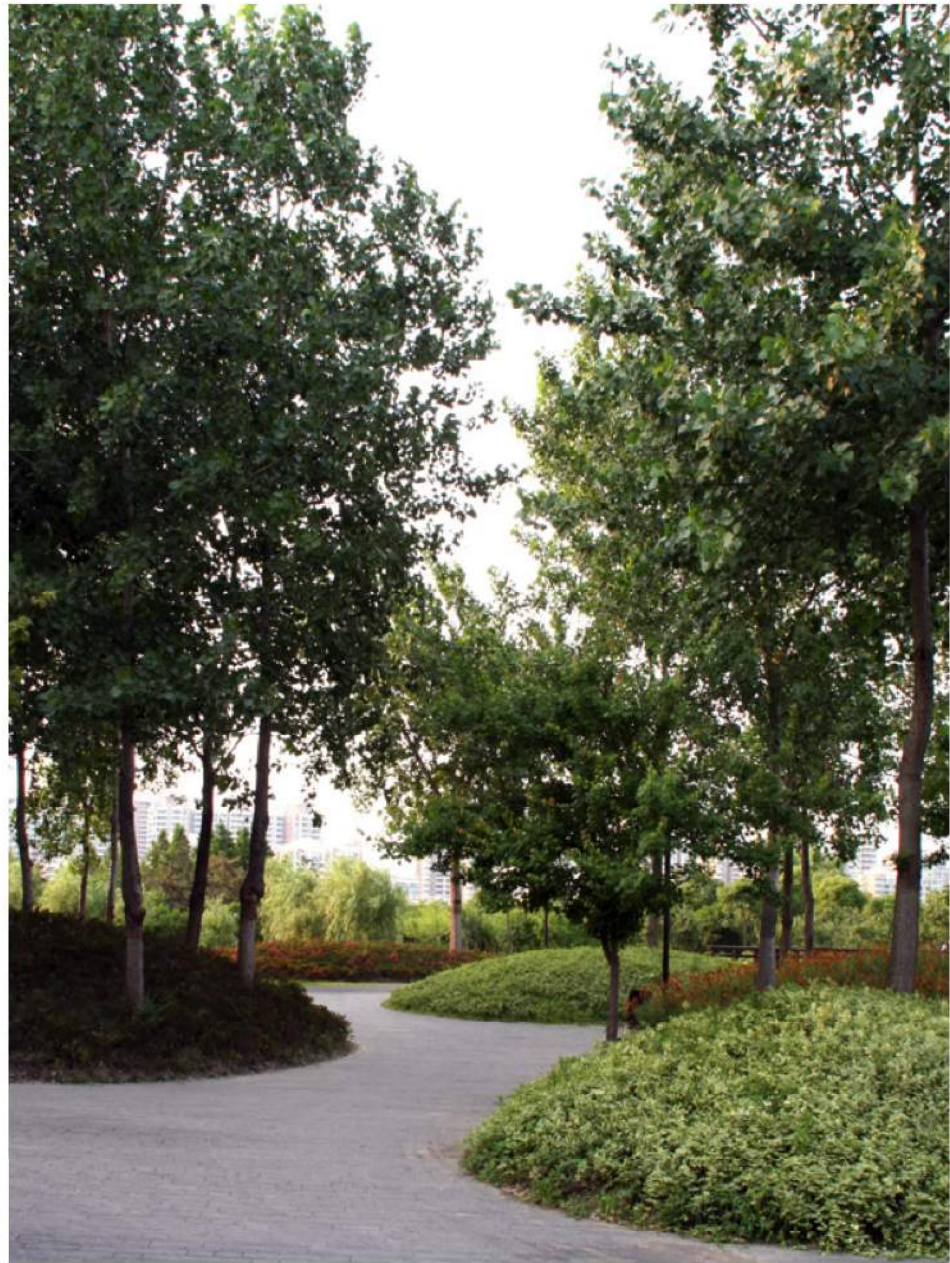
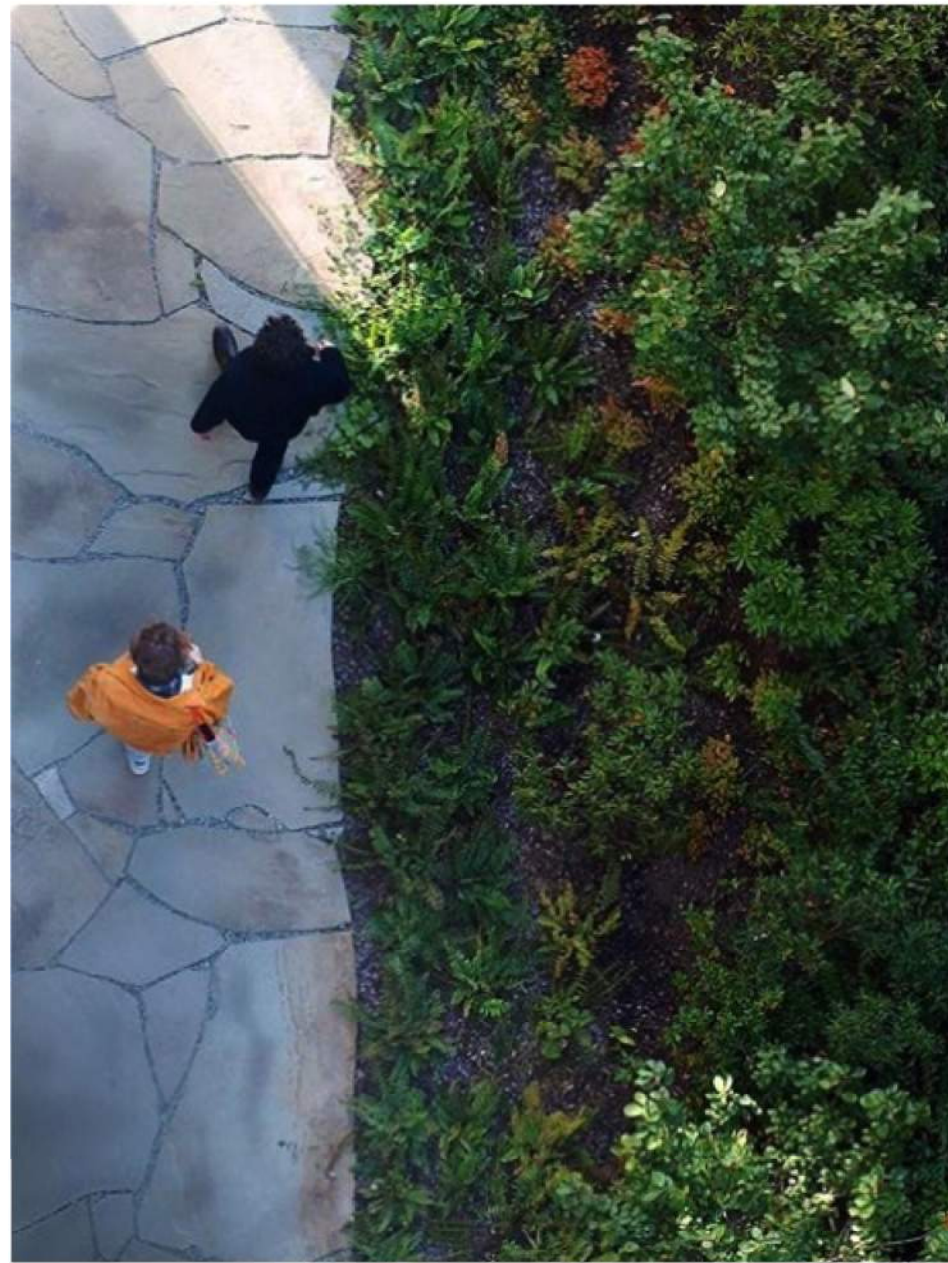
ENTRY + PUBLIC PLAZAS



BRENT COMBER PUBLIC ART AT NORTH-EAST CORNER



PRIVATE COURTYARD AMENITY



DESIGN RATIONALE

OVERALL INTENT: CAPTURING THE SUBSTANCE OF PACIFIC SPIRIT PARK

- Displaying proportional resiliency and ecological value through masses of hardy plantings.
- Borrowing aesthetic from the park with bermed coniferous tree groves as focal points.
- Extending the naturalized park into the amenity space with curvilinear beds that carve out a "clearing in the forest".
- Intersecting and overlapping the built and natural environment to create a perceivable juxtaposition.

PUBLIC ENTRY

- The entry plaza is designed to engage public users along Berton Avenue. A bermed plant bed with coniferous planting provides a sense of discovery and interest. Seating is provided in a diversity of forms: benches, lounge chairs and a seat wall protruding from the berm.
- The entry plaza provides an experiential accessible passage to the main entry at The Conservatory tower.
- The public entry plaza is delineated from the private amenity courtyard by densely vegetated plant beds and coniferous trees; thus allowing a partially buffered view into the courtyard space.

PUBLIC PLAZA AT NORTH EAST CORNER

- At the corner of Berton Avenue and Binning Road a public amenity space is provided. This plaza acts as an extension of the public realm, as it welcomes users approaching The Conservatory through the Pacific Spirit Trail to the North and East.
- To further activate the space and celebrate Pacific Spirit Park, public art by Brent Combers is proposed. The piece will be derived from and inspired by reclaimed timber from the site.

PRIVATE COURTYARD AMENITY

- The private courtyard is made up of three predominate spaces.
- The first outdoor space lands just outside the indoor amenity. A rectilinear patio area provides lounge seating for passive use and a co-working table equipped with outlets and electronic charging stations
- The second is a lush lawn area encompassed by a flagstone path. The lawn area provides opportunity for informal recreation and play. Bermed plant beds on the West side of the courtyard are intersected by a pathway. Corten steel retaining walls support the bermed grade on either side of the path, creating a more dynamic walking experience.
- These flagstone paths lead toward a secondary patio space. The rectilinear patio is covered by a metal pergola structure that expresses the architectural form of the cantilevered entry awning. A sense of enclosure is created from within the space by surrounding bermed plant beds, while views onto the lawn are maintained. Benches and lounge chairs are provided to encourage rest and passive use of the space.

CITY HOME STREET FRONTAGE



TOWER STREET FRONTAGE



PROJECT

THE CONSERVATORY UBC LOT 5 WESBROOK PLACE

ADDRESS

5608 Berton Avenue,
Vancouver BC

DRAWING TITLE

PRECEDENT IMAGES

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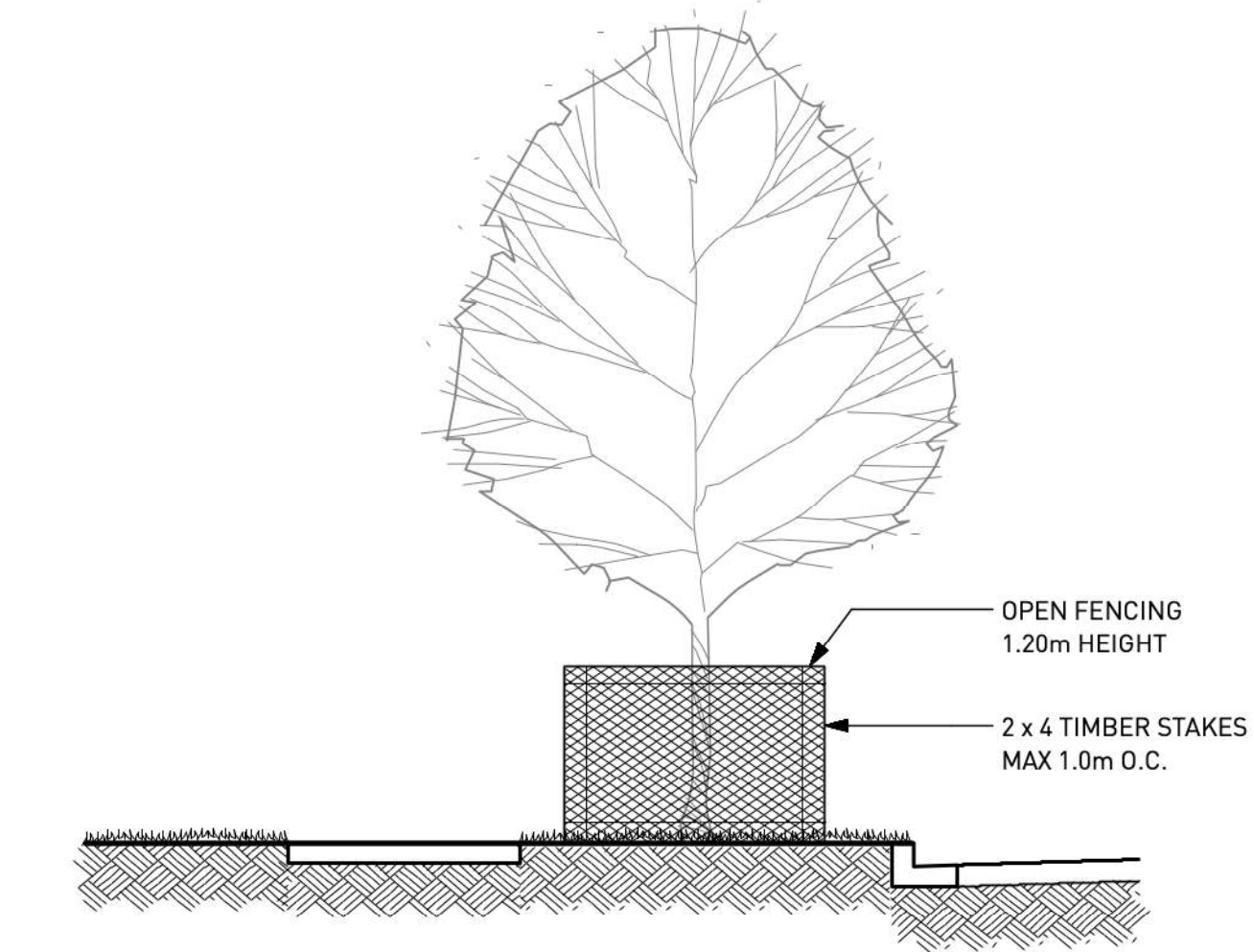
NORTH	SCALE
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PROJECT NO.	19037
DATE	November 2019
FILE NAME	19037 PLAN.vwx
PLOTTED	20-10-29
DRAWN	MB, EW
REVIEWED	BH

DRAWING

L0.01

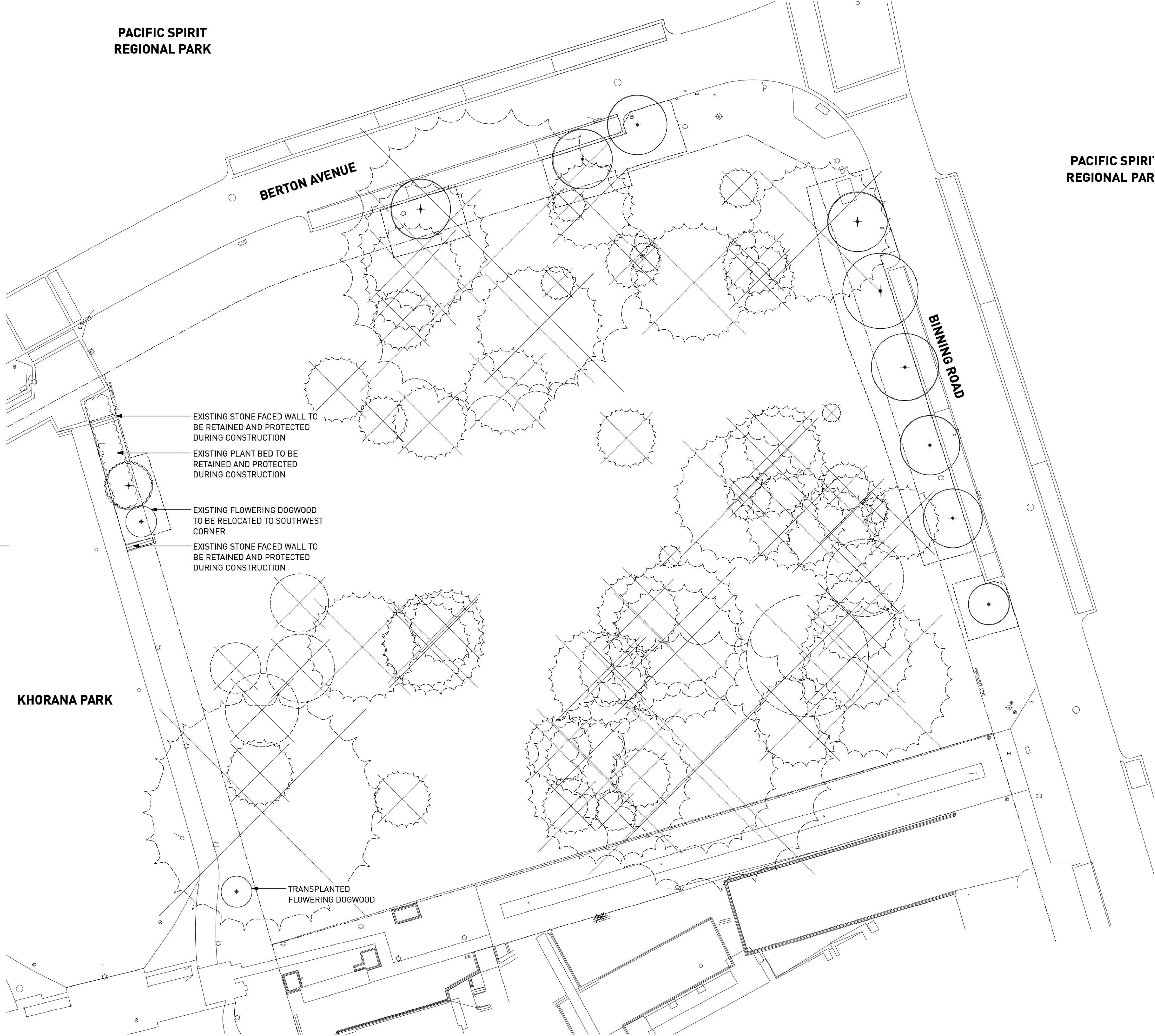
TREE MANAGEMENT LEGEND	
KEY	DESCRIPTION
	DECIDUOUS TREE TO BE REMOVED TOTAL REMOVED: 6
	CONIFEROUS TREE TO BE REMOVED TOTAL REMOVED: 57
	DECIDUOUS TREE RETAINED
	TREE PROTECTION FENCE



1 TREE PROTECTION BARRIER FENCING DETAIL
NTS

TREE PROTECTION GENERAL NOTES

- A. EXCAVATION AROUND TREES**
- EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
 - DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
 - TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES**
- HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
 - USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
 - RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES**
- TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
 - DO NOT CUT MAIN LATERAL ROOTS.
 - CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
 - ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
- D. PROTECTION OF EXPOSED ROOTS**
- DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
 - PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
 - PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
 - PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
 - TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
 - WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.



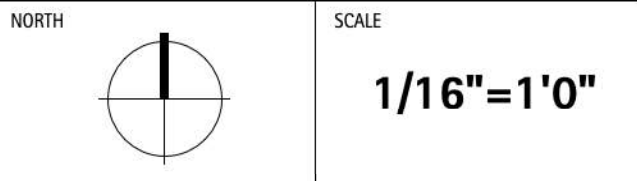
REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
2	2019-11-27	ISSUED FOR ALDP
3	2020-01-06	DEVELOPMENT PERMIT BOARD SUBMISSION
4	2020-02-10	RE-ISSUED FOR DEVELOPMENT PERMIT
5	2020-03-01	ISSUED FOR PRICING
6	2020-05-29	ISSUED FOR 50% BP
7	2020-07-16	ISSUED FOR 90% BP
8	2020-10-29	ISSUED FOR DPMA
9	2020-10-29	ISSUED FOR TENDER

PROJECT
**THE CONSERVATORY
UBC LOT 5
WESBROOK PLACE**

ADDRESS
5608 Berton Avenue,
Vancouver BC

DRAWING TITLE
TREE MANAGEMENT PLAN

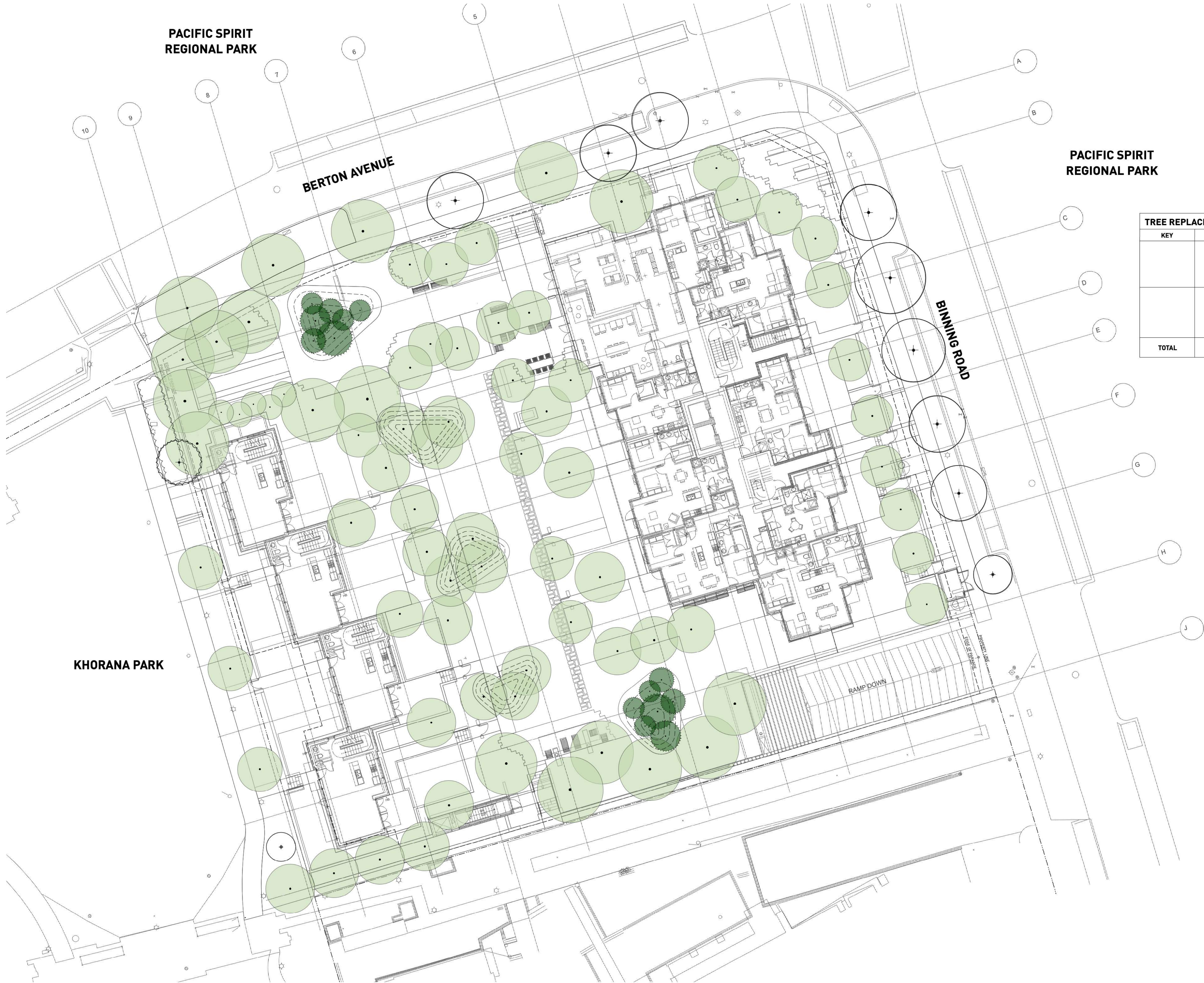
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REVIEWED	BH

DRAWING

L0.02



TREE REPLACEMENT PLAN		
KEY	NUMBER	DESCRIPTION
	79	REPLACEMENT TREE - DECIDUOUS
	14	REPLACEMENT TREE - CONIFEROUS
TOTAL	93	

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**TREE REPLACEMENT
PLAN**

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NORTH



SCALE

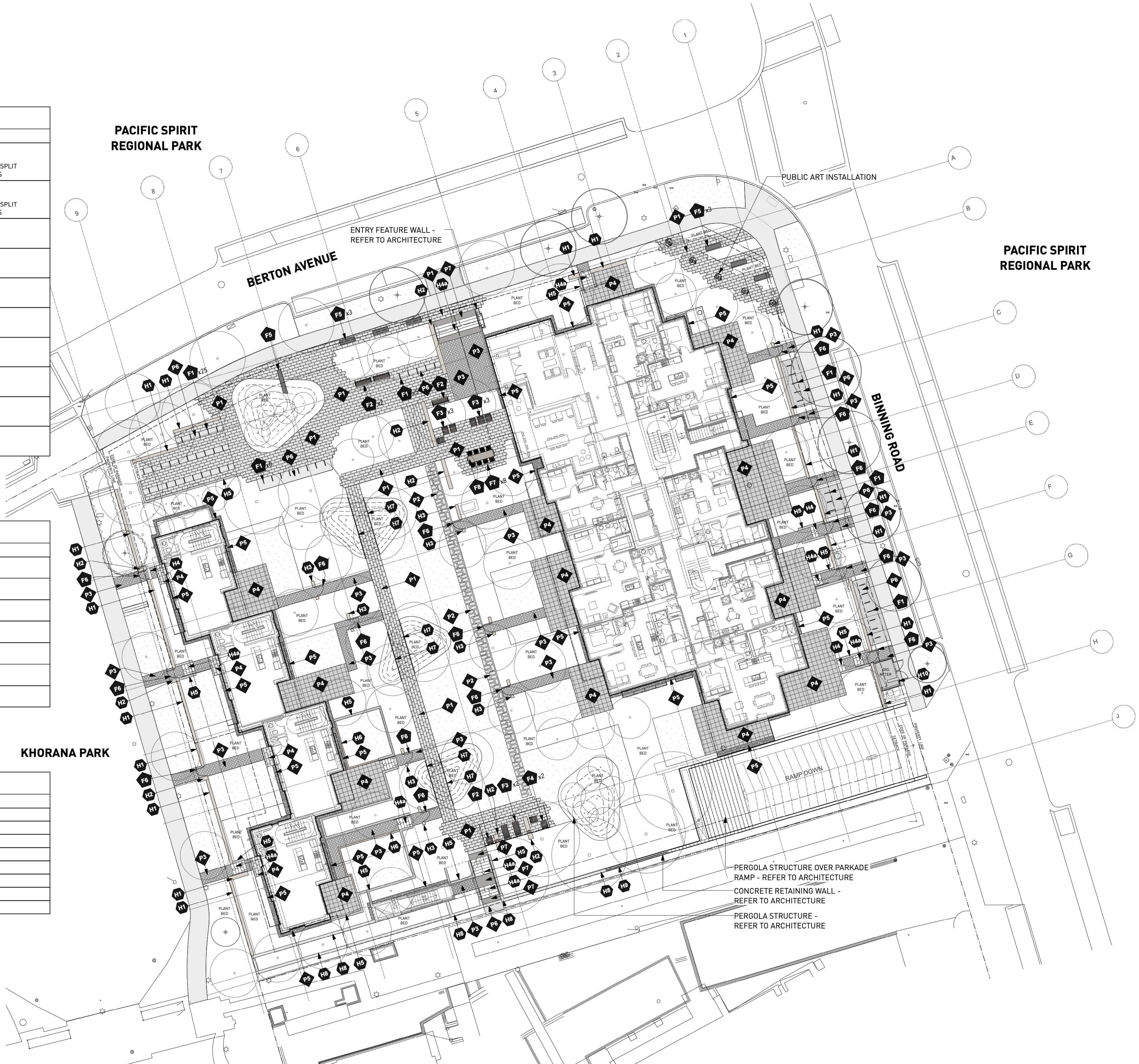
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REVIEWED	BH

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	CIP CONCRETE WALL WITH STONE CLADDING PACIFIC ASHLAR FULL BED COLOUR: BLUE/SLATE GREY WITH OCCASIONAL QUARTZ VEINS / FINISH: SPLIT NATURAL FACE / PATTERN: OFFSET RUNNING BOND - REFER TO DETAILS
H2	ENTRY PLINTH - CIP CONCRETE WALL WITH STONE CLADDING PACIFIC ASHLAR FULL BED COLOUR: BLUE/SLATE GREY WITH OCCASIONAL QUARTZ VEINS / FINISH: SPLIT NATURAL FACE / PATTERN: OFFSET RUNNING BOND - REFER TO DETAILS
H3	CONCRETE STAIRS CAST IN PLACE COLOUR: NATURAL / FINISH: ARCHITECTURAL
H3a	CONCRETE STAIRS WITH HANDRAIL CAST IN PLACE COLOUR: NATURAL / FINISH: ARCHITECTURAL
H4	CONCRETE WALL CAST IN PLACE COLOUR: NATURAL / FINISH: ARCHITECTURAL
H5	TIMBER WALL 4 x 6 ACQ PT TIMBER COLOUR: NA / FINISH: NA
H6	METAL RETAINING WALL PAINTED STAINLESS STEEL COLOUR: RAL 7039 / FINISH: ALL EDGES TO BE EASED
H7	MODULAR BLOCK RETAINING WALL AB CLASSIC, AB CAPS COLOUR: GREY / FINISH: NA
H8	GUARD RAIL METAL GUARD RAIL MATERIAL: ALUMINUM / COLOUR: POWDERCOAT BLACK / FINISH: N/A
H9	GAS METRE ENCLOSURE METAL ENCLOSURE MATERIAL: ALUMINUM / COLOUR: POWDERCOAT BLACK / FINISH: N/A

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	UNIT PAVER TYPE 1 - RUNNING BOND BROADWAY 65mm PAVER
P2	UNIT PAVER TYPE 1 - STAGGERED LAYOUT BROADWAY 65mm PAVER
P3	UNIT PAVER TYPE 2 BROADWAY 65mm PAVER
P4	HYDRAPRESSED PAVER TEXADA HYDRAPRESSED SLABS
P5	MAINTENANCE STRIP RIVER ROCK
P6	CIP CONCRETE N/A
P7	TACTILE WARNING STRIP N/A

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	BIKE RACK
F2	BENCH
F3	LOUNGE CHAIR
F4	CHAISE LOUNGE
F5	BASALT NATURAL STONE BENCH
F6	GATE
F7	CO-WORK STOOL
F8	CO-WORK TABLE



PACIFIC SPIRIT
REGIONAL PARK

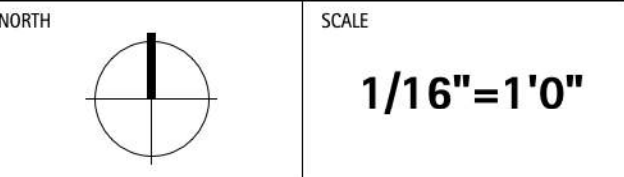
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PROJECT
THE CONSERVATORY
UBC LOT 5
WESBROOK PLACE

ADDRESS
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DRAWING TITLE
LAYOUT AND MATERIALS
PLAN

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REVIEWED	BH

DRAWING

L1.01

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PROJECT

**THE CONSERVATORY
UBC LOT 5
WESBROOK PLACE**

ADDRESS

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Vancouver BC

DRAWING TITLE

GRADING PLAN

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REVIEWED	BH

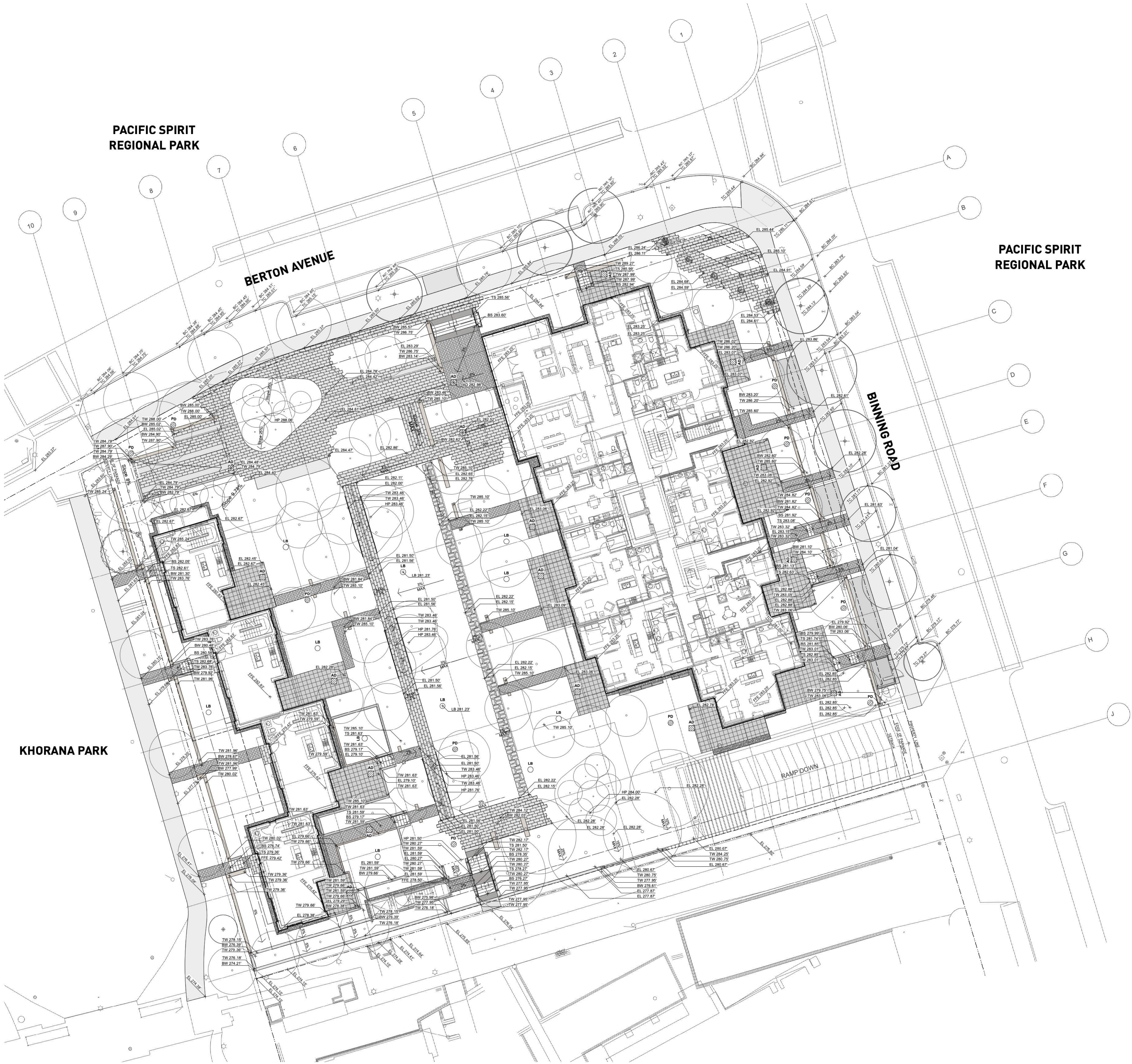
DRAWING

L2.01

GRADING LEGEND

- EL 0.00' Existing Elevation
- EL 0.94' Proposed Elevation
- FFE 0.94' Finished Floor Elevation
- TW 0.94' Proposed Top of Wall Elevation
- BW 0.94' Proposed Bottom of Wall Elevation
- TS 0.94' Proposed Top of Stair Elevation
- BC 0.94' Proposed Bottom of Stair Elevation
- TR 0.94' Proposed Top of Curb Elevation
- BR 0.94' Proposed Bottom of Curb Elevation
- SW 0.94' Proposed Top of Ramp Elevation
- SW 0.94' Proposed Bottom of Ramp Elevation
- SW 0.94' Swale Elevation
- 79.5--- Existing Contour
- 79.5--- Proposed Contour
- T Trench Drain
- P Perforated Pipe
- AD Area Drain
- LB Lawn Basin
- PD Planter Drain
- CB Catch Basin
- RD Roof Drain, shown for reference only, see mechanical and architectural drawings

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NUSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.

Plant List						
The Conservatory						
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	10	Acer circinatum	Vine Maple	3.0 m ht. [8'-0" ht.]	As Shown	B&B, Nursery grown, minimum 3 stems
AFJ	14	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	8 cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, 7' [2.1 m] std.
AXA	4	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6 cm cal. [1 1/2" cal.]	As Shown	B&B, Multi-stemmed, dense tree
CCD	9	Cercis canadensis 'Appalachian Red'	Appalachian Red Eastern Redbud	#10 pot [8'-0" ht.]	As Shown	B&B, Multi-stem, nursery grown
CKO	15	Cornus kousa	Kousa Dogwood	6 cm cal. [2" cal.]	As Shown	B&B, Well branched, dense tree
MGP	3	Metasequoia glyptostroboides	Dawn Redwood	5cm cal. [8'-0" ht.]	As Shown	B&B, Dense plant, well branched, fully branched to ground
PPI	7	Parrotia persica 'Inge's Ruby Vase'	'IRV' Persian Ironwood	6 cm cal. [2" cal.]	As Shown	B&B, Straight trunk, uniform branching, 5' [1.5 m] std.
POR	10	Picea omorika	Serbian Spruce	2.4 m ht. [8'-0" ht.]	As Shown	B&B, Well branched, dense tree
POR-1	4	Picea omorika	Serbian Spruce	3.0 m ht. [10'-0" ht.]	As Shown	B&B, Well branched, dense tree
PTR	6	Populus tremuloides	Quaking Aspen	5 cm cal. [2" cal.]	As Shown	B&B, Well branched, dense tree, 5' [1.5 m] std., nursery grown
SPS	12	Stewartia pseudocamellia	Japanese Stewartia	6 cm cal. [2" cal.]	As Shown	B&B, Well branched, dense tree
Shrubs						
AUC	26	Arbutus unedo 'Compacta'	Compact Strawberry Tree	#3 pot	90cm [36"]	Well established
BMW	200	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	38cm [15"]	Well established
CCO	83	Ceanothus impressus 'Victoria'	Brilliant Ceanothus	#3 pot	90cm [36"]	Well established
CTR	47	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm [36"]	Well established
CAS	19	Cornus alba 'Sibirica'	Siberian Dogwood	#2 pot	90cm [36"]	Well established
CSK	111	Cornus sericea 'Kelseyii'	Kelseyii Dogwood	#2 pot	60cm [24"]	Well established, nursery grown
DBW	106	Daphne burkwoodii 'Carol Mackie'	Carol Mackie Daphne	#3 pot	38cm [15"]	15cm [6"] height
EHN	118	Escallonia 'Newport Dwarf'	Newport Dwarf Escallonia	#3 pot	60cm [24"]	Well established
GSH	165	Gaultheria shallon	Salal	#1 pot	45cm [18"]	Well established, nursery grown
HYR	24	Hibiscus syriacus 'Red Heart'	Red Heart Rose-of-Sharon	#3 pot	100cm [39"]	Well established
NDG	126	Nandina domestica 'Gulf Stream'	Compact Heavenly Bamboo	#3 pot	68cm [27"]	Well established
PLO	351	Prunus laurocerasus 'Otto Luyken'	Otto Luyken laurel	#3 pot	60cm [24"]	Well established
RBB	62	Rhododendron 'Blue Bells'	Bow Bells Rhododendron	#3 pot	75cm [30"]	Well established
REL	48	Rhododendron 'Elizabeth'	Elizabeth Rhododendron	#3 pot	75cm [30"]	Well established
RCP	10	Rhododendron carolinianom 'P.J.M.'	P.J.M. Rhododendron	#3 pot	75cm [30"]	Well established
RMP	266	Rosa 'Meidiland Pink'	Meidiland Pink Rose	#2 pot	60cm [24"]	Well established
SHH	603	Sarcococca hookeriana humilis	Himalayan Sarcococca	#3 pot	45cm [18"]	Well established
SJP	472	Skimmia japonica	Japanese Skimmia	#3 pot	60cm [24"]	Well established
SBA	276	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#3 pot	60cm [24"]	Well established
TXM	316	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.2m	40cm [16"]	Well established, dense hedging plant / B & B
TOS	25	Thuja occidentalis 'Smaragd'	Emerald Cedar	1.5m	60cm [24"]	Well established, dense hedging plant / B & B
VOT	68	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	75cm [30"]	Well established, nursery grown
VDV	510	Viburnum davidii	David Viburnum	#3 pot	60cm [24"]	Well established
Ground Cover						
CDM	240	Cotoneaster dammeri	Bearberry Cotoneaster	#1 pot	38cm [15"]	15cm [6"] leads. Minimum 3 leads
ECP	535	Erica carnea 'Springwood Pink'	Spring Pink Winter Heath	#1 pot	38cm [15"]	15cm [6"] height
EFE	496	Euonymus fortunei 'Emerald Gaiety'	Emeral Gaiety Wintercreeper	#1 pot	38cm [15"]	25cm [10"] spread. Minimum 3 leads
LSR	302	Liriope spicata	Creeping Lily-turf	#1 pot	38cm [15"]	25cm [10"] spread
Perennials						
POL	108	Papaver orientale	Oriental Poppy	#1 pot	38 cm [15"]	Well established
SSB	210	Salvia superba	Perennial Salvia	#1 pot	30 cm [12"]	Well established
Vines						
CAR	45	Clematis armandii	Evergreen Clematis	#2 pot	As Shown	Staked, full development
Ferns						
PMU	318	Polystichum munitum	Western Sword Fern	#1 pot	45 cm [18"]	Well established, nursery grown

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PROJECT

THE CONSERVATORY
UBC LOT 5
WESBROOK PLACE

ADDRESS

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DRAWING TITLE

PLANT LIST

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NORTH	SCALE
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REVIEWED	BH

DRAWING

L3.01

PACIFIC SPIRIT
REGIONAL PARK

PACIFIC SPIRIT
REGIONAL PARK

EXISTING SHRUBS TO REMAIN.
REPLACE SHRUBS DAMAGED
DURING CONSTRUCTION.

EXISTING TREE TO REMAIN.
REPLACE IF DAMAGED
DURING CONSTRUCTION.

EXISTING TREE TO
BE RETAINED (TYP.)

KHORANA PARK

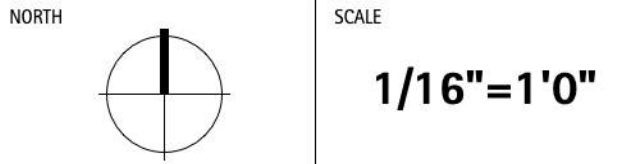
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PLANTING PLAN

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L3.02

LIGHTING LEGEND		
	Bollard Light	<div><div>5</div><div>6.05</div></div>
	Wall Light	
	LED Light Strip	



PWL Partnership Landscape Architects Inc
5th Floor, East Asiatic House
1201 West Pender Street
Vancouver BC Canada V6E 2V2
www.pwlpартnership.com
T 604.688.8111
F 604.688.8112

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WESBROOK PLACE

ADDRESS

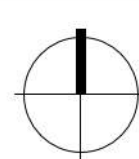
5608 Berton Avenue,
Vancouver BC

DRAWING TITLE

LIGHTING PLAN

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NORTH



SCALE

1/16"=1'0"

PROJECT NO. 19037

DATE November 2019

FILE NAME 19037 PLAN.vwx

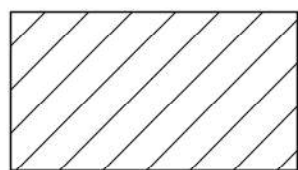
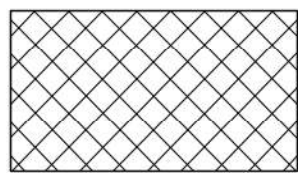
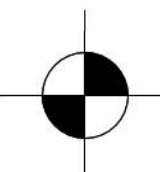
PLOTTED 20-10-29

DRAWN MB, EW

REVIEWED BH

DRAWING

L4.01

IRRIGATION LEGEND	
	DRIP IRRIGATION - ALL PLANT BEDS
	HIGH EFFICIENCY SPRAY IRRIGATION - ALL LAWN AREAS
	IRRIGATION SLEEVING
	WATER STUBOUT FOR IRRIGATION SYSTEM ARE SHOWN FOR REFERENCE ONLY. SEE ALSO MECHANICAL AND ELECTRICAL DRAWINGS.

DESIGN BUILD IRRIGATION SYSTEM
GENERAL NOTES

- DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED.
- AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED AS "DESIGN BUILD". REFER TO SPECIFICATIONS FOR DESIGN AND SUBMISSION REQUIREMENTS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR TO PROVIDE IRRIGATION DESIGN DRAWINGS FOR CONSULTANT REVIEW AS PER SPECIFICATIONS. IRRIGATION INSTALLED PRIOR TO THE REVIEW OF DESIGN BUILD DRAWINGS BY THE CONSULTANT WILL BE REJECTED.
- LOCATION OF IRRIGATION SLEEVES NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE IRRIGATION SLEEVES UNDER PAVED AREAS AND THROUGH WALLS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL SLEEVE LOCATIONS ARE TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
- PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE CONDUIT RUNS, SLEEVING AND MOUNTING LOCATION FOR RAIN SENSOR AS PER SPECIFICATIONS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL RAIN SENSOR LOCATION IS TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
- IRRIGATION STUB-OUT LOCATIONS NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC AND FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE CONNECTION TO WATER SUPPLY WITH THE MECHANICAL CONTRACTOR. REFER TO MECHANICAL ENGINEER'S DRAWINGS.
- UNLESS OTHERWISE INDICATED THE IRRIGATION CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM AS PER SPECIFICATIONS. FOR CONTROLLER LOCATION IN MECHANICAL ROOM, SEE MECHANICAL ENGINEER'S DRAWINGS.
- CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
- IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE.

KHORANA PARK

PACIFIC SPIRIT
REGIONAL PARK

BERTON AVENUE

PACIFIC SPIRIT
REGIONAL PARK

BINNING ROAD

STUBOUT #01
2" DIAMETER

STUBOUT #02
2" DIAMETER

RAMP DOWN

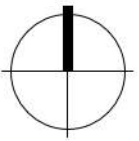
REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
2	2019-11-27	ISSUED FOR AIDP
3	2020-01-06	DEVELOPMENT PERMIT BOARD SUBMISSION
4	2020-02-10	RE-ISSUED FOR DEVELOPMENT PERMIT
5	2020-03-01	ISSUED FOR PRICING
6	2020-05-29	ISSUED FOR 50% BP
7	2020-07-16	ISSUED FOR 90% BP
8	2020-10-29	ISSUED FOR DPMA
9	2020-10-29	ISSUED FOR TENDER

PROJECT
**THE CONSERVATORY
UBC LOT 5
WESBROOK PLACE**

ADDRESS
5608 Berton Avenue,
Vancouver BC

DRAWING TITLE
IRRIGATION PLAN

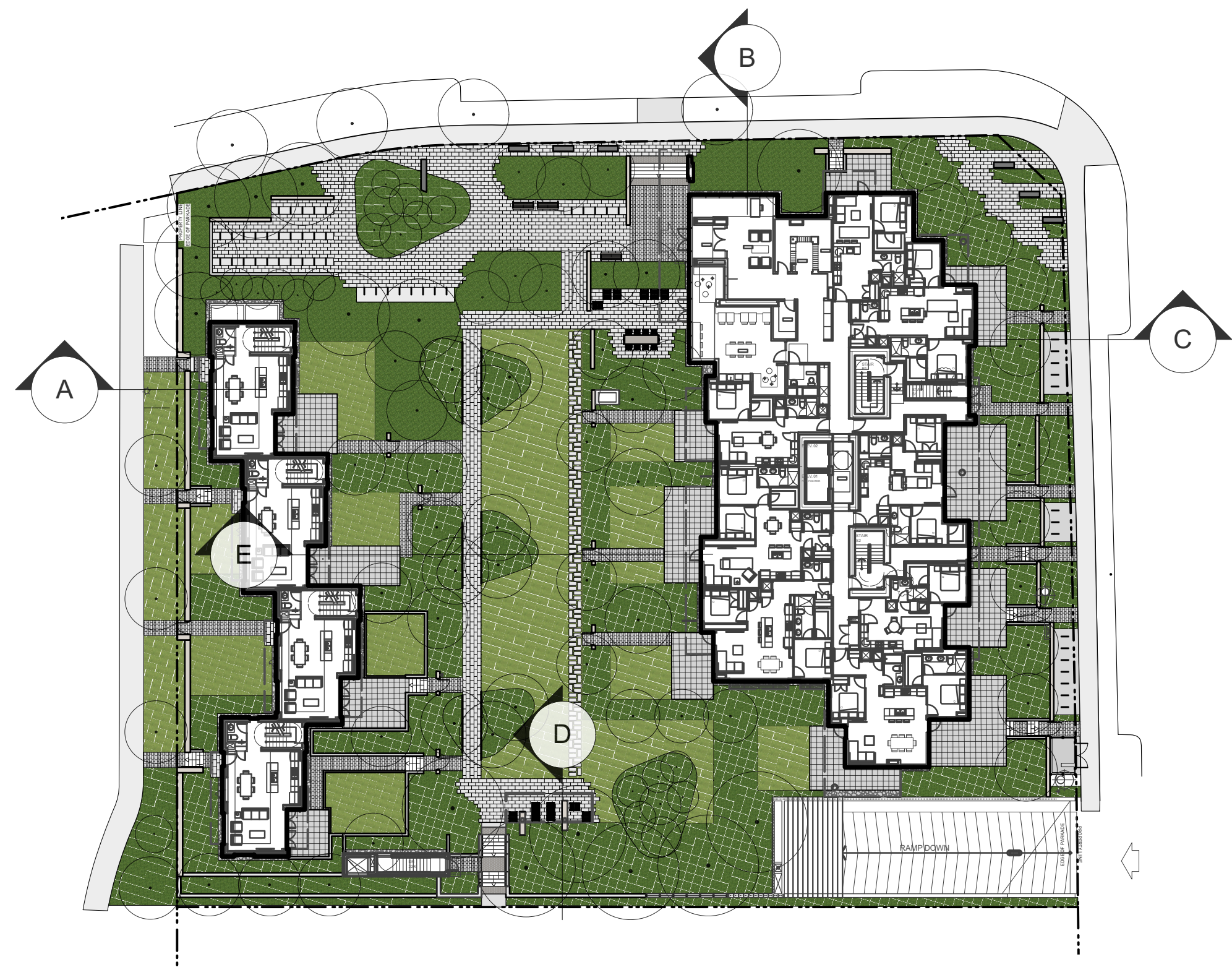
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NORTH	SCALE
	1/16"=1'0"

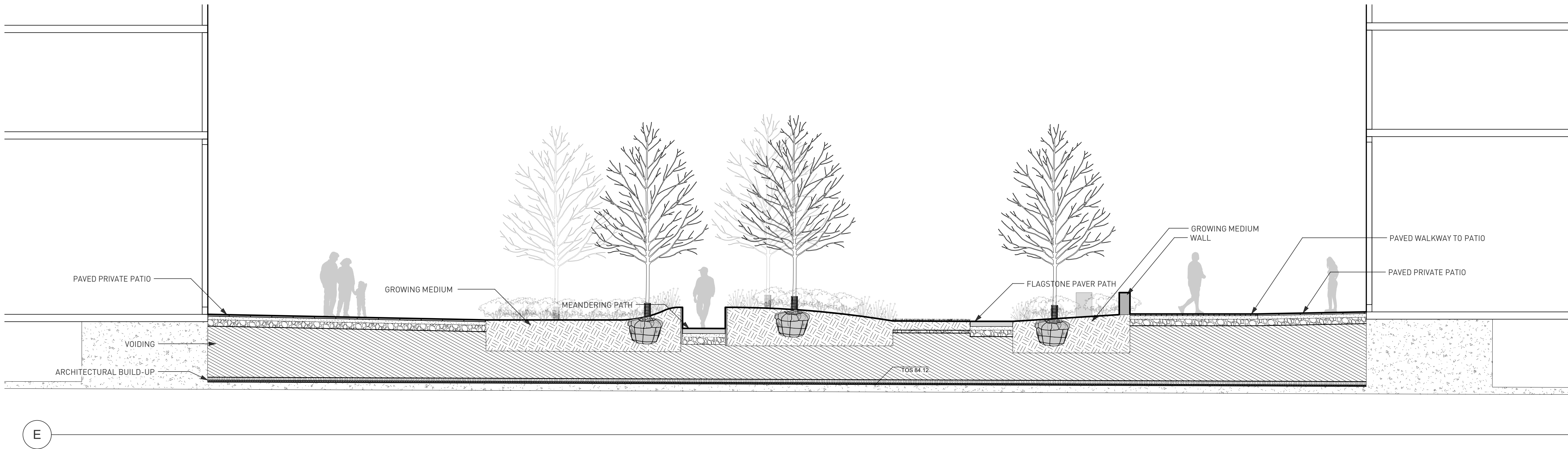
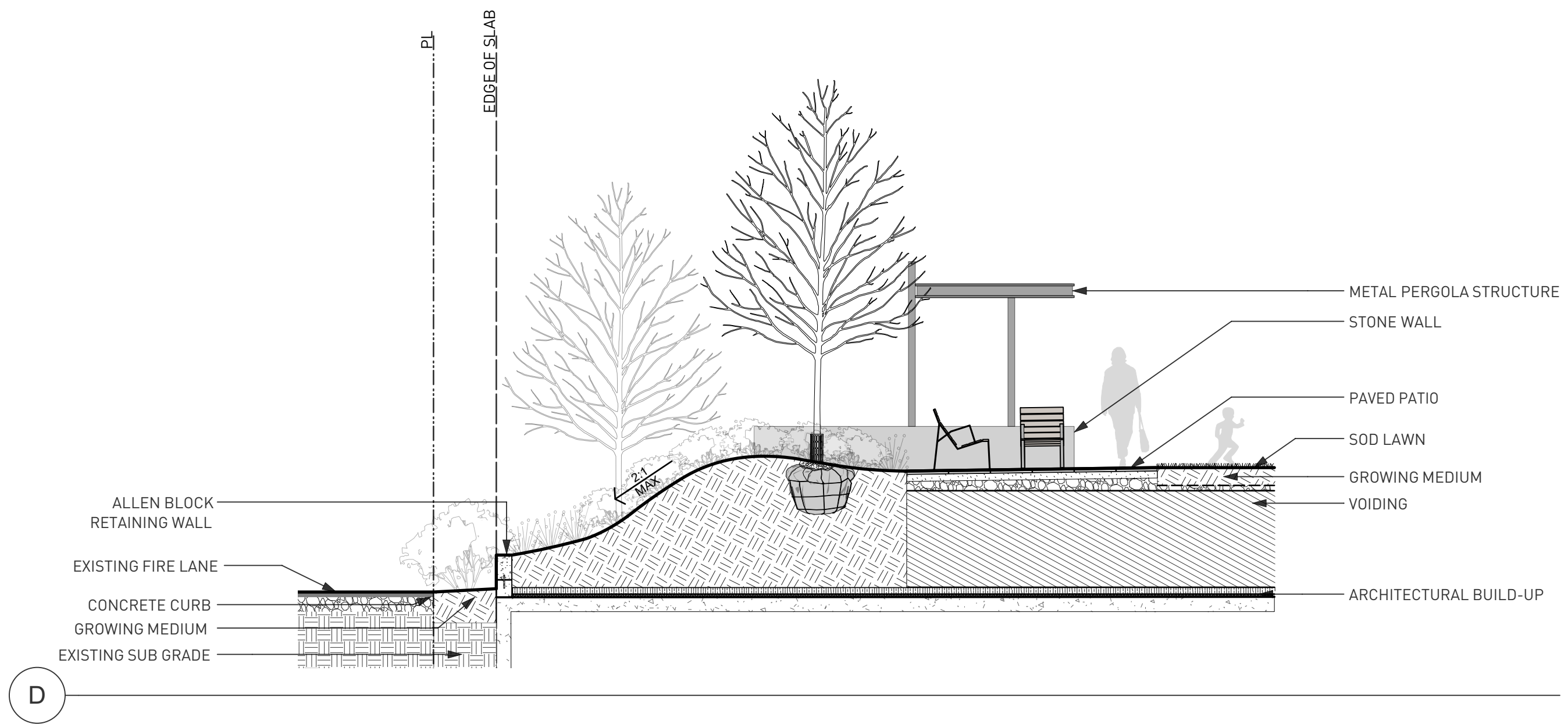
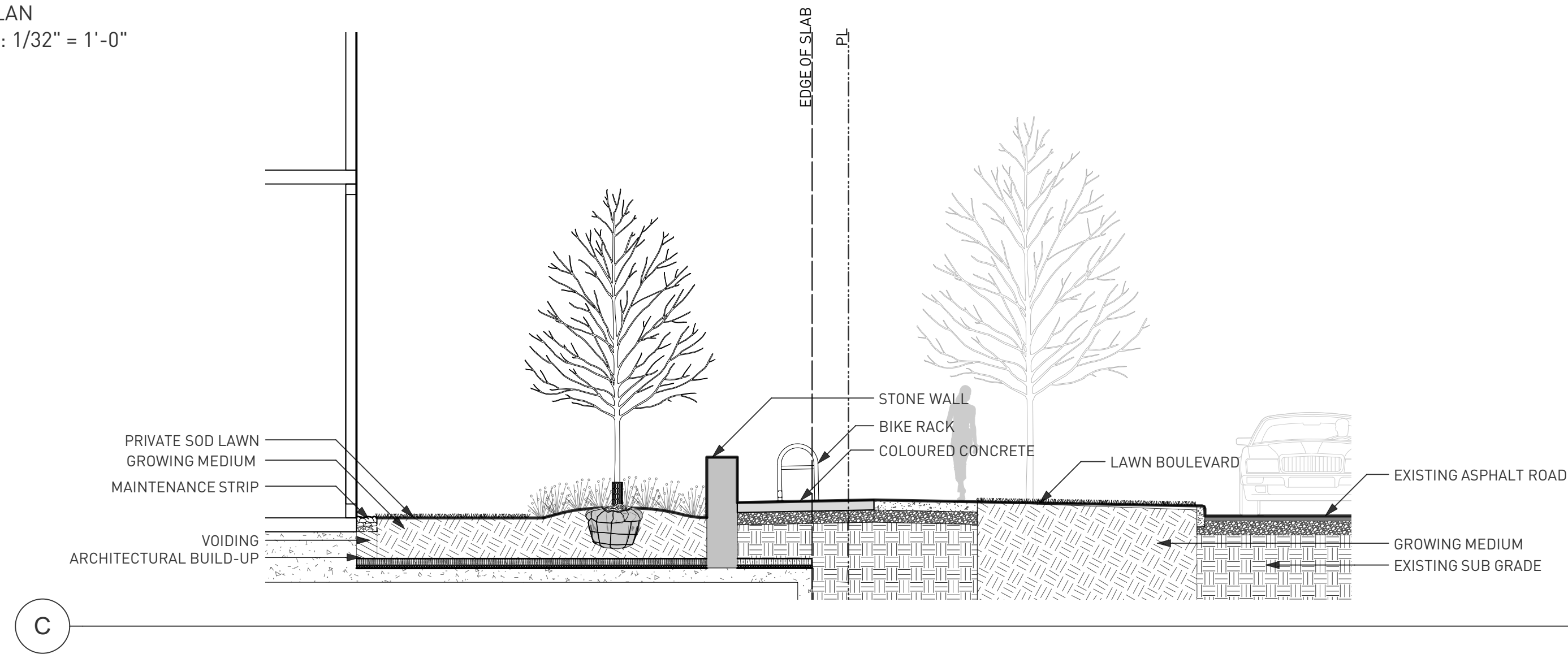
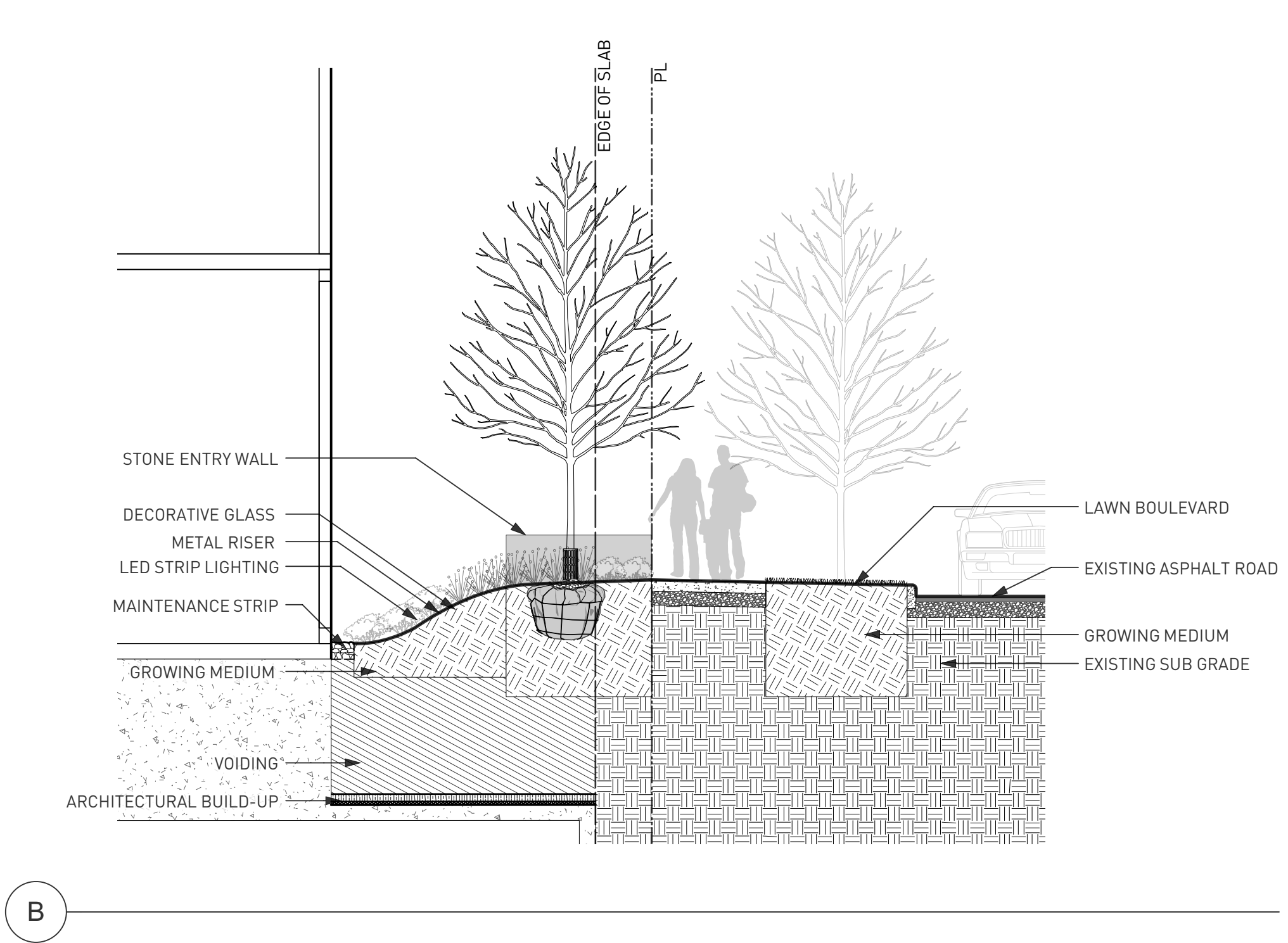
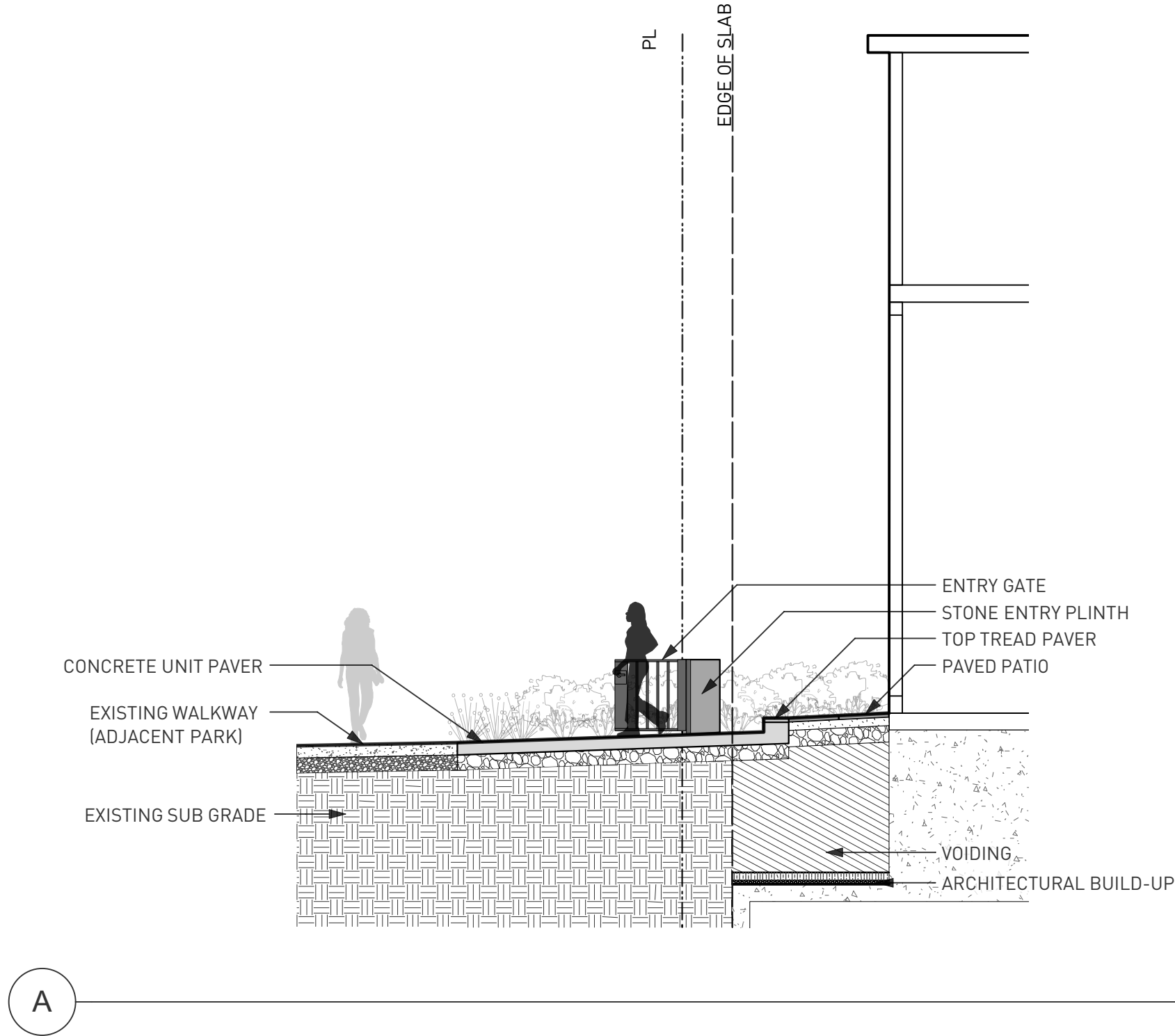
PROJECT NO.	19037
DATE	November 2019
FILE NAME	19037 PLAN.vwx
PLOTTED	20-10-29
DRAWN	MB, EW
REVIEWED	BH

DRAWING

L5.01



KEY PLAN
SCALE: 1/32" = 1'-0"



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
2	2019-11-27	ISSUED FOR AUDP
3	2020-01-06	DEVELOPMENT PERMIT BOARD SUBMISSION
4	2020-02-10	RE-ISSUED FOR DEVELOPMENT PERMIT
5	2020-05-05	ISSUED FOR 50% BUILDING PERMIT
6	2020-10-29	ISSUED FOR DPMA

PROJECT
THE CONSERVATORY
UBC LOT 5
WESBROOK PLACE

ADDRESS
5728 Berton Avenue

DRAWING TITLE
SECTIONS

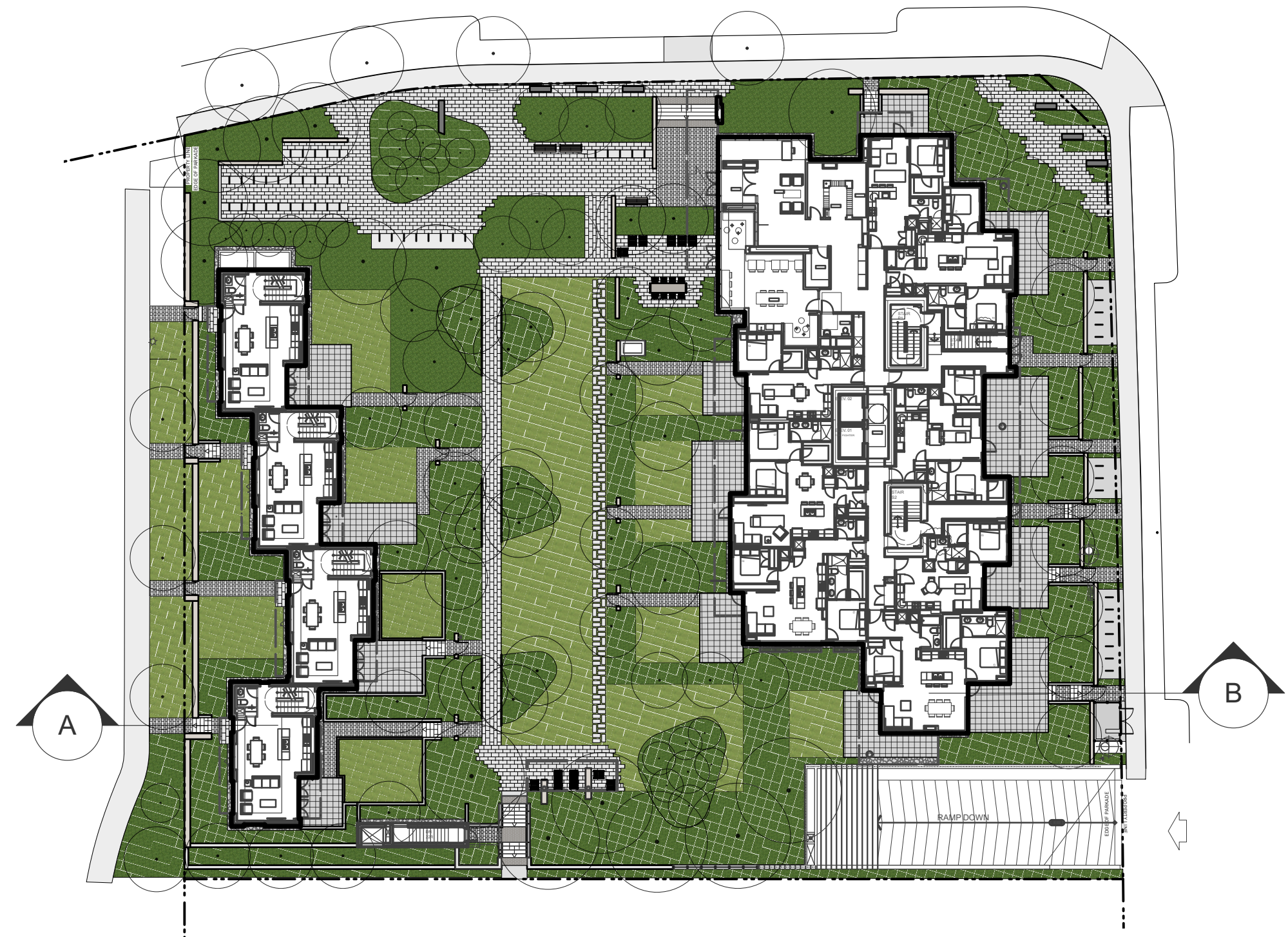
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NORTH	SCALE 3/16" = 1'-0"
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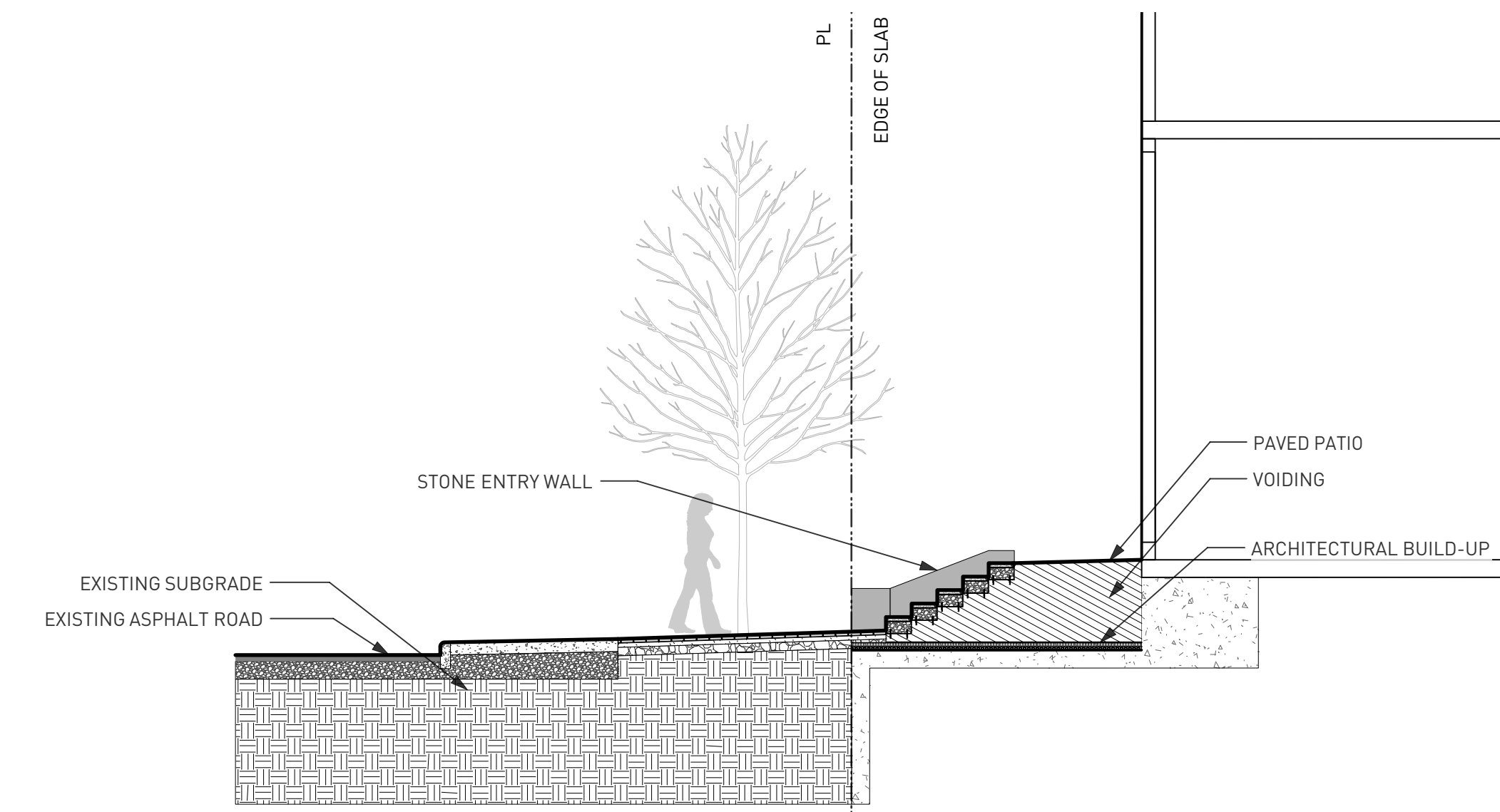
PROJECT NO.	19037
DATE	November 2019
FILE NAME	19037 SECTIONS.vwx
PLOTTED	20-10-29
DRAWN	MB, EW
REVIEWED	BH

DRAWING

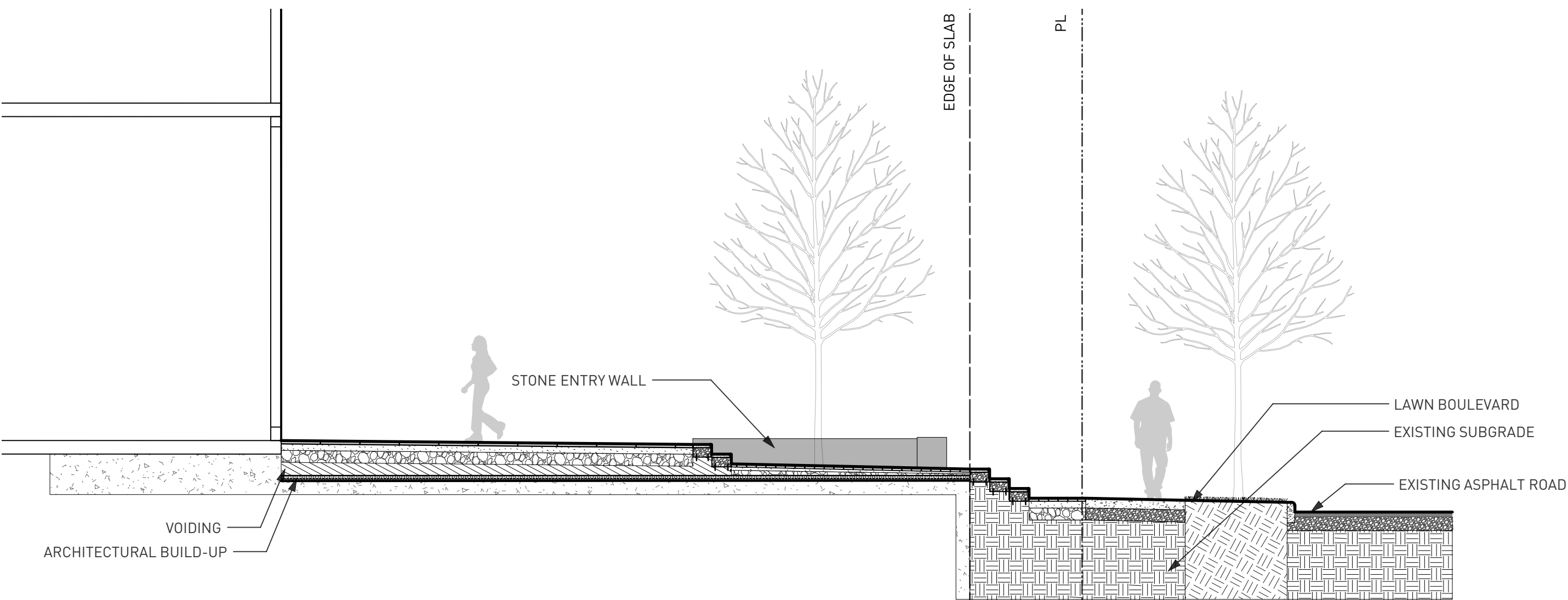
L6.01



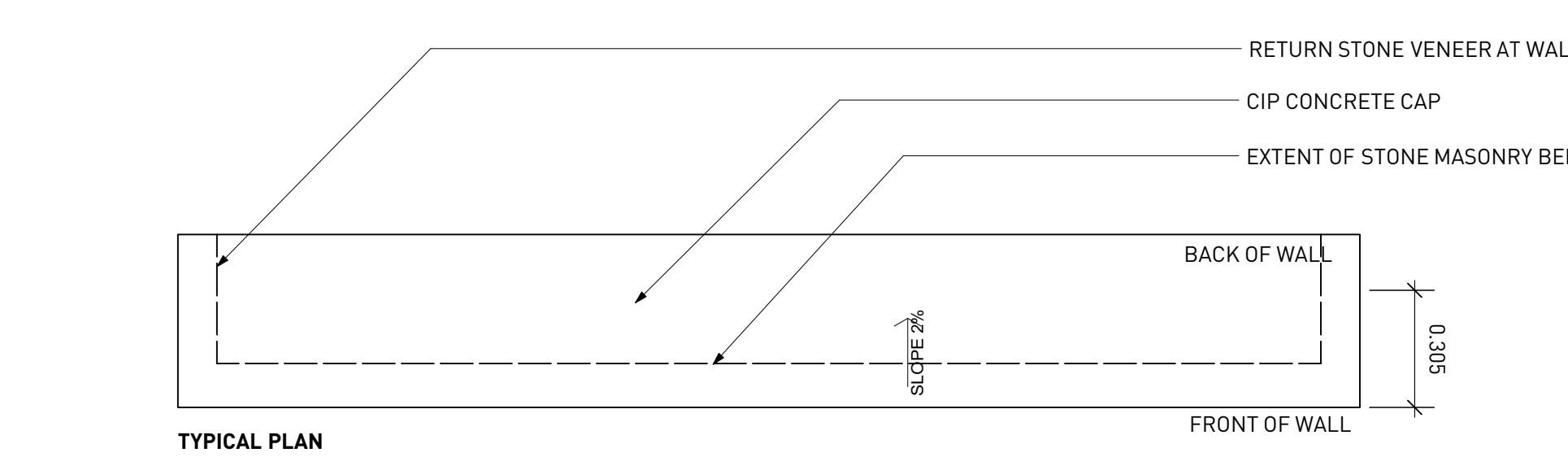
KEY PLAN
SCALE: 1/32" = 1'-0"



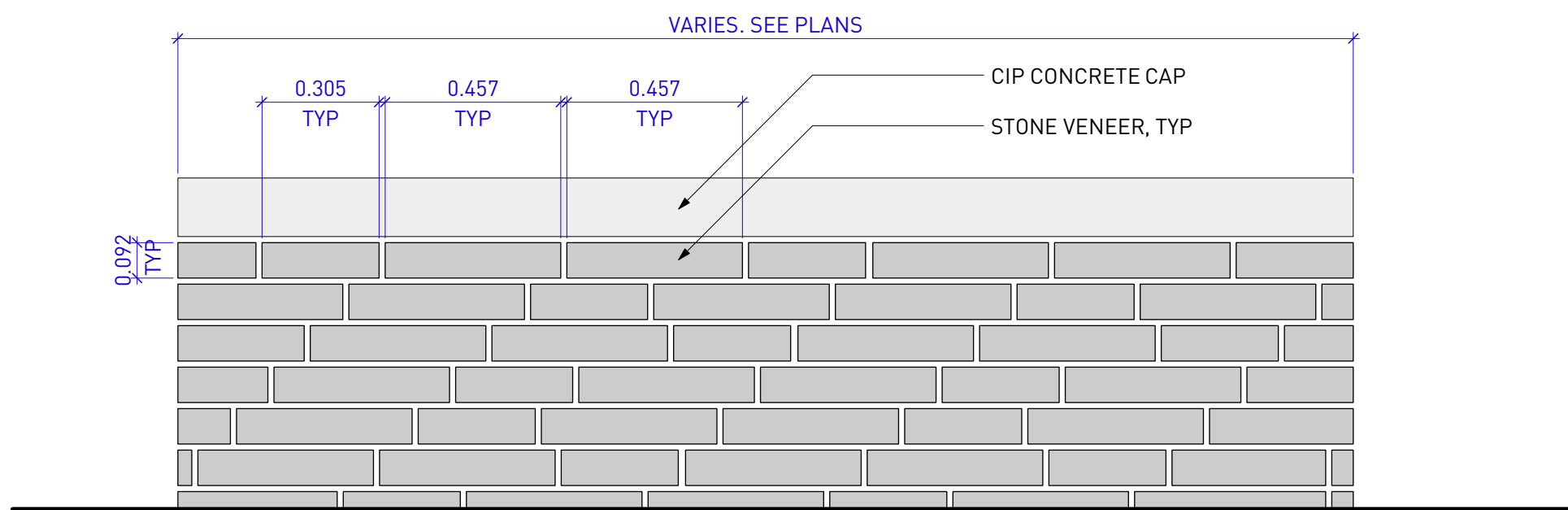
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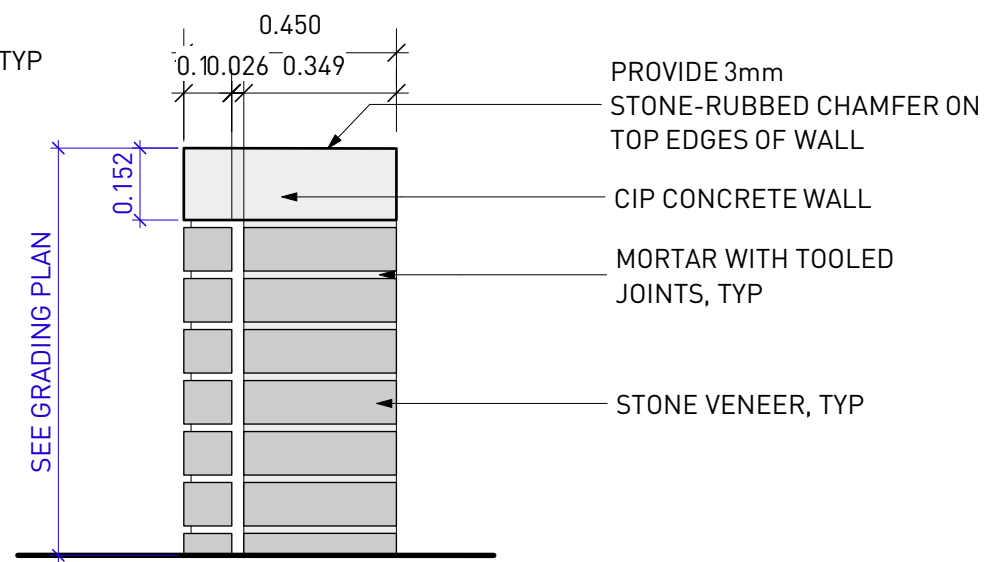
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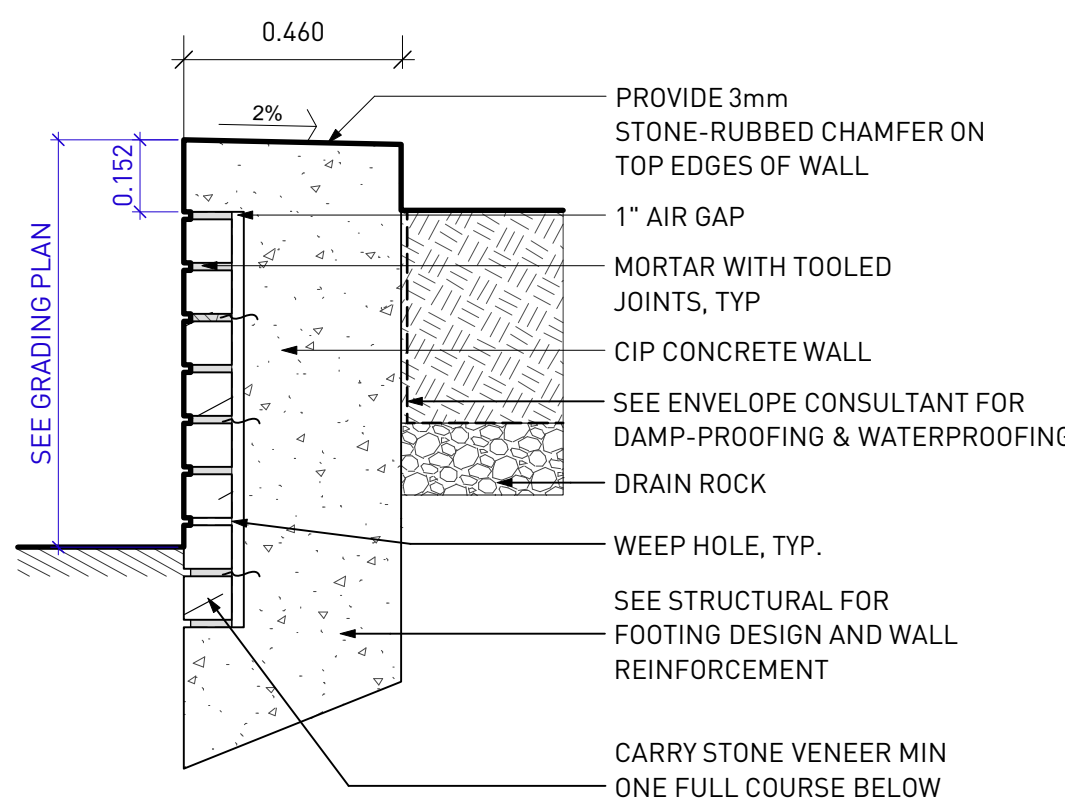
TYPICAL PLAN



TYPICAL ELEVATION

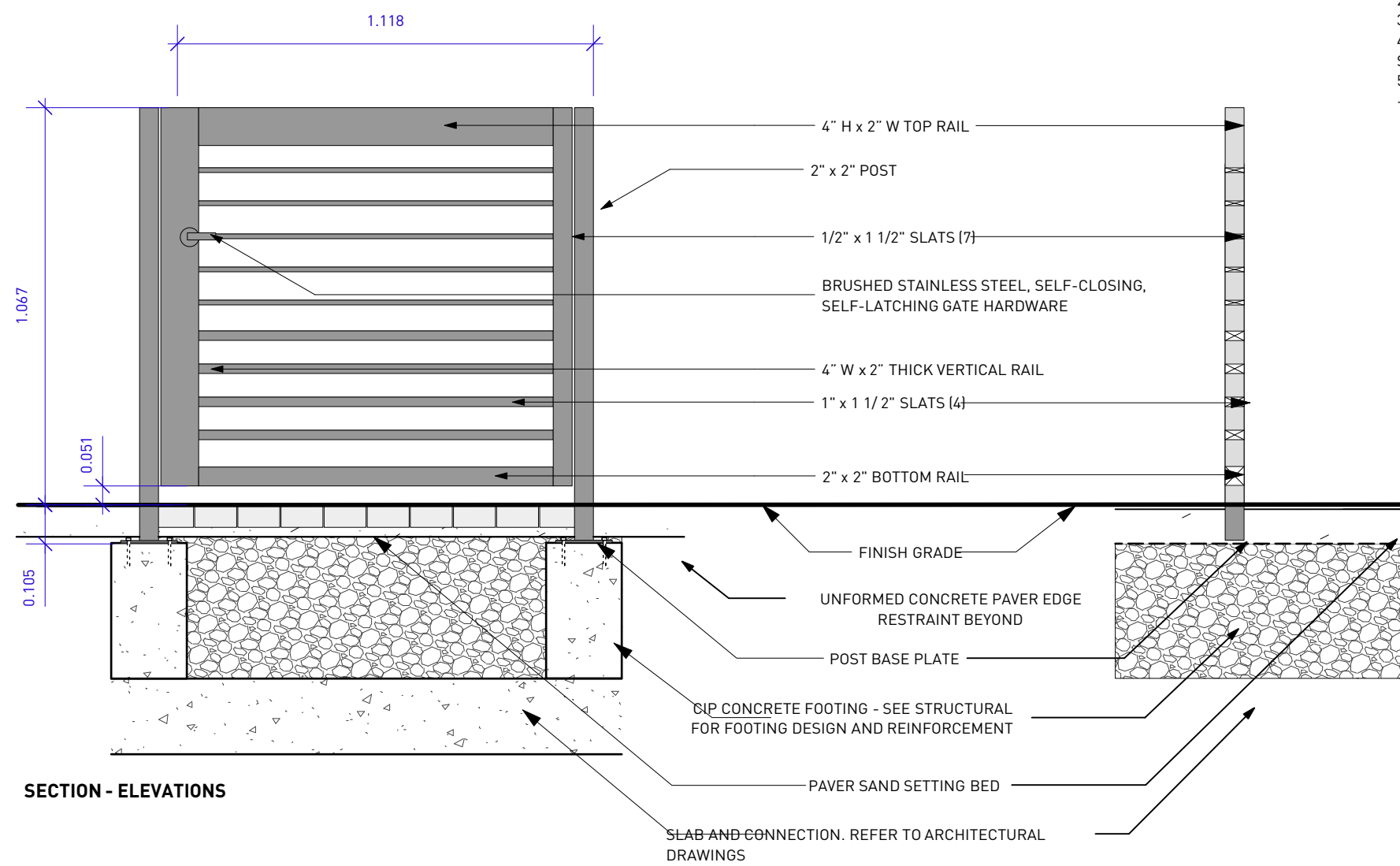


WALL ELEVATION



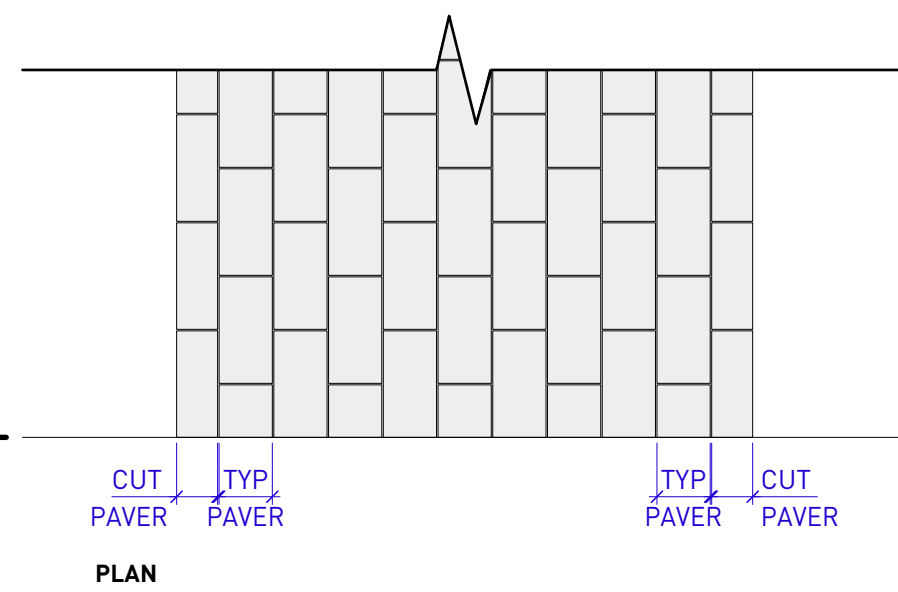
WALL SECTION

1 STONE FACED WALL DETAIL
3/4" = 1'-0"



2 GATE
3/4" = 1'-0"

- NOTES:
1. PROVIDE SHOP DRAWINGS TO CONSULTANT FOR APPROVAL PRIOR TO FABRICATION.
 2. STRUCTURE TO BE METAL.
 3. ALL WELDS TO BE CONTINUOUS AND GROUND SMOOTH; NO SPOT WELDS.
 4. PLANS AND DETAILS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS AND SPECIFICATIONS. REPORT ERRORS OR DISCREPANCIES TO CONSULTANT.
 5. BOLTED CONNECTIONS TO BE ASSEMBLED ON SITE ONLY. RECEPTORS TO BE PRE-DRILLED - NOT TO BE DRILLED ON SITE.



PLAN

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2019-11-21	ISSUED FOR DEVELOPMENT PERMIT
2	2019-11-27	ISSUED FOR AUDP
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6	2020-10-29	ISSUED FOR DPMA

PROJECT
THE CONSERVATORY
UBC LOT 5
WESBROOK PLACE

ADDRESS
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DRAWING TITLE
SECTIONS
AND DETAILS

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NORTH		SCALE	
		3/16" = 1'-0"	

PROJECT NO.	19037
DATE	November 2019
FILE NAME	19037 SECTIONS.vwx
PLOTTED	20-10-29
DRAWN	MB, EW
REVIEWED	BH

DRAWING

L6.02