

UBC Recreation Centre North

Development Permit Application

Prepared for:
**UBC Campus +
Community Planning**

Prepared by:
SHAPE Architecture

1 March 2021

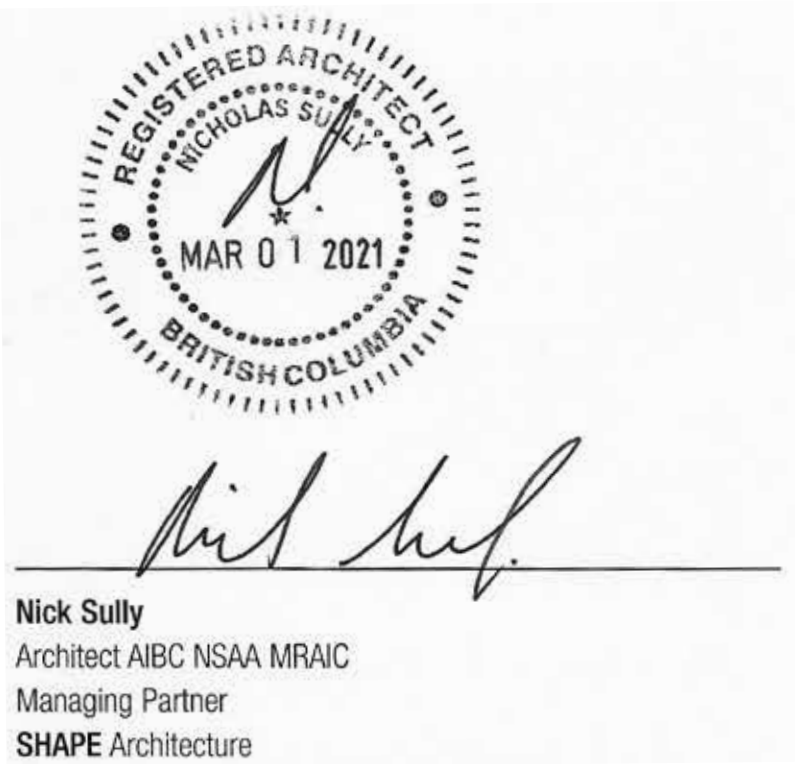


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The following Development Permit Application is intended to document the development of the project from early conceptual drivers into a refined design proposal. Project goals have been balanced against program objectives and a comprehensive contextual analysis.

The design team has met with owner and stakeholder representatives throughout the schematic design process to review ongoing design work and confirm user requirements and overall project direction.

This document illustrates the contextual analysis and resultant schematic design for Campus + Community Planning’s consideration.



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Executive Summary

The New UBC Recreation Centre adds significant new state-of-the-art recreation space for the campus community, while resolving a complex set of existing site conditions.

The building defines and activates the south edge of the new Arrival Court and Green public realm. A new Recreation Gallery is created in the space between Life and the New Recreation Centre, which is animated on both sides with views into both adjacent student facilities. The building’s north edge continues the new street wall of the student residences along Student Union Boulevard, while the west edge facing the Bosque aligns with the existing Life Building.

The project knits these edges together with a coherent and legible massing with articulations to define key moments of engagement. The defining characteristic being a generous new exterior walkway that continues the north-south student services spine into the public realm, linking together interior with exterior.

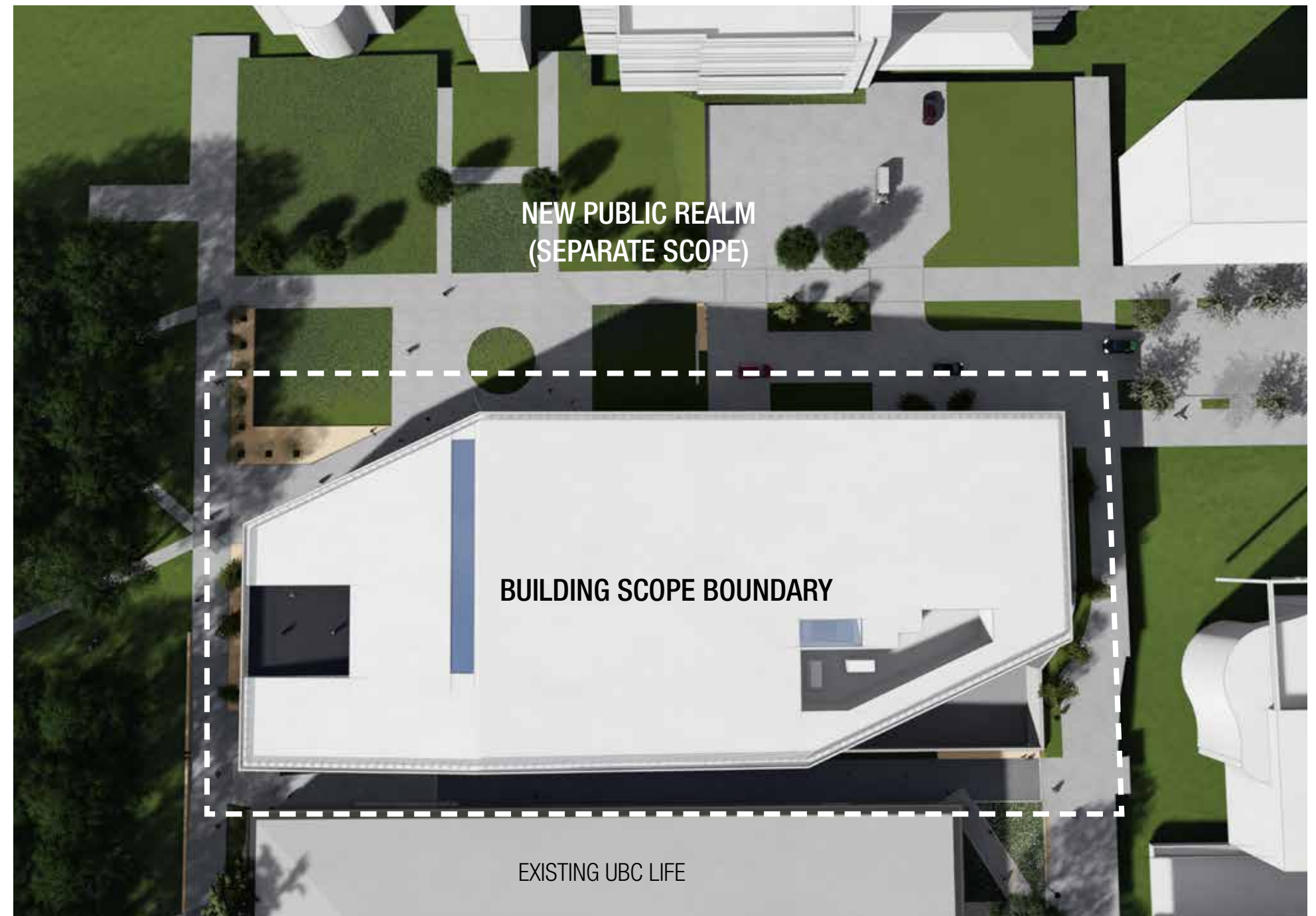
The building responds to the existing pedestrian circulation that crosses the site by creating new accessible connections that address many existing grade issues. New continuous weather protected pathways along the north and south edges lead to the three main entrances on the north, south and west. All three entrances offer accessible connections to the main lobby atrium, which further connects to the existing Life Building L0. The building massing and articulations are optimized for solar access to the public realms on the north and south, while also controlling solar gain to the heating dominated fitness and gym spaces.

This recreation centre will be a new destination for the health and wellness of the campus community. It connects and extends the student services spine, creates opportunities for formal and informal play, and will be accessible to and inclusive of the entire campus community.

The following sections articulate and illustrate the rationale for the urban and architectural design of this exciting new facility.

Project Scope

The UBC Recreation Centre is a brand new 9,377 square meter (101,000 square feet) facility comprised of three gymnasias, an interior walking track, cardio and weight-lifting fitness areas, multi-purpose rooms, changerooms, and administrative offices. The project scope boundary is defined as approximately 6 meters from the building edge on all sides. The adjacent Arrival Court and Green public realm scope will be submitted as a separate project.



Project Team

Architectural SHAPE Architecture 534 W Pender Street Vancouver, BC V6B 1V3 604.687.4457	Construction Manager Etro Construction 4727 Hastings Street Burnaby, BC V5C 2K8 604.492.0920	Sustainability + Commissioning Integral Group 180 - 200 Granville Street Vancouver, BC V6C 1S4 604.687.1800	Transportation Bunt & Associates Engineering 1550 - 1050 West Pender Street Vancouver, BC V6E 3S7 604 685 6427
Structural WSP 1000 - 840 Howe Street Vancouver, BC V6Z 2M1 604.685.9381	Landscape DIALOG Design 406 - 611 Alexander Street Vancouver, BC V6A 1E1 604.408.7222	Elevator Apex 177 - 4664 Lougheed Highway Burnaby, BC V5C 5T5 604.533.4617	Accessibility KUNO Architecture 580 E 29th Avenue Vancouver, BC V5V 2R9 604.512.3914
Mechanical + Energy Modelling AME Group 200 – 638 Smithe Street Vancouver, BC V6B 1E3 604.684.5995	Civil WSP 300 - 65 Richmond Street New Westminster, BC V3L 5P5 604.525.4651	Envelope LDR Engineering Group 213 - 4288 Lozells Avenue Burnaby, BC V5A 0C7 604.805.6785	DES Consulting AME Group 200 – 638 Smithe Street Vancouver, BC V6B 1E3 604.684.5995
Electrical PBX Engineering 300 - 131 Water Street Vancouver, BC V6B 4M3 604.408.7222	Acoustic BAP Acoustics 122 – 2227 St. Johns Street Port Moody, BC V3H 2A6 604.492.2992	Geotechnical GeoPacific 1779 West 75th Avenue Vancouver, B.C. V6P 6P2 604.439.0922	

Submission Requirements

The following additional Submission Requirements will be provided separately as individual files:

Application Form
Application Fee
Written Description
Title Search
Site Profile
Tree Survey
Geotechnical Report
Photos
DP Sign Notification
3D Model

1



Design Policy Compliance

Urban Design

Edges

FROM C+CP DESIGN BRIEF

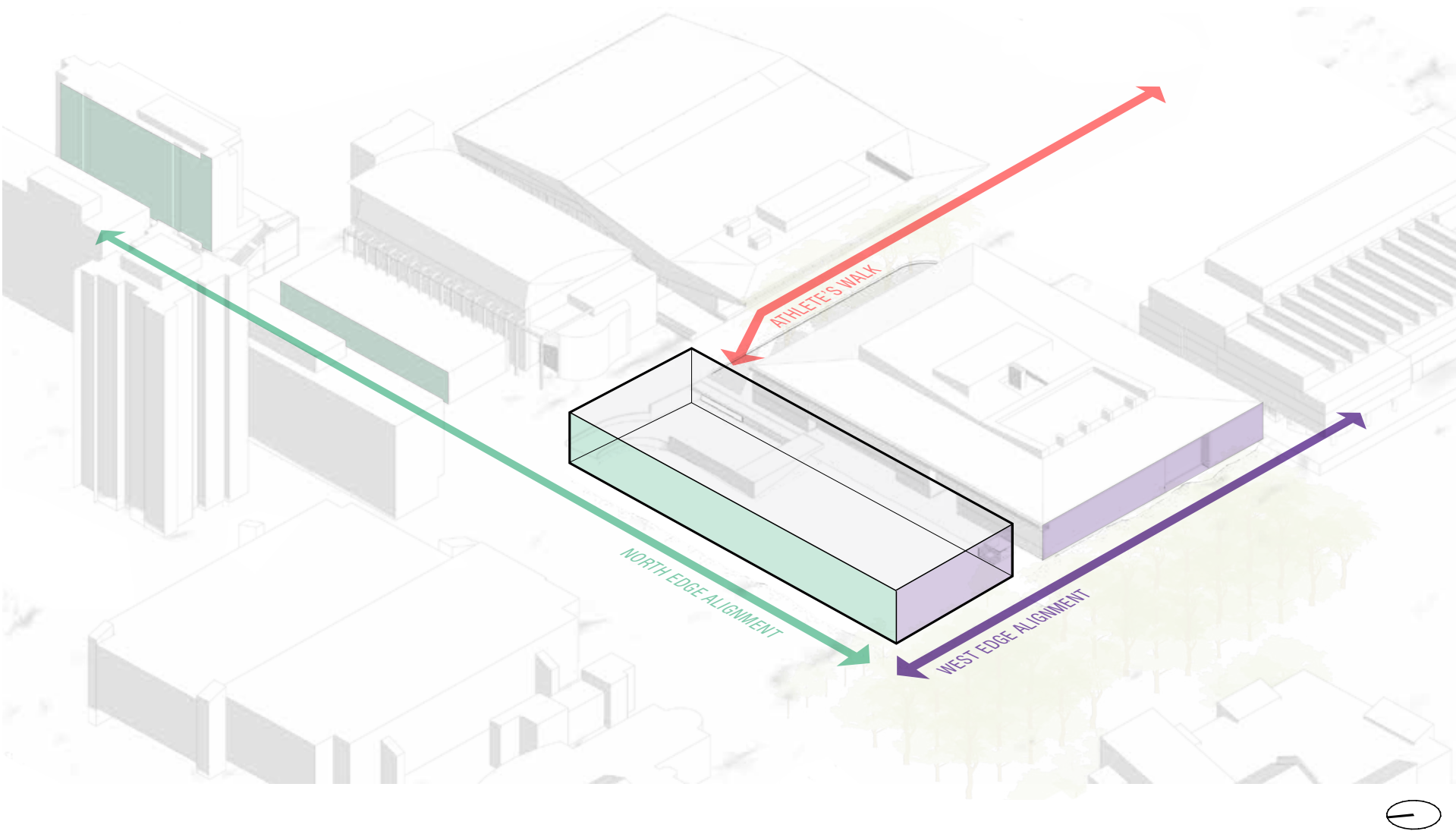
Student Union Boulevard

The vision for Student Union Boulevard is a consolidated, legible arrival experience that reflects the prominence of the street a destination in the heart of campus. With the eastern portion already upgraded, changes adjacent to the new recreation centre will complete this vision and tie into the surrounding campus fabric.

DESIGN RESPONSE

Reinforce the Street Edge

Three primary elevations reinforce campus context street edges; the south-east edge being the terminus of Athlete’s Way. The north elevation of the New Recreation Centre will contribute to the entrance experience through the new Arrival Court and Green public realm.



Accessible Connections

FROM C+CP DESIGN BRIEF

Student Services Complex

The new building - as an addition to this student service hub - will need to enhance and build upon the hub's pattern of student services and create clear connections that draw people in and through.

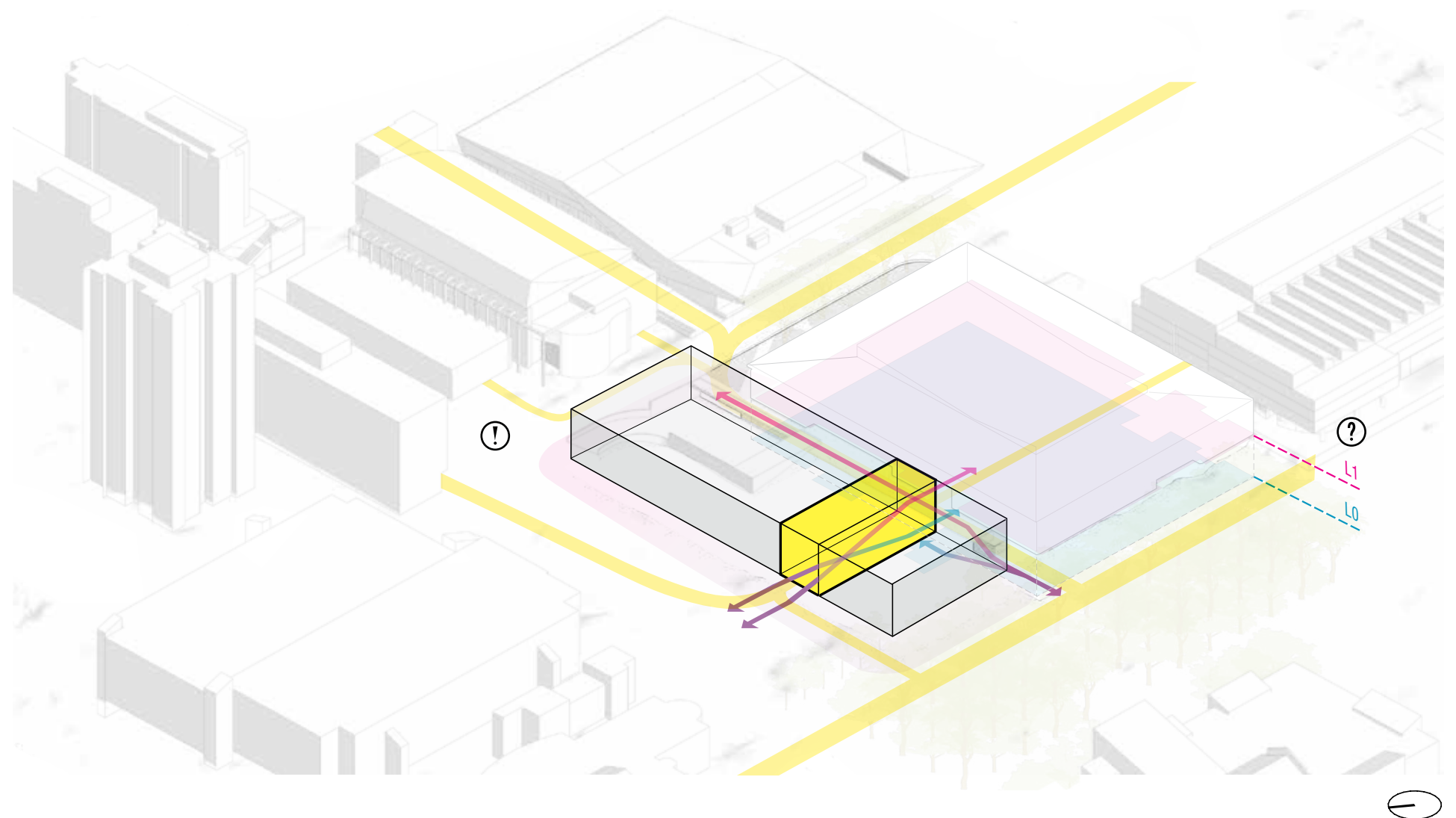
DESIGN RESPONSE

Accessible Connections

Addressing the adjacent connection to UBC Life requires reconciling the vertical level change between L1 and L0 in order to address accessibility and approach.

The exterior space between the UBC Life Building and the New Recreation Centre has the potential to form a significant new pedestrian connection to the new bus terminus and Athlete's Way to the east and the north-south pedestrian connections to the student services complex and bosque.

There's an opportunity to extend the public realm through the building, connecting the student services complex to the Arrival Court and Green.



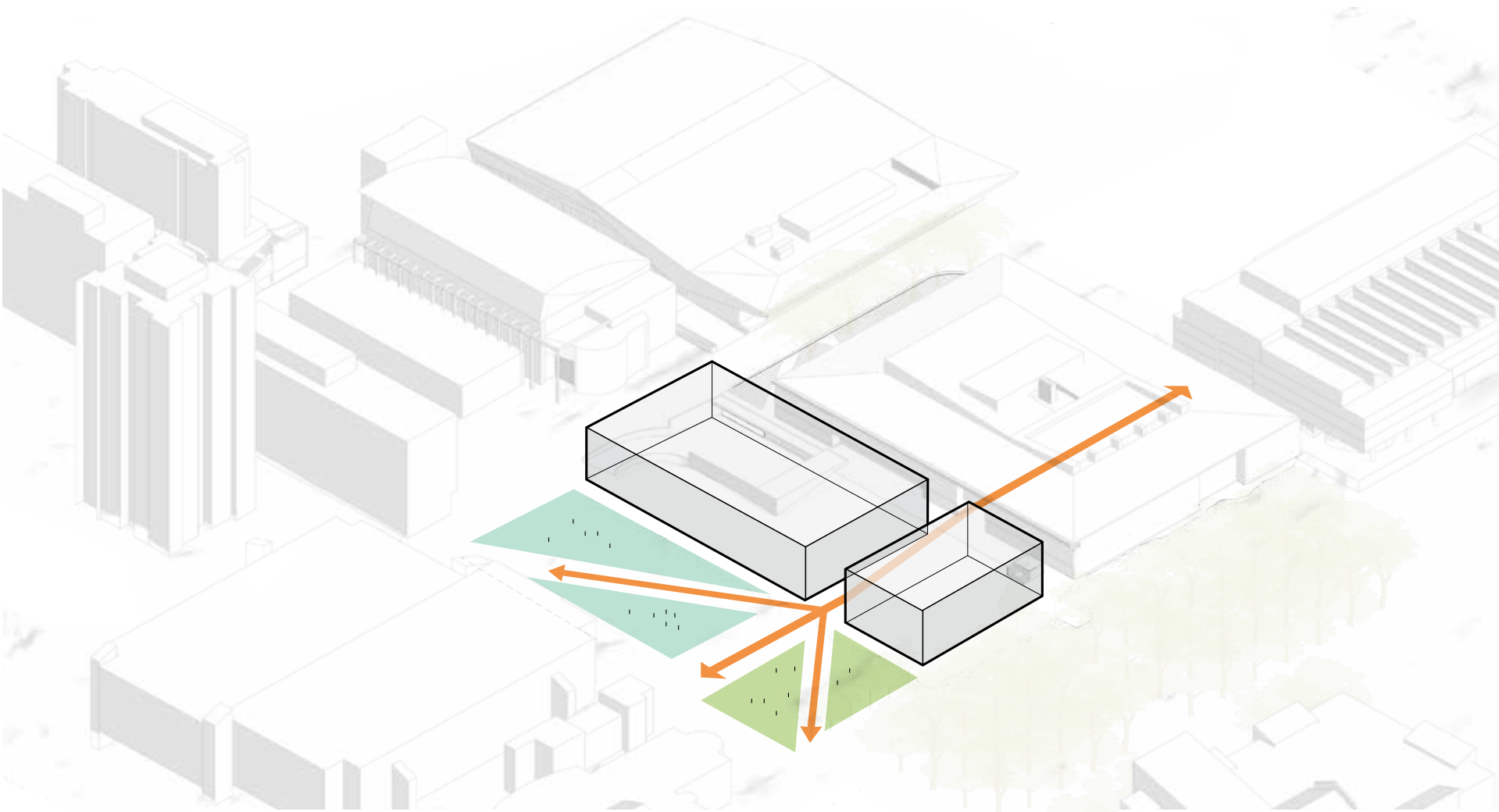
Public Realm

FROM C+CP DESIGN BRIEF

Campus Commons: The Porch and The Bosque
To extend the Porch around the new recreation centre, tying the new building into the larger civic hub while also extending and connecting the social life of the new building to the Bosque, the green and (possibly) the arrival court.

DESIGN RESPONSE

Delineating the Public Realm
Once the extension of the public realm through the building has been established, opportunities for animating the Arrival Court and the Green will enhance the experience of the north entrance as the new face of health and wellness in the University Boulevard Precinct.



Building Mass

FROM C+CP DESIGN BRIEF

Athlete’s Way and Athletics + Recreation Hub

The new recreation centre will create an inviting place for arriving athletic teams at the arrival court and Athlete’s Way. In doing so it should prioritize Pedestrian movement and comfort and reinforce the hub’s identity.

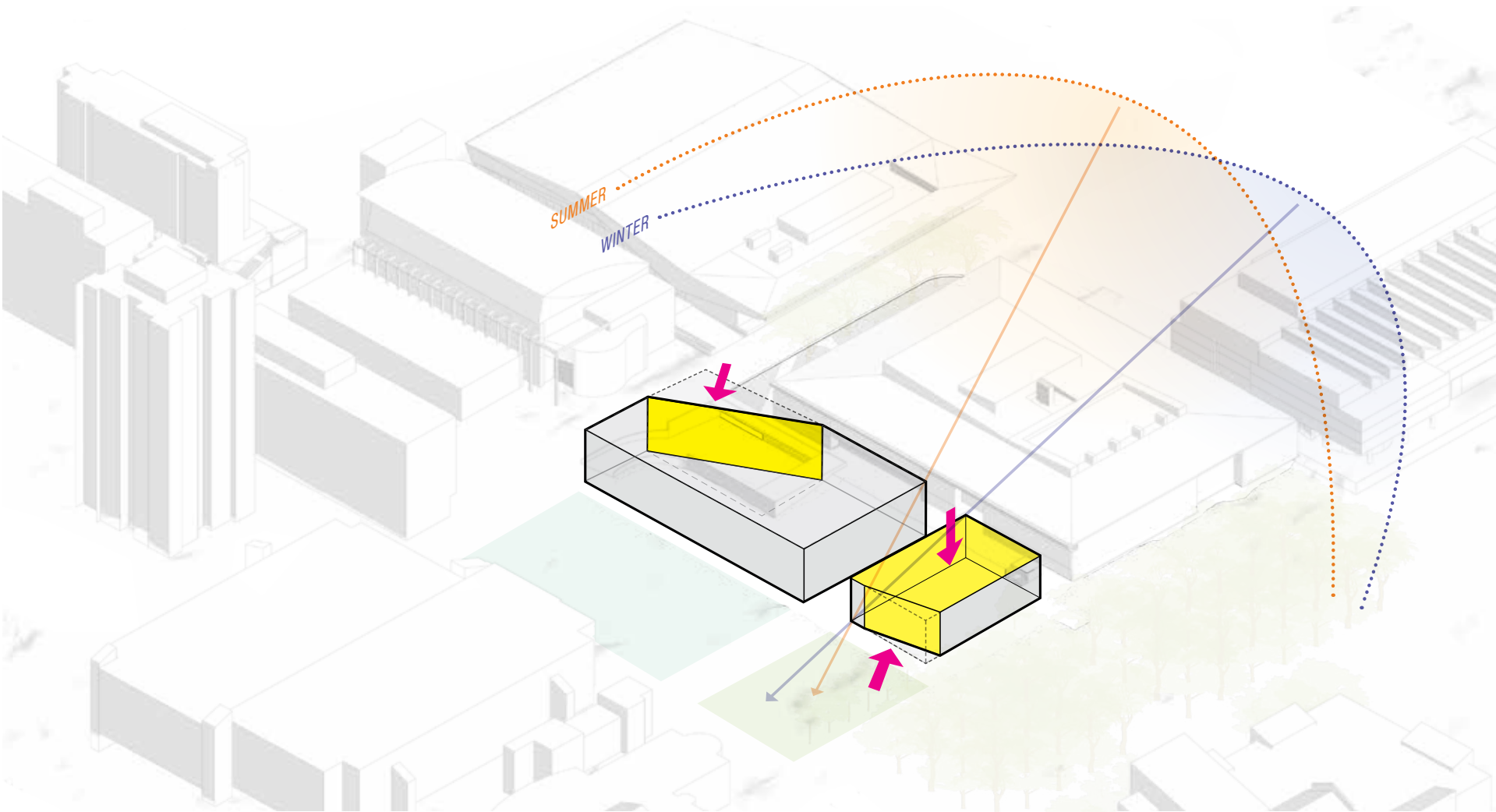
DESIGN RESPONSE

Shaping the Building Mass

Reducing the building height for the west mass minimizes shadowing on the public realm to the north.

Tapering the massing at the corners directs visitors to the primary entrances.

Tapering the massing to avoid conflict with the existing loading area reduces the massing on the east edge.



Programming

FROM C+CP DESIGN BRIEF

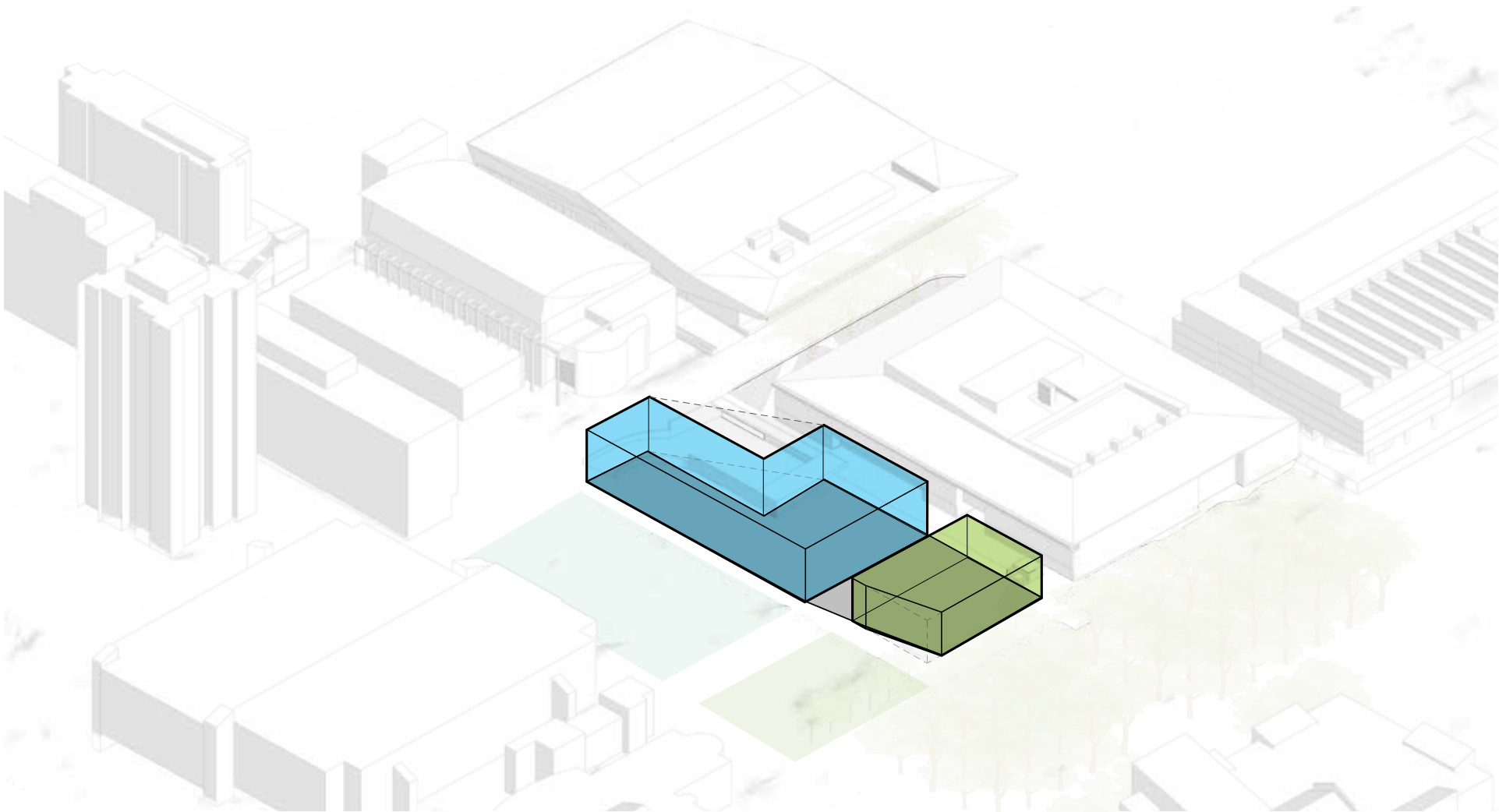
Formal and Informal Play

The new recreation centre is a 9,377 gsm (101,000 gsf) UBC Athletics and Recreation building and will provide much needed recreation space including three non-varsity gymnasias, an interior walking track, an administrative suite, active spaces including space for strength training, functional fitness, cardio, stretching, and multipurpose studios, meeting rooms, change rooms, and back of house.

DESIGN RESPONSE

Programming the Massing

The fundamental spatial requirements of the program elements suggest gymnasias programming on the east and fitness programming on the west sitting atop a unifying podium.



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Design Policy Compliance

Architectural

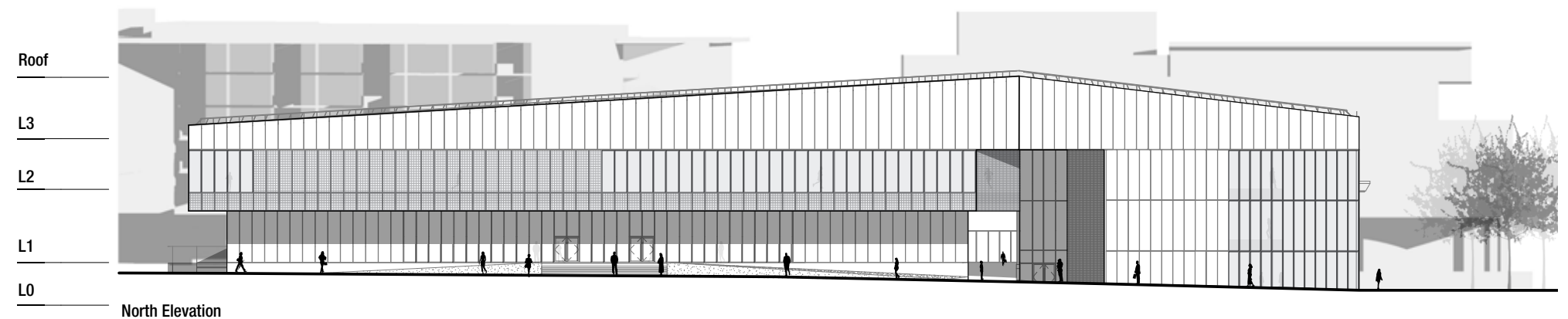
Height and Massing

Building Height and Program

The minimum building height was determined by the clearance required for the athletic program spaces contained within. The roof peak aligns with the main north-south exterior connection and the north, south and west entrances, which all connect to the main lobby atrium along this axis.

The interior volume at this peak contains fitness programming on the western portion and a mechanical penthouse above the gymnasium on the east. This peak slopes down to the west and east; the west contains an outdoor space and two double-height interior volumes to face the bosque; while the east steps down to the height of the tall gym volumes and running track.

By reducing the building height on the narrow east and west edges of the building, a foreshortened perspective is experienced along the long north facade, thus reducing the perceived building mass.



Looking south towards the roof peak that marks the exterior walkway and north entrance, with the building height sloping down to the west edge for improved solar access to the public realm



Accessibility

Existing Issues of Accessibility

The existing north access to the UBC Life Building is extremely limited in terms of accessible connections to both L0 and L1. The elevation is broken with long runs of stairs going both up and down, as well as a lengthy and unpleasant ramp to the basement level.

Existing Accessibility Issues



Accessibility

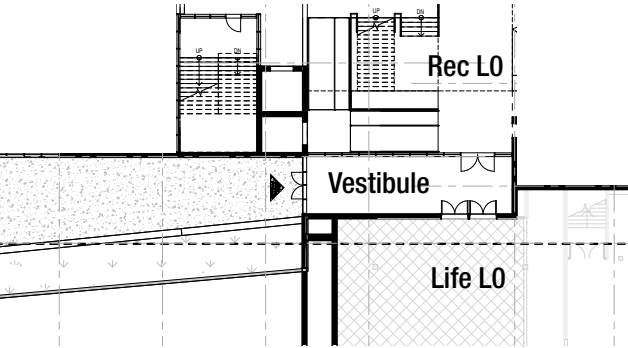
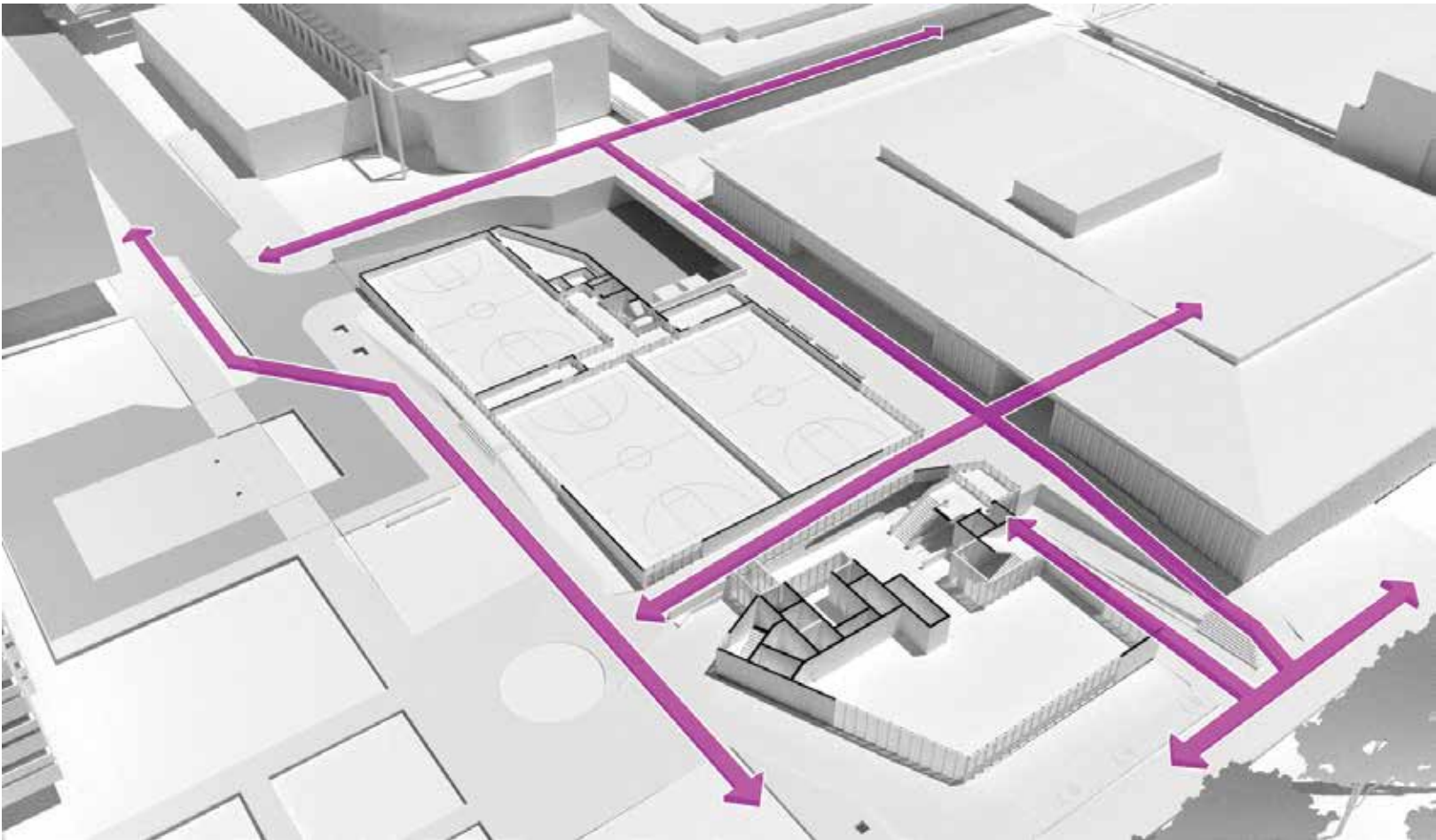
Creating New Connections

The New Recreation Centre creates new connections to these existing disparate levels and integrates the experience into the facility itself. A north-south sloped exterior walkway extends the student services spine from the Nest and Life buildings to the new north public realm.

The Recreation Gallery between the Life Building and New Recreation Centre is at the same level as the existing L1 of Life. This passage now extends to the west with a new accessible connection to the bosque and greater campus beyond.

A new sloped walkway also extends to the West Entrance from along the bosque. This entrance has a shared vestibule with direct level access to both the Life Building and the New Recreation Centre.

Proposed Accessibility Solutions

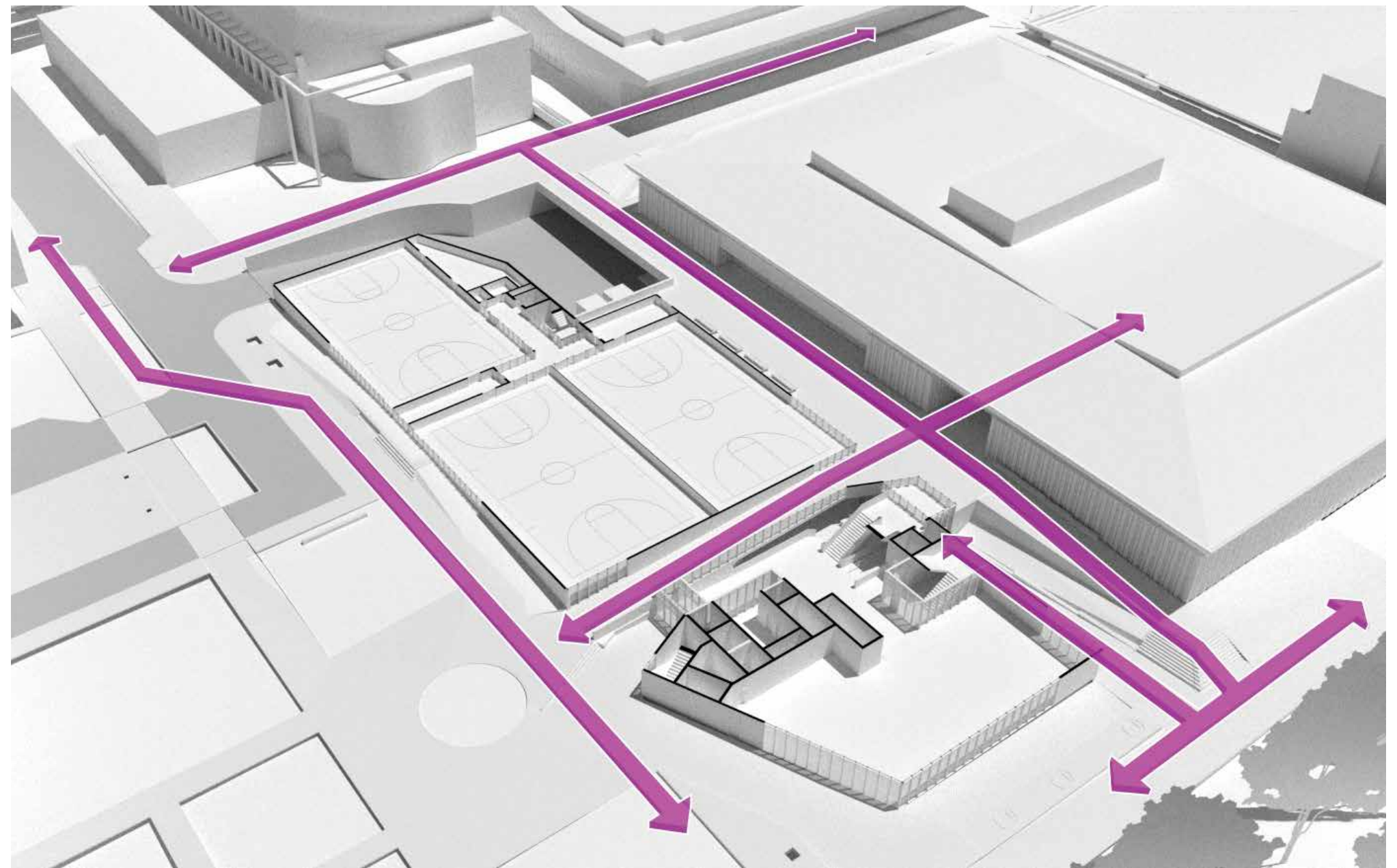


Pedestrian Circulation

Pedestrian Priority

The network of exterior pedestrian connections that exist through the site directly informed the massing of the building. Most significantly, the exterior walkway that bisects the east and west massing extends both the exterior public realm between the buildings, while also weaving the interior of the New Recreation Centre and north public realm with the existing Life and Nest Buildings.

The east-west connection between the existing Life building is heavily used by people arriving to the campus from the main bus loop and heading to the north-west heart of campus. The north edge of the New Rec Centre defines the pedestrian experience of Student Union Boulevard which links the Pacific, Exchange and Gage student residences to campus. Athlete's Way continues past the east edge of the building, animated by the running track above the existing loading bay, and extending into the new public realm and beyond. The west edge enhances the pedestrian experience that connects various student service building, from Brock Hall to the Nest; animated with significant glazing of the fitness levels facing the Bosque, as well as the welcoming main West Entrance.



Looking north along Athlete's Way, with a
glimpse into the running track cantilever



Entrances

Building Entrance Identity

Three main building entrances are intuitively represented through massing, weather protection and transparency while creating direct accessible connections to the main lobby atrium via entrance vestibules. The covered nature of these entrances extend the building into the landscape, and vice versa.

The North and South Entrances align with the main exterior walkway that bisects the building and is further emphasized by the roof peak. The West Entrance is identified with a large cantilever over it's entire approach, and is expressed as a double height transparent element under the main soffit line. All entrances are welcoming with ample views into the lobby, gym and/or fitness areas along their approach.





Generous North Entrance announces the main building entrance to the public realm, and offers views into various levels of the facility



West Entrance facing the Bosque, offering weather protection with a large cantilever and views into the fitness area



South Entrance adjacent to the exterior walkway that connects to the Life Building, with views into the gymnasiums that define this new Recreation Gallery

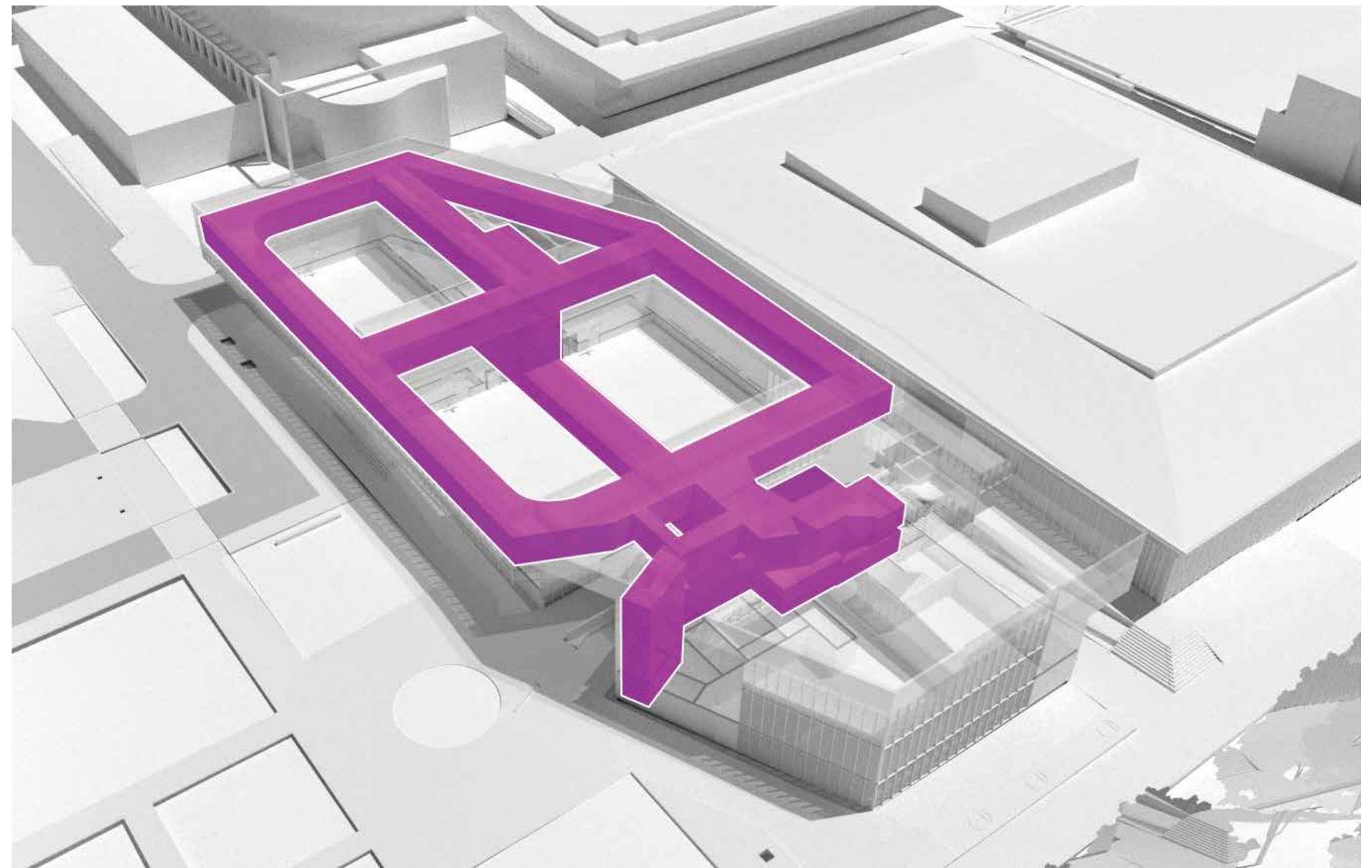
Public Spaces

Creating New Connections

Due to the existing levels of the Life Building, and an ambition to knit these existing disparate elevations together, the main entrance level of the New Rec Building matches L0 of the Life Building, and the second level matches L1 of the Life Building. These two levels are interconnected by the main north-south exterior walkway; the exterior stair and ramp between Life and Rec; as well as an interior feature stair and elevator.

The exterior entrances are extended into the interior by way of a continuous soffit condition. Each entrance leads to the main lobby atrium, visually connecting three levels of the facility. From the main lobby, other public spaces of the facility can be accessed. The reception desks, changerooms, multi-purpose room, admin offices, Physical Activity Office and controlled access to fitness are all available on this level. A stair and elevator takes users from this level to the gymnasia on L1.

Furthermore, there is a direct connection from the lobby to the running track and multi-purpose room on L2, both of which are publicly accessible.





Looking into the gyms from the south-west edge of the walking track toward the north public realm



Main lobby atrium looking south towards stairs that go from the south entrance vestibule up to the running track and down to the main level of the facility



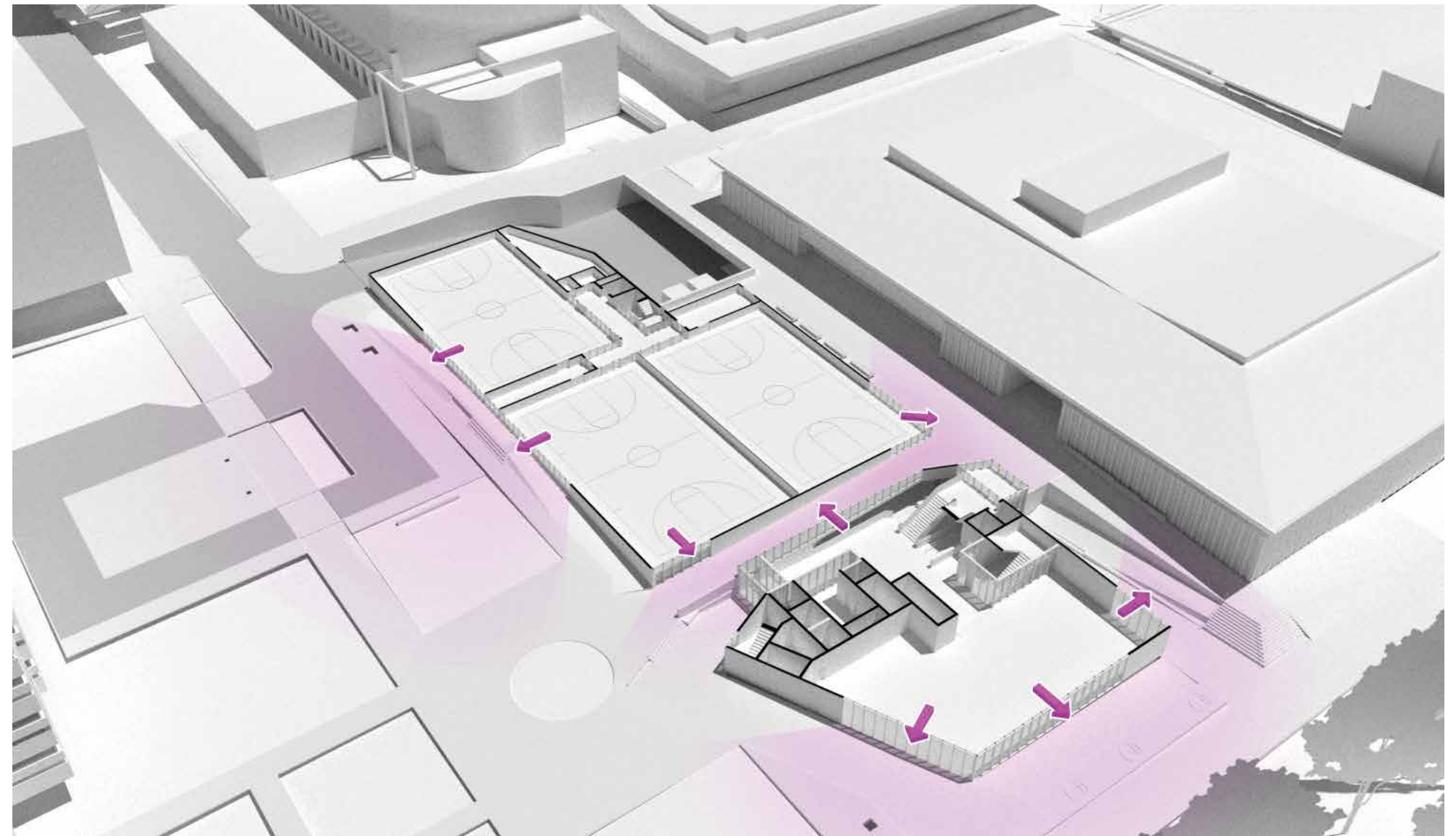
Looking north into the main lobby atrium from the south entrance vestibule

CPTED

Connecting to Recreation and the Campus

Strategic placement of windows, benches and landscaping further enhance this connection and encourage a dialogue between interior and exterior. Having both formal and informal recreation on display draws the larger campus into the sphere of health and wellness. People inside also have the opportunity to locate themselves within the surrounding campus, both physically and metaphorically.

In terms of CPTED, transparency along the ground plane creates passive surveillance of the public realm. Site lighting assists this visual control to enhance the safety and legibility of pedestrian routes to and from the larger campus.



Looking from the ground level fitness through the double-height space that faces north-west towards the bosque and public realm



Sustainability

The project integrates sustainability principles related to all three core tenets: environmental, social and economic. As a guiding framework, the LEED checklist will qualify the project as LEED Gold. To ensure environmental performance, quantitative energy use metrics are being measured and targeted per the C+CP Design Brief. To qualify the universal design, the project will be pursuing the Rick Hansen Foundation Accessibility Certified Gold.

Social sustainability is a driving principal in the core concept of the project, in terms of accessibility and inclusivity. The facility strives to be a new destination for health and wellness open to the entire campus community. New accessible pedestrian connections across the site and into both the new building and the existing Life Building are enabled by this project. A central exterior north-south sloped walkway divides the building mass in two, creating a new connection from the existing L1 of the Life north concourse, and connects this space to the new north public realm. This walkway aligns and connects both the north and south entrances to the New Recreation Centre. In addition, a West Entrance across from

the Bosque leads to a new shared vestibule that connects LO of the Life Building and the main lobby atrium of the New Recreation Centre.

The environmental performance of the project has been considered and embedded into the core design. The overall massing and glazed areas address solar access to the exterior public realm and interior spaces. The majority of glazing on the heating-dominated fitness and gymnasium areas are north facing, while the minimal glazing that is south-facing is sheltered by overhangs. Furthermore, passive cooling through natural ventilation will be incorporated into these areas as well. The mechanical system and envelope assemblies are designed through energy modelling to meet the TEDI, EUI and DHW targets outlined in the Design Brief as follows:

- Energy use intensity (EUI) 130 kWh/m²/yr
- Thermal energy demand intensity (TEDI) 30 kWh/m²/yr
- Domestic hot water (DHW) 15 kWh/m²/yr

The best approach to limit embodied carbon is to limit the amount of material required. This design approach fits with the program, where exposed structure and services will limit the amount of wall and ceiling finishes. Furthermore, a Life Cycle Analysis is underway to quantify the elements which are contributing and identifying opportunities for optimizing the concrete mixes, insulation types, and structural steel cross sections to minimize their carbon impacts through materials, manufacturing, transportation.

From an economic perspective, the project judiciously strives to maximize value for future users by creating a durable and flexible building that will last generations. Both material selection and design layout align with this goal.

Sustainability Workshops 1 and 2 were held with various stakeholders, and the following four themes emerged to guide the project design in pursuit of LEED Gold:

Energy and Carbon

Selecting the best system to support low-carbon operations.

Site, Water and Landscape

Weaving together the relationship between the public realm and building to maximize environmental benefit.

Materials

Sensible approach: measured use of materials and finishes to limit embodied carbon.

Social Sustainability

Enhancing accessibility and embedding inclusivity into the building and public realm design.

Documented

Targeted

Under Investigation

Cost Item

NO

++ + ? \$ X

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UBC Rec North: GOLD-level Checklist

LEED v4 BD+C: NEW CONSTRUCTION

Date Issued: 2021 02 18 Issued for AUDP & DP

USGBC Project No.: Not Yet Registered

Project Total

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110 points

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Integrative Process

Possible Points: 1

IPc1

Integrative Process

Location + Transportation

Possible Points: 16

LTc1

LEED for Neighborhood Development Location

LTc2

Sensitive Land Protection

LTc3

High Priority Site

LTc4

Surrounding Density and Diverse Uses

LTc5

Access to Quality Transit

LTc6

Bicycle Facilities

LTc7

Reduced Parking Footprint

LTc8

Green Vehicles

Sustainable Sites

Possible Points: 10

SSp1

Construction Activity Pollution Prevention

SSc1

Site Assessment

SSc2

Site Development: Protect or Restore Habitat

SSc3

Open Space

SSc4

Rainwater Management

SSc5

Heat Island Reduction

SSc6

Light Pollution Reduction

Water Efficiency

Possible Points: 11

WEp1

Outdoor Water Use Reduction: 30%

WEp2

Indoor Water Use Reduction: 20%

WEp3

Building-Level Water Metering

WEc1

Outdoor Water Use Reduction

WEc2

Indoor Water Use Reduction

WEc3

Cooling Tower Water Use

WEc4

Water Metering

Energy + Atmosphere

Possible Points: 33

EAp1

Fundamental Commissioning and Verification

EAp2

Minimum Energy Performance

EAp3

Building-Level Energy Metering

EAp4

Fundamental Refrigerant Management

EAc1

Enhanced Commissioning

EAc2

Optimize Energy Performance:

EAc3

Advanced Energy Metering

EAc4

Demand Response

EAc5

Renewable Energy Production

EAc6

Enhanced Refrigerant Management

EAc7

Green Power and Carbon Offsets

6

2

5

	Y			
	Y			
	3			2
	1			1
		1		1
	2			

Materials + Resources

Possible Points: 13

MRp1

Storage & Collection of Recyclables

MRp2

Construction and Demolition Waste Management Planning

MRc1

Building Life-Cycle Impact Reduction

MRc2

Building Product Disclosure & Optimization: Environmental Product Declarations

MRc3

Building Product Disclosure & Optimization: Sourcing of Raw Materials

MRc4

Building Product Disclosure & Optimization: Material Ingredients

MRc5

Construction & Demolition Waste Management

Indoor Environmental Quality

Possible Points: 16

IEQp1

Minimum IAQ Performance

IEQp2

Environmental Tobacco Smoke (ETS) Control

IEQc1

Enhanced Air Quality Strategies

IEQc2

Low-Emitting Materials

IEQc3

Construction IAQ Management Plan

IEQc4

Indoor Air Quality Assessment

IEQc5

Thermal Comfort

IEQc6

Interior Lighting

IEQc7

Daylight

IEQc8

Quality Views

IEQc9

Acoustic Performance

Innovation + Design Process

Possible Points: 6

IDc1.1

Innovation: Occupant Comfort Survey

IDc1.2

Innovation: To Be Determined, related to Accessibility / Equity

IDc1.3

Innovation Pilot: All Gender Washrooms / LEED O+M Starter Kit

IDc1.4

Exemplary Performance: Access to Quality Transit

IDc1.5

Exemplary Performance: Construction Waste Management

IDc2

LEED™ Accredited Professional

3

1

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Regional Priority Credits

Possible Points: 4

RPC1.1

Regional Priority: Optimize Energy (10 pts)

RPC1.2

Regional Priority: Enhanced Commissioning (5 pts)

RPC1.3

Regional Priority: Building Life-Cycle Impact Reduction (3 pts)

RPC1.4

Regional Priority: Rainwater Management - 2 Pts

Energy & Carbon Pillar

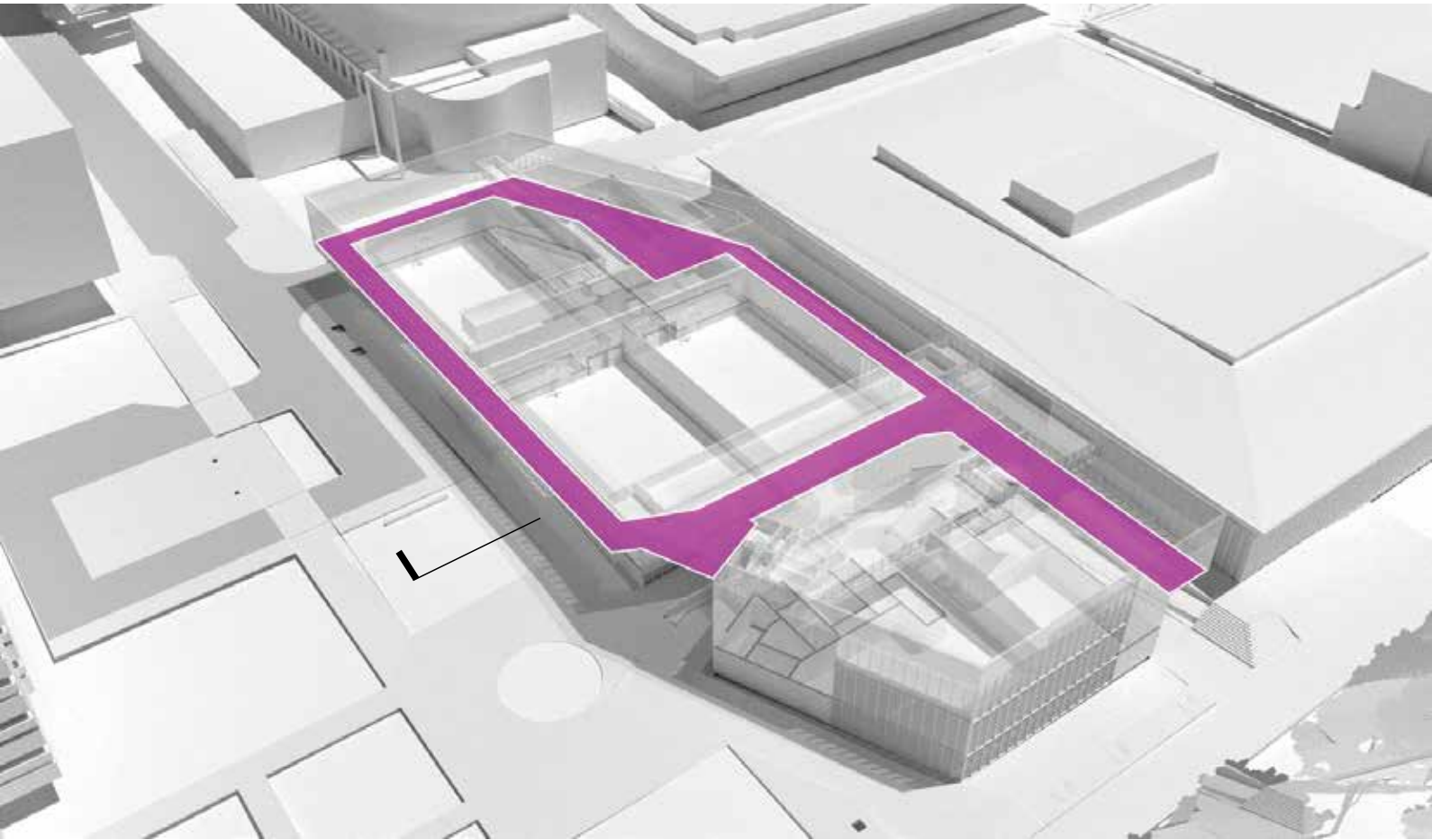
Site Water & Landscape Pillar

Materials Pillar

Social Sustainability Pillar

= Credit Tied to UBC Implementation Guide

Weather Protection



Continuous Soffit

The running track that wraps the three gymnasia integrates a covered walkway into the massing of the building along the north and south elevations, creating a weather protected zone that is continuous between all building entrances.



North Elevation

The main pedestrian route along Student Union Boulevard offers weather protection integrated into the massing of the building, with seating below and views into the recreational spaces within.



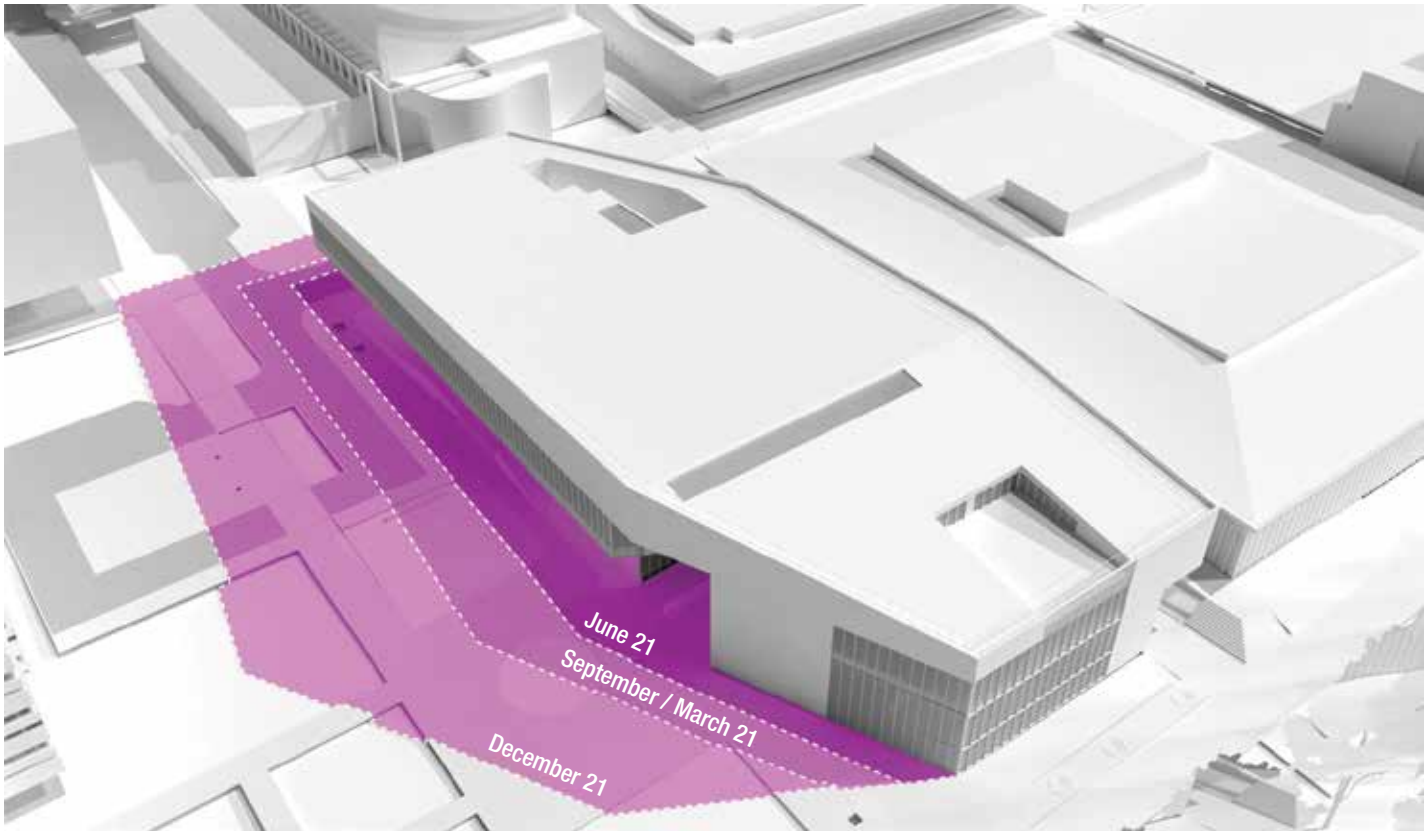
Looking east along the north elevation, which continues the pedestrian connection along Student Union Boulevard and offers weather protection, seating, and views into the gymnasium

Solar Access



Recreation Gallery

Both the horizontal and vertical dimensions and proportions of the space between the Life Building and the New Recreation Centre were carefully considered to maximize solar access along it's length. The massing steps back on this level to further liberate the public realm, while also providing solar protection to the heating-dominated fitness and gymnasium spaces that front this Recreation Gallery.



The Green

To maximize solar access to the north public realm, the massing slopes down significantly to the west. The above diagram illustrates shadowing at noon on the summer and winter solstices and both equinox.





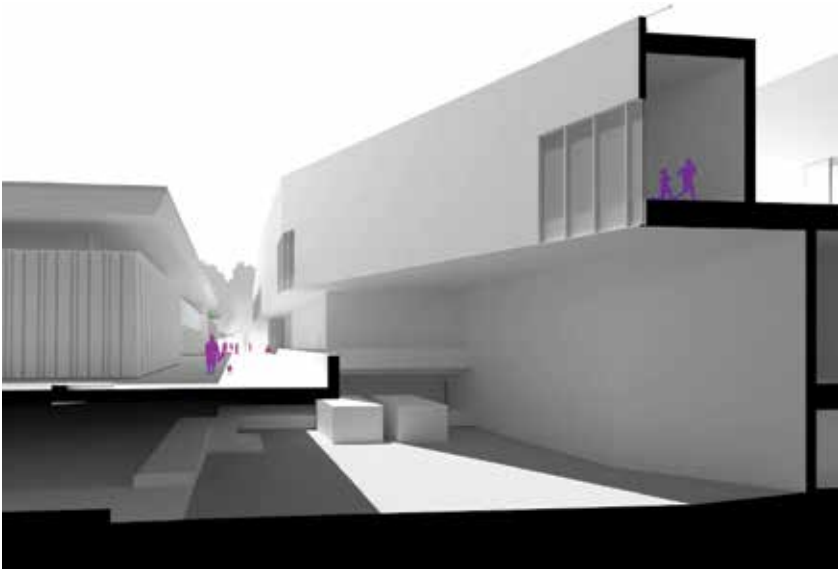
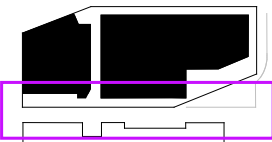
Looking south along the bosque, illustrating the alignment of the Life and Rec building faces and the transparent facade facing north and west

Space Between

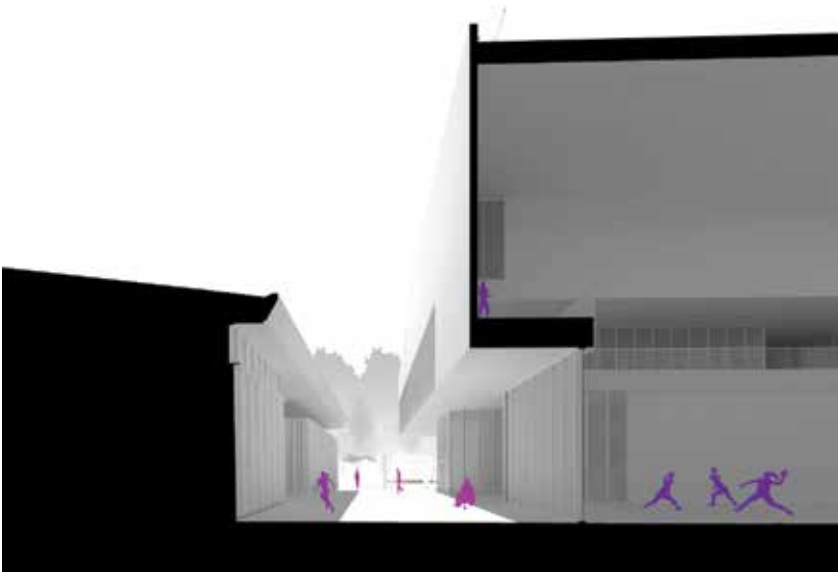
Recreation Gallery

The proportion, materiality, alignment, colour, transparency and shape were all carefully considered when designing the space between the existing Life Building and the New Rec Building along it's entire experience. The space serves to orient pedestrians to the adjacent facilities, but also to the larger campus through the recognizable wayfinding elements of the Bosque and Athlete's Way.

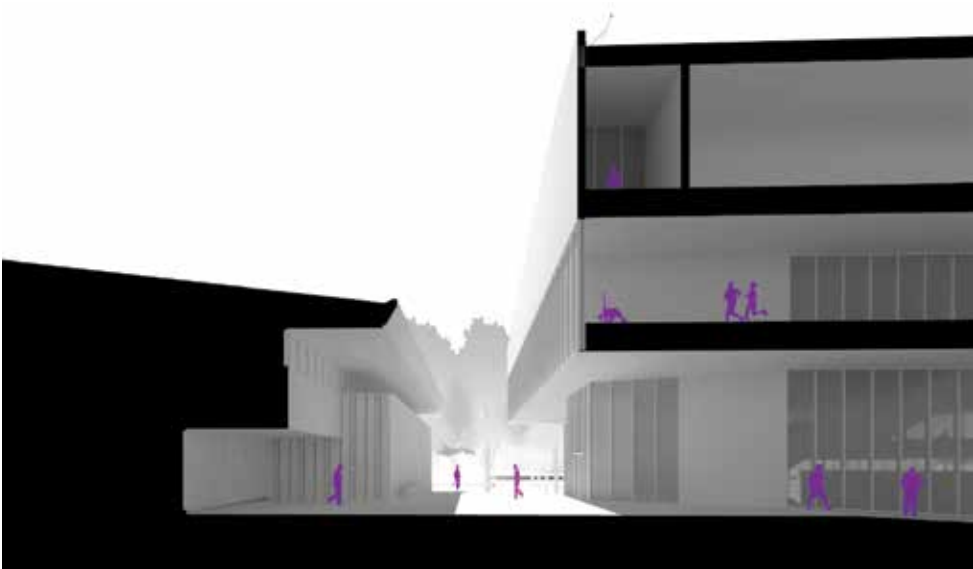
With buildings on both the north and south, the space is sheltered, with it's own micro-climate. Covered space wraps the south edge, offering rain protection, shading for the heat-dominated gymnasias, while still allowing sunshine to fill this edge and, along with views into the gymnasias, encourage dwelling. Light-coloured cladding will reflect light into the shaded north edge of Life, further illuminating the space. All these elements come together to offer a comfortable place to pause.



The expanded walkway at the loading bay, with views into the running track above



Tall glazed sections offer views into the large gymnasium spaces



The new exterior sloped walkway aligns with the main north entrance to the Life Building, accessibly extending the student services spine through and into the New Recreation Centre



The South Entrance vestibule to the New Recreation Centre also aligns with the entrance to Life

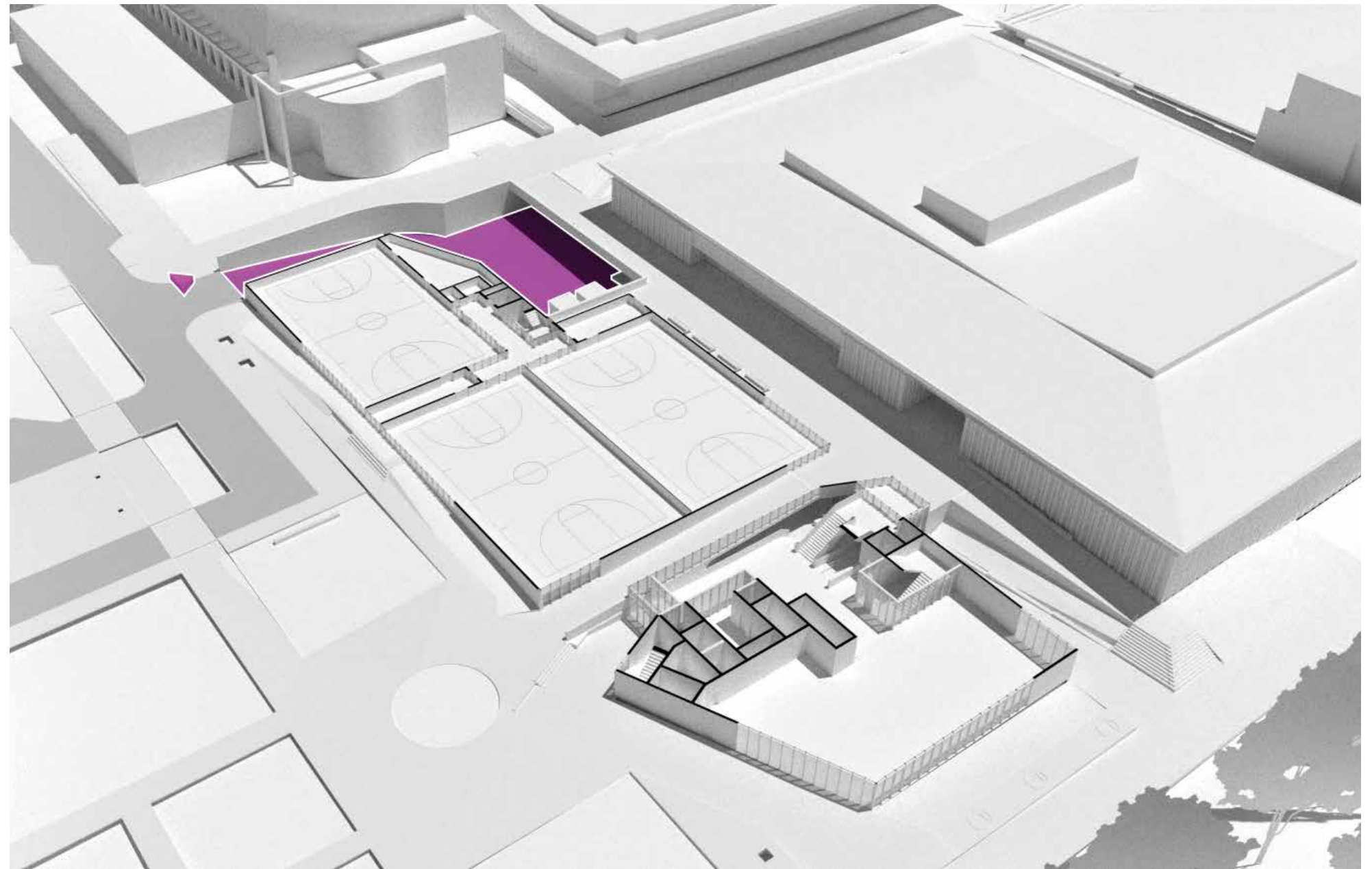
Looking west toward the bosque from between
UBC Life and Rec buildings, with views into the
gym and the south entrance vestibule

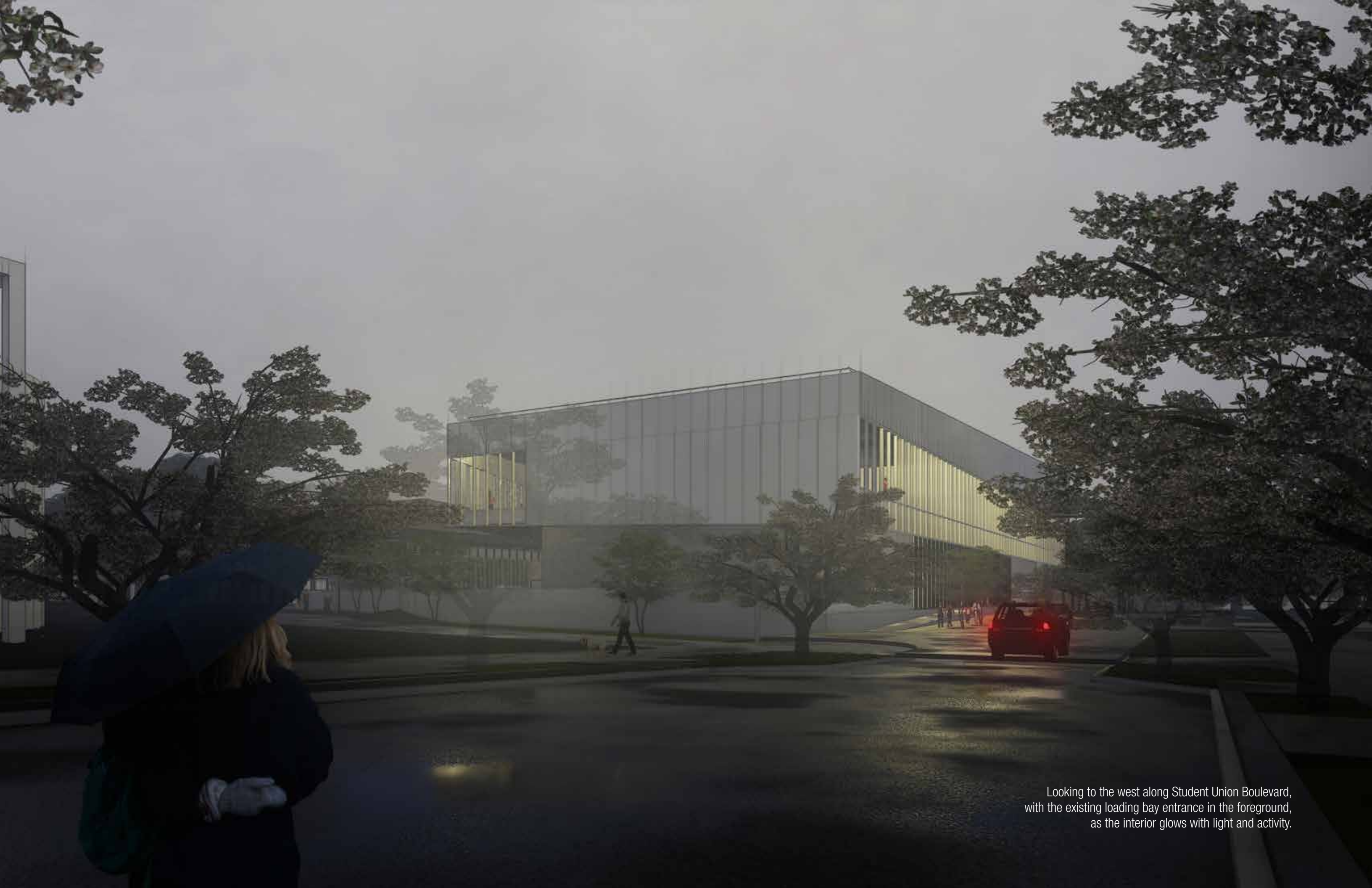


Access and Loading

Access and Loading

The existing loading bay located at the north-east edge of the Life Building, creates significant constraints on the building position and massing, as well as the pedestrian connections through the site in both the north-south and east-west direction. The project proposes to expand the east-west connection to address this significant pinch point - refer to the following pages.





Looking to the west along Student Union Boulevard,
with the existing loading bay entrance in the foreground,
as the interior glows with light and activity.

Loading Bay and Walkway

Existing Loading Bay and Walkway



Looking north along west dock apron



Looking south along west dock apron towards Life



Looking west along Life Building and upper loading bay wall



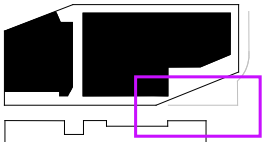
Looking north-east to loading bay entrance ramp



Looking south-east to loading bay compactors and south dock apron



Looking north-west towards Life Building and upper loading bay wall



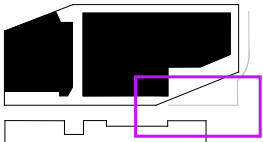
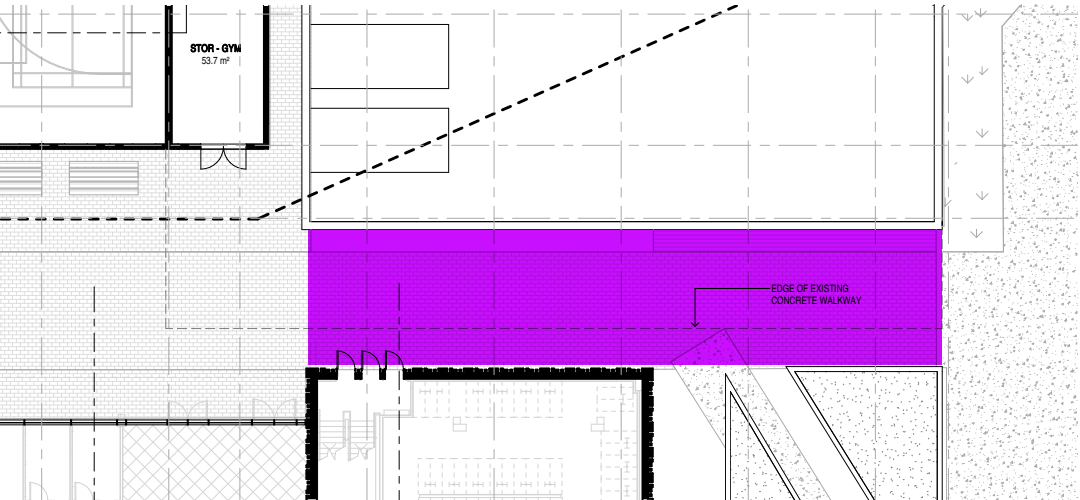
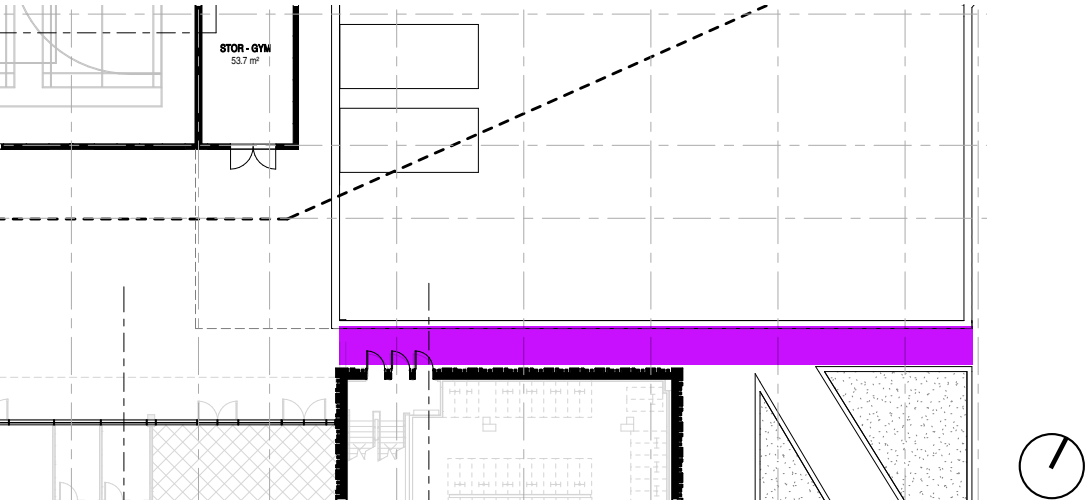
Existing Walkway Wall Remains

Significant pedestrian pinch point to south of Life Building



Walkway Wall Relocated North

Expanded public realm to south of Life Building



West Entrance and Stairs

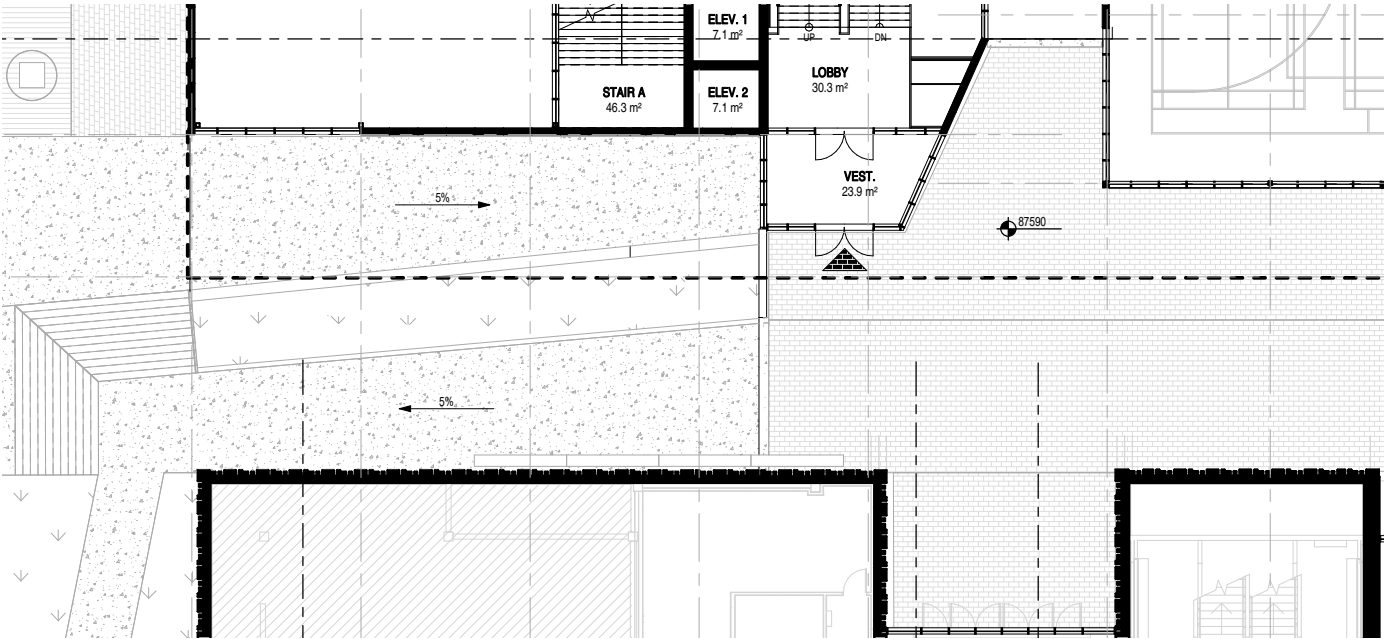
Existing Loading Bay and Walkway



Looking south along between Life and the Bosque



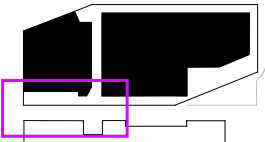
Looking north-east from the Bosque towards Life



Looking south-east towards L0 and L1 Life Building entrances



Looking south-east towards Life stairs up to L1





Looking east toward the West Entrance, with the new ramp and stair connection from the existing Life L1 level to grade along the Bosque

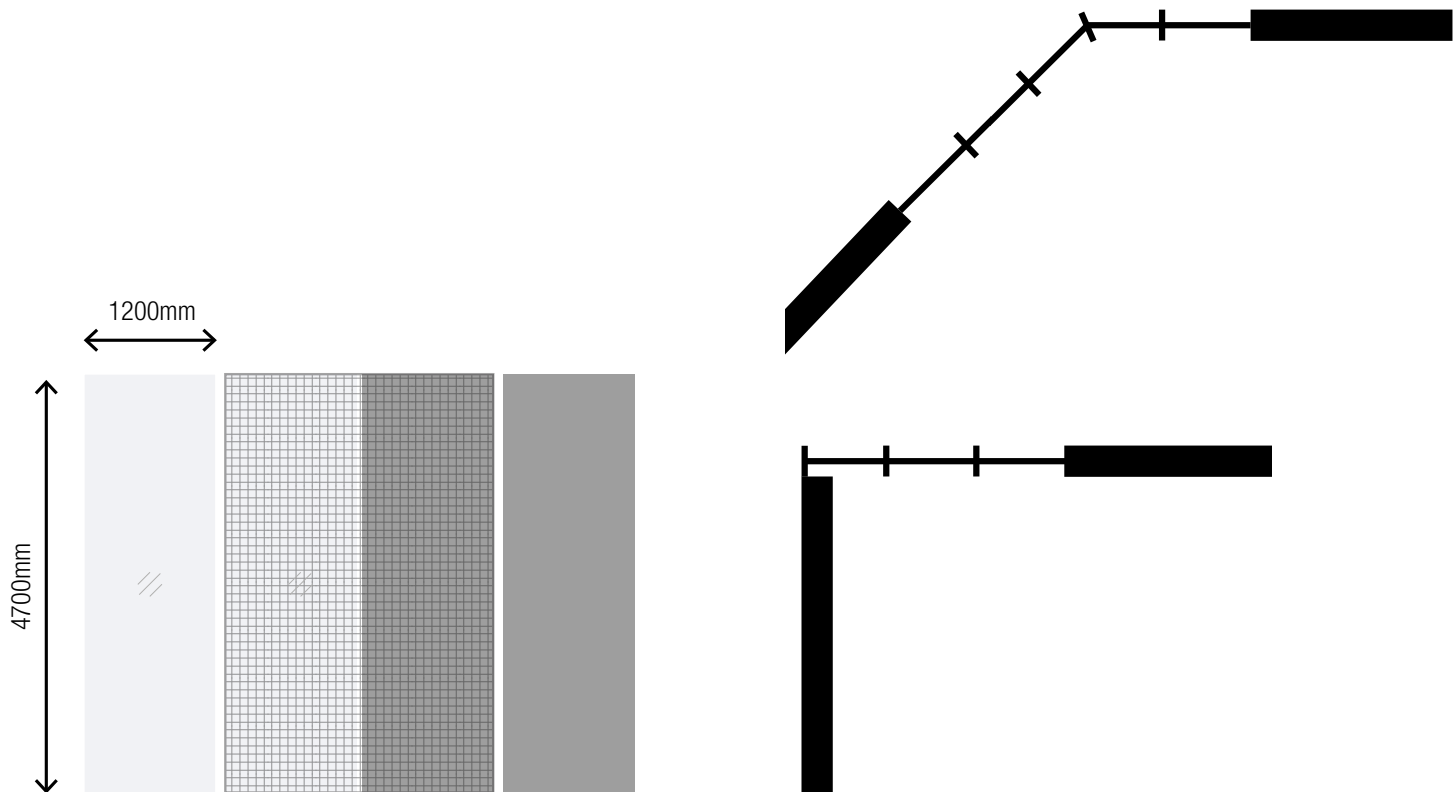
Material Approach

Robust, Honest, Minimal

With a number of new Athletics facilities in this precinct over the last several years, a clear design language has emerged that represents the ‘Contemporary District’ with a lightness and optimism to the material palette. The intent for the New Recreation Centre is to take inspiration from this material palette, while contextualizing it to the fitness program within.

For the interior, a durable, cost-effective and minimal material palette is most appropriate. This includes concrete floors, exposed ceiling services, and exposed structure. The exterior continues this approach, with a unitized curtainwall and metal cladding system with metal bar grate layered in specific locations. A metal bar grate soffit extends this language as a layered, semi-transparent experience that unifies horizontal and vertical planes.

This minimal, monochromatic material palette, along with a similar approach to detailing, assists to descale the overall building mass by simplifying it’s expression.



A standard cladding module was chosen to stretch the budget and condense the construction schedule. This system allows larger panels to be lifted into place as a single complete envelope element; thus simplifying the process and result. There are four elements: glazed; glazed with bar grate; solid with bar grate; solid.

Plan diagram of the ‘rules’ for locating solid and transparent elements within the unitized system at both a perpendicular and obtuse corner.



Irving K Barber Learning Centre (left) and the UBC Aquatic Centre (right) are both in the Contemporary District and utilize a light coloured cladding material and abundant glazing

Looking east approaching the weather-protected West Entrance, with views into the adjacent fitness levels

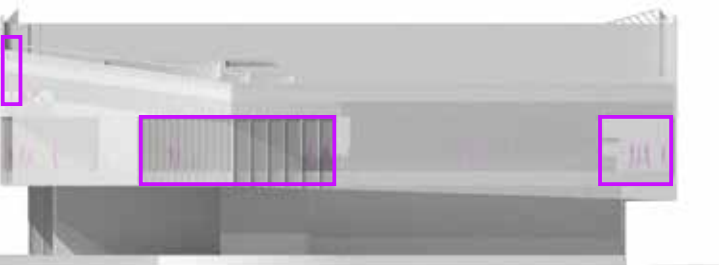
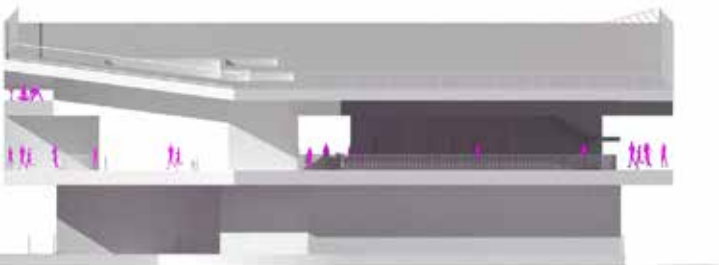


Elevation Strategy

The interior program was diagrammed to understand moments of intense occupation; glazing was placed at these locations following the previously outlined rules.

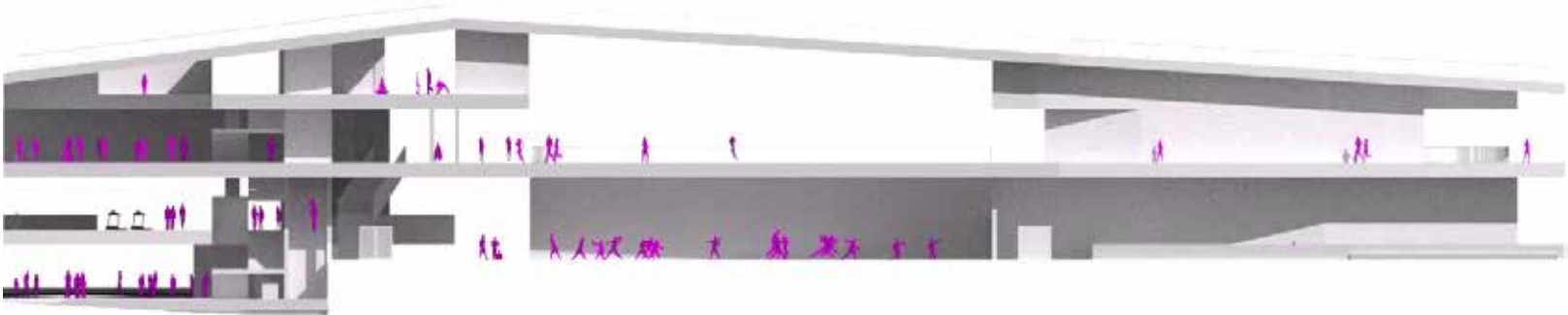
East Elevation

Locating glazing on both faces of each corner of the running track allows users to always have a view to the exterior in front of them, helping to locate themselves in the larger campus.



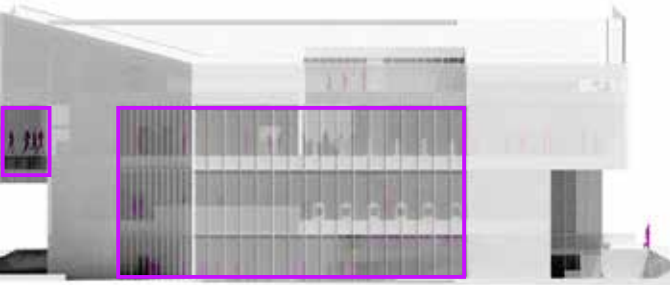
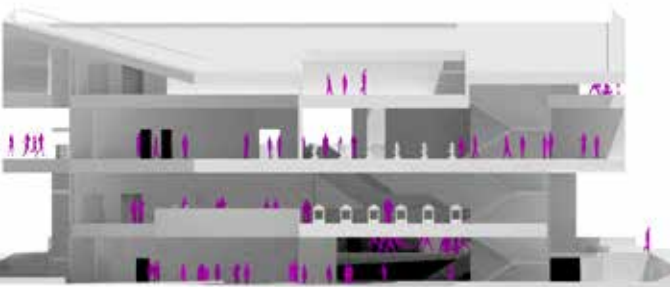
South Elevation

Glazing is located along the approach to the west entrance, offering views into the fitness. The south entrance vestibule and south gym wall are transparent to activate the space between Life and Rec.



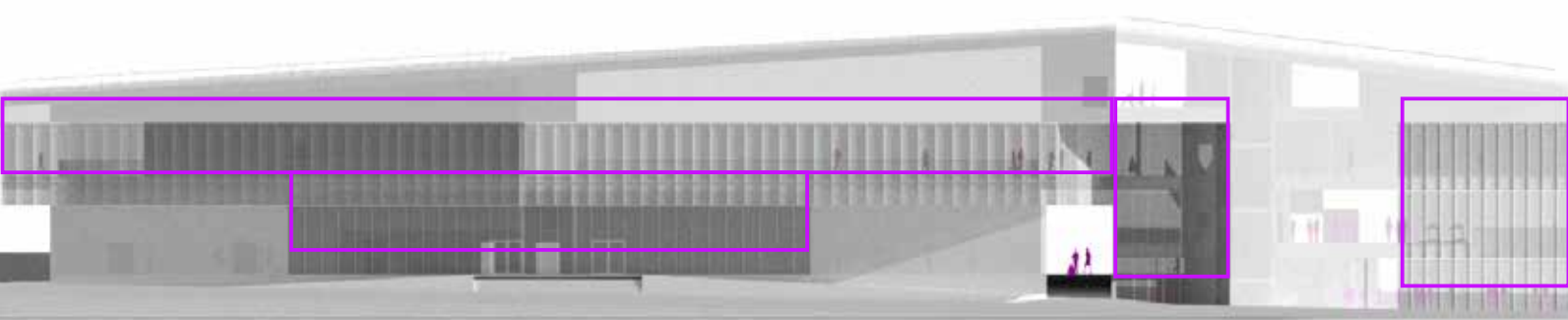
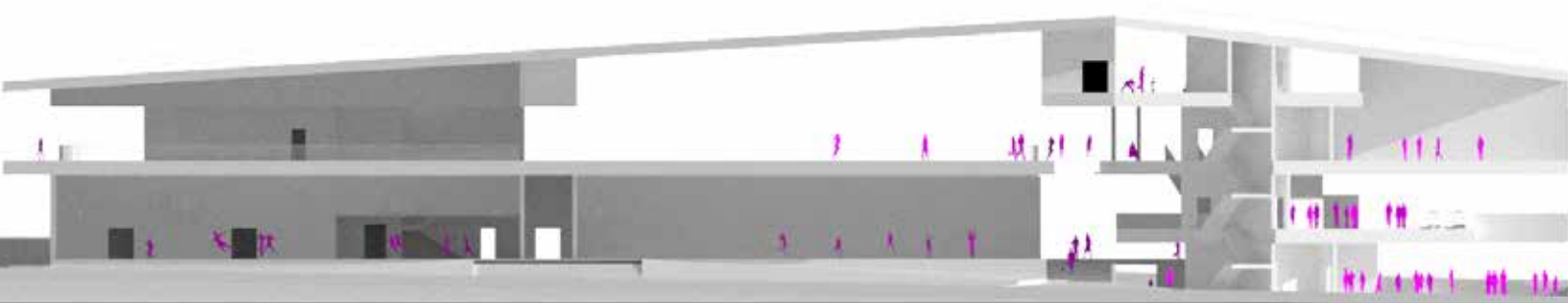
West Elevation

Four levels of fitness face directly to the bosque to the west and the new public realm to the north; glazing was maximized at these edges to animate the plaza and create a strong connection to the immediate trees. An outdoor fitness area on the upper level amplifies this connection; sweating in the treetops.



North Elevation

As the most visible face of the New Recreation Centre, it has an important relationship to the new public realm. Glazing along the entire length of the running track will animate the plaza below, both day and night, and offer a unique experience to those exercising. The lower-level gymnasias also have a visual connection, offering views through the building to the space between Life and Rec.



Universal Design

Designing for Everyone

Inclusive design can and should be seen as a means for creative design thinking - as a springboard for innovation - not simply an application of building code and regulations. Inclusive design should be invisible in a way - designed so that people are not even aware that they are using an accessibility feature.

Rick Hansen Foundation Accessibility Certification

We will be working with the Rick Hansen Foundation Accessibility Certification™ (RHFAC) rating survey as a framework to organize our process, and we will expand on this by engaging in ongoing research and precedence studies as well as a review of other similar facilities on campus.

The project is targeting RHF Accessibility Certified Gold, and the design team is working with Kuno Architecture to facilitate this process.

Universal Design

Creating universal and accessible change and washroom facilities can help ensure the protection of an individual's privacy, dignity and security while accommodating a much wider user group. This facility includes both universal and gender-specific washroom options, with universal washrooms available on all levels.

Ongoing dialogue between the design team, stakeholder group, the UBC Equity and Diversity Office as well as the UBC Centre for Accessibility have been a productive method for iteratively developing changeroom layouts that address many nuanced considerations.

Key considerations have been the relationship between the gendered and universal washrooms; balancing sight lines for privacy and surveillance; creating an intuitive layout for the various user 'change' sequences; ensuring primary pathways are dimensionally appropriate.

Universal washroom design evolution through stakeholder workshops

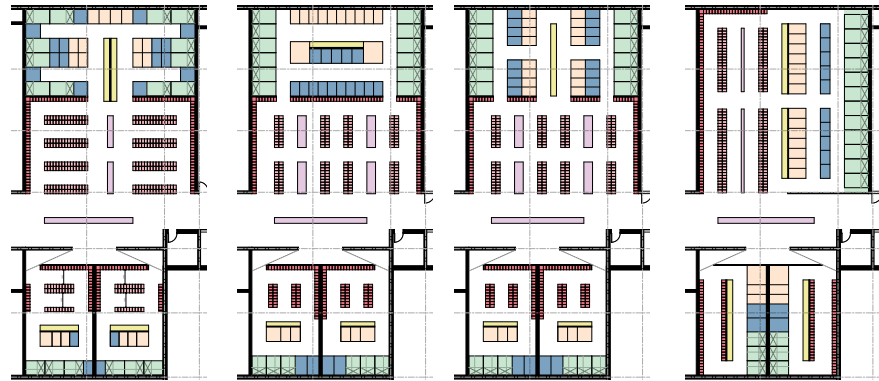
January 5 2021

Early designs had the gendered changerooms access through the universal changerooms, however this tended to 'gender' each side of the universal area.



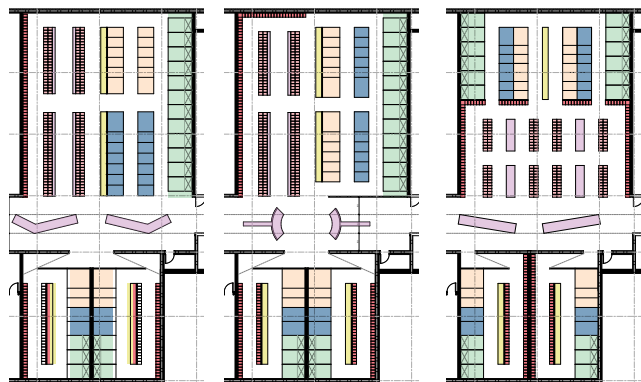
January 20 2021

The gendered changerooms were relocated to be accessed directly from the main circulation; universal layouts varied based on locker and stall configurations.



February 2 2021

Refinement of the universal changeroom layout, with a vertical division of lockers and stalls preferred; investigations of corridor furniture ongoing.



Looking north from the Recreation Gallery, with the South Entrance vestibule on the left, the gymnasia on the right, and glimpses into the running track above.



Extending the Public Realm



The main north-south exterior walkway through the building creates a new connection from the student services buildings to the south with the north public realm. This new pathway is both accessible and inclusive, with it's gentle slope and weather protection. It also connects the north and south entrances, and offers views into the main lobby atrium, gymnasium, and fitness areas. This feature allows the building to unify a once disconnected landscape into a destination of health and wellness for everyone.

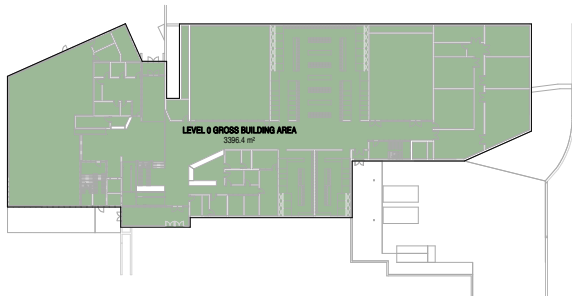


3

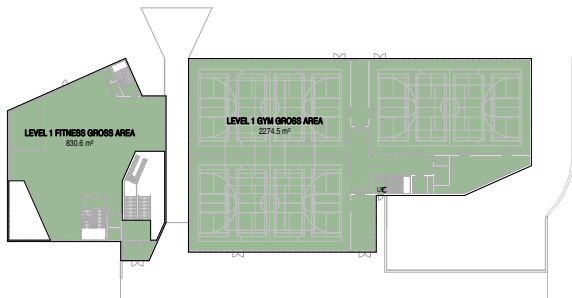


Drawing Requirements

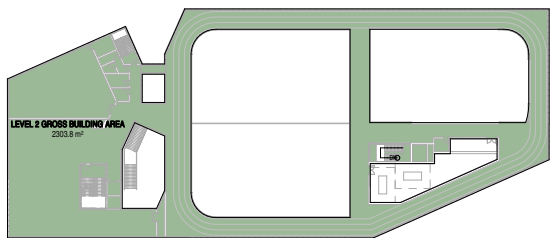
Gross Building Areas



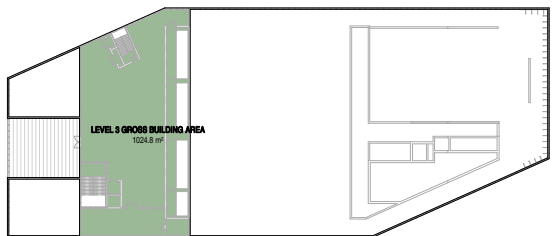
1 Level 0 - Gross Building Area
1 : 500



2 Level 1 - Gross Building Area
1 : 500



3 Level 2 - Gross Building Area
1 : 500



4 Level 3 - Gross Building Area
1 : 500

Gross Building Area		
Level	Custom Area Type	Area
Level 0 Gym	Gross Building Area	3386.4 m²
Level 1 Gym	Gross Building Area	830.6 m²
Level 1 Gym	Gross Building Area	2274.5 m²
Level 2	Gross Building Area	2303.8 m²
Level 3	Gross Building Area	1024.8 m²
Grand total		9830.2 m²

Room Areas

ROOM SCHEDULE - Area		
Level	Name	Area
Level 0 Gym	BACK OF HOUSE	88.9 m²
Level 0 Gym	BUILDING STORAGE	53.9 m²
Level 0 Gym	BUSINESS WORKROOM	9.8 m²
Level 0 Gym	CASH OFFICE	10.8 m²
Level 0 Gym	CHANGEROOM - FEMALE	80.2 m²
Level 0 Gym	CHANGEROOM - MALE	80.2 m²
Level 0 Gym	CHANGEROOM - UNIVERSAL	385.3 m²
Level 0 Gym	CHANGEROOM CIRCULATION	99.1 m²
Level 0 Gym	CIRCULATION	48.7 m²
Level 0 Gym	CIRCULATION	62.3 m²
Level 0 Gym	CIRCULATION	5.2 m²
Level 0 Gym	CUSTORDIAL	47.8 m²
Level 0 Gym	ELEV 2	9.8 m²
Level 0 Gym	EVENT STORAGE	88.9 m²
Level 0 Gym	FACILITY MANAGER	10.8 m²
Level 0 Gym	FIRST AID ROOM	13.9 m²
Level 0 Gym	FIRST AID WC	4.8 m²
Level 0 Gym	LOBBY	210.5 m²
Level 0 Gym	LOUNGE + KITCHEN	32.1 m²
Level 0 Gym	MAIN COMM ROOM	113.9 m²
Level 0 Gym	MAIN ELEC ROOM	31.7 m²
Level 0 Gym	MAIN MECH ROOM	53.4 m²
Level 0 Gym	MTG - SMALL	7.8 m²
Level 0 Gym	MTG - LARGE	19.2 m²
Level 0 Gym	MULTIPURPOSE ROOM	218.3 m²
Level 0 Gym	MULTIPURPOSE ROOM - LARGE	300.8 m²
Level 0 Gym	OPERATIONS MANAGER	12.3 m²
Level 0 Gym	RECEPTION	40.2 m²
Level 0 Gym	SHAFT B	3.2 m²
Level 0 Gym	SPIN STUDIO	60.3 m²
Level 0 Gym	STAIR C	29.8 m²
Level 0 Gym	STOR - MP - L	20.2 m²
Level 0 Gym	STOR/MP	19.0 m²
Level 0 Gym	STORAGE	18.8 m²
Level 0 Gym	STORAGE	6.3 m²
Level 0 Gym	UNIVERSAL WC	8.9 m²
Level 0 Gym	VEST	52.1 m²
Level 0 Gym	WAITING	23.7 m²
Level 0 Gym: 3B	CIRCULATION	2382.0 m²
Level 0 Fitness	CONTROL	7.3 m²
Level 0 Fitness	DIRECTOR'S OFFICE	8.4 m²
Level 0 Fitness	ELEV 1	7.8 m²
Level 0 Fitness	ELEV 2	7.1 m²
Level 0 Fitness	FITNESS	452.5 m²
Level 0 Fitness	FITNESS PROGRAMMER	7.6 m²
Level 0 Fitness	LOBBY	112.8 m²
Level 0 Fitness	MTG - SMALL	5.8 m²
Level 0 Fitness	MTG - LARGE	13.1 m²
Level 0 Fitness	PA MANAGER	8.3 m²
Level 0 Fitness	RECEPTION	8.4 m²
Level 0 Fitness	STAIR A	44.8 m²
Level 0 Fitness	STAIR B	23.2 m²
Level 0 Fitness	STOR - PA	5.8 m²
Level 0 Fitness	STORAGE / TOWEL	14.5 m²
Level 0 Fitness	SUB COMM	12.8 m²
Level 0 Fitness	SUB ELEC	10.4 m²
Level 0 Fitness	VEST	12.3 m²
Level 0 Fitness	WORKSTATIONS	40.5 m²
Level 1 Gym: 20	ELEV 3	882.6 m²
Level 1 Gym	GYMNASIUM 1	619.1 m²
Level 1 Gym	GYMNASIUM 2	619.5 m²
Level 1 Gym	GYMNASIUM 3	611.1 m²
Level 1 Gym	LOBBY	84.4 m²
Level 1 Gym	LOBBY	30.4 m²
Level 1 Gym	SHAFT B	3.4 m²
Level 1 Gym	STAIR C	80.3 m²
Level 1 Gym	STOR - GYM	53.7 m²
Level 1 Gym	STOR - GYM	85.1 m²
Level 1 Gym	STOR - GYM	44.1 m²
Level 1 Gym	UNIVERSAL WC	10.3 m²
Level 1 Gym	VEST	24.3 m²
Level 1 Gym	WIC	5.2 m²
Level 1 Gym: 14	ELEV 1	7.1 m²
Level 1 Fitness	ELEV 2	7.1 m²
Level 1 Fitness	FITNESS	686.9 m²
Level 1 Fitness	STAIR A	46.3 m²
Level 1 Fitness	STAIR B	22.8 m²
Level 1 Fitness	SUB COMM	2.8 m²
Level 1 Fitness	SUB ELEC	2.8 m²
Level 1 Fitness: 7	CIRCULATION	77.3 m²
Level 2	CONTROL	6.8 m²
Level 2	CONTROL	5.8 m²
Level 2	ELEV 1	7.1 m²
Level 2	ELEV 3	8.9 m²
Level 2	ELEV MACHINE ROOM	6.9 m²
Level 2	EXTERIOR MECH. SPACE	139.8 m²
Level 2	FITNESS	495.4 m²
Level 2	MULTIPURPOSE ROOM - MEDIUM	225.8 m²
Level 2	SHAFT B	3.4 m²
Level 2	STAIR A	45.1 m²
Level 2	STAIR B	22.8 m²
Level 2	STAIR C	30.0 m²
Level 2	STOR - CUSTORDIAL	24.1 m²
Level 2	STOR	10.7 m²
Level 2	STOR MP	13.3 m²
Level 2	SUB ELEC	6.1 m²
Level 2	SUB COMM	4.3 m²
Level 2	TRACK ACCESS	285.1 m²
Level 2	UNIVERSAL WC	10.5 m²
Level 2	UNIVERSAL WC	7.3 m²
Level 2	WALKING TRACK	889.2 m²
Level 2	WIC	7.1 m²
Level 2: 23	CONSULT ROOM	219.0 m²
Level 3	CONSULT ROOM	16.1 m²
Level 3	ELEV 1	7.1 m²
Level 3	FITNESS	132.1 m²
Level 3	INDOOR FUNCTIONAL	395.8 m²
Level 3	MECH	171.1 m²
Level 3	OUTDOOR FUNCTIONAL	179.1 m²
Level 3	PERSONAL TRAINING STUDIO	96.0 m²
Level 3	STAIR A	46.4 m²
Level 3	STAIR B	23.3 m²
Level 3	STORAGE	6.1 m²
Level 3	SUB COMM	3.5 m²
Level 3	SUB ELEC	2.8 m²
Level 3: 12		1867.9 m²
Grand total: 114		9527.5 m²

Abbreviations

Abb	Amo	Description
A.F.F		Above Finished Floor
A.P.		Access Panel
Adj.		Adjustable
Alum.		Aluminum
Annot.		Annotated
Arch.		Architectural
BB		Back to Back
BS		Both Sides
Bt		Board
Bdg.		Building
Bkg.		Blocking
Bst. or Btm		Bottom
C.B.		Catch Basin
C.G.		Corner Guard
C.I.P.		Cast in Place
C.J.		Control Joint
C.O.		Concrete Opening
CW		Complete with
Chg PL		Checkered Plate
Col.		Column
Conc.		Concrete
Cont.		Continuous
CPT		Carpet
Dim.		Dimension
Dn.		Down
Dwg.		Drawing
E.J.		Expansion Joint
E/S		Each Side
EL OR ELEV.		Elevation
Elec.		Electrical
EQ.		Equal
Equip.		Equipment
Exp.		Exposed
F.D.		Floor Drain
F.E.		Fire Extinguisher
F.E.C.		Fire Extinguisher Cabinet
F.F.		Finished Floor
Fin.		Finish
Fl.		Floor
G.B.		Gypsum board
GA		Gauge
Galv.		Galvanized
GL		Glass
H.B.		House Bibb
H.S.S.		Hollow Steel Section
Horiz.		Horizontal
I.D.		Inside Diameter
Insul.		Insulation
Lg.		Long
Loc.		Location
M.O.		Masonry Opening
Max.		Maximum
Mech.		Mechanical
Min.		Minimum
MI		Metal
N.I.C.		Not in Contact
N.T.S.		Not to Scale
NA		Not Applicable
No.		Number
O.C.		On Centre
O.D.		Overflow Drain
O.H.		Overhead
Opp'g		Opposing
Opp		Opposite
P.Lam		Plastic Laminate
P.T.		Pressure Treated
Pl.		Plate
Ply.		Plywood
Pl.		Paint
R.B.		Rubber Base
R.C.B.		Rubber Cove Base
R.D.		Road Drain
R.O.		Rough Opening
R.W.L.		Rain Water Leader
Reinf.		Reinforced
Req.		Required
Rev.		Reverse
Rm.		Room
S.A.M.		Self Adhesive Air/Vapour Barrier Membrane
S.S.		Stainless Steel
Swel.		Section
Sim.		Similar
Spec.		Specification
Sq.		Square
Sl. or SJ		Steel
Std		Standard
Struct.		Structural
T.O.		Top of
Typ.		Typical
Unless Noted Otherwise		
US		Upside
Vert.		Vertical
WI		With
WO		Without

UBC Recreation Centre North : Project Data

SITE

PROJECT NAME: UBC RECREATION CENTRE NORTH
CIVIC ADDRESS: 6140 STUDENT UNION BLVD.
LEGAL ADDRESS: N/A
ZONING: N/A
SITE AREA: ???

BUILDING

GROSS BUILDING AREA: 9830 m2
MAJOR OCCUPANCY: A-2 (Article 3.2.2.24)
NUMBER OF STORIES: UP TO 6 STOREYS
SPRINKLERED: YES
CONSTRUCTION TYPE: NON-COMBUSTIBLE

Symbols Legend

VIEW TITLE	1 VIEW NAME View Scale Ref: 1/ A101	AREA TAG	NAME 1200.00
GRID LINE	0	CEILING TAG	NAME 1200.00
ELEVATION DATUM	Level # 000.00m	CURTAIN PANEL TAG	NAME 1200.00
BUILDING ELEVATION	# A101 #	DETAIL ITEM	TYPE NAME
INTERIOR ELEVATION	# A101 #	DOOR TAG	NAME 1200.00
VIEW REFERENCE	1 Ref A101 1 / A101	FLOOR TAG	NAME 1200.00
BUILDING SECTION	1 Ref A101	FLOOR FINISH TAG	NAME 1200.00
WALL SECTION	1 Ref A101	KEYNOTE TAG	NAME 1200.00
CALLOUT	1 Ref A101	MATERIAL TAG	NAME 1200.00
SPOT ELEVATION - EXISTING	+	CASEWORK TAG	NAME 1200.00
SPOT ELEVATION - TARGET	+	PARKING TAG	NAME 1200.00
CENTRE LINE	⊕	PLUMBING FIXTURE TAG	NAME 1200.00

Recreation Centre North

6140 Student Union Blvd.

Project Data + Notes

DATE	1 March 2021
DRAWN BY	MBH/AM
CHECKED BY	NS/AT
SCALE	
JOB NUMBER	2008



GENERAL NOTES:

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	210301

Recreation Centre North

6140 Student Union Blvd.

Context Plan

DATE	1 March 2021
DRAWN BY	MBH/LW
CHECKED BY	NS/AT
SCALE	1 : 500
JOB NUMBER	2008



GENERAL NOTES:

SPOT ELEVATION - EXISTING +

SPOT ELEVATION - TARGET

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	210301

Recreation Centre North

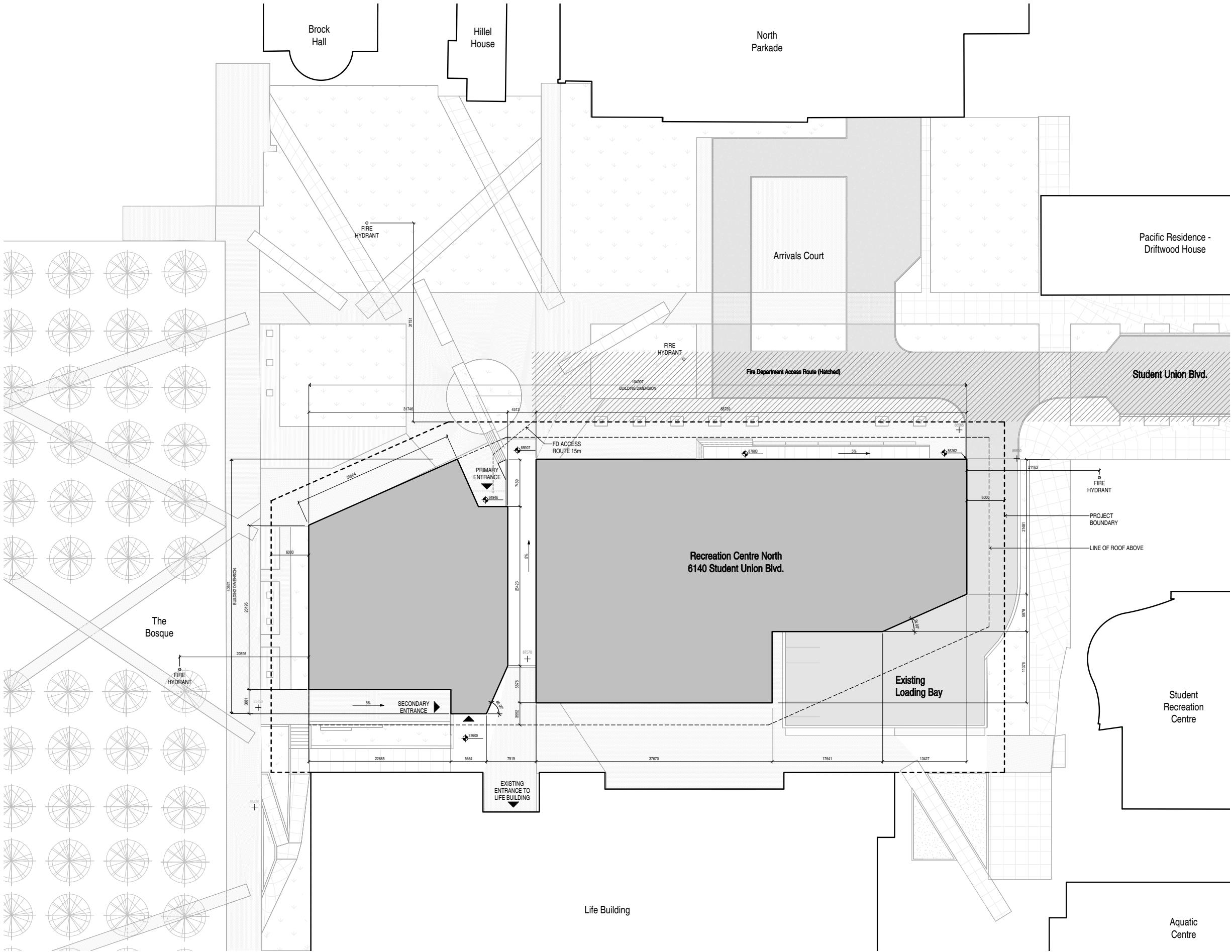
6140 Student Union Blvd.

Site Plan

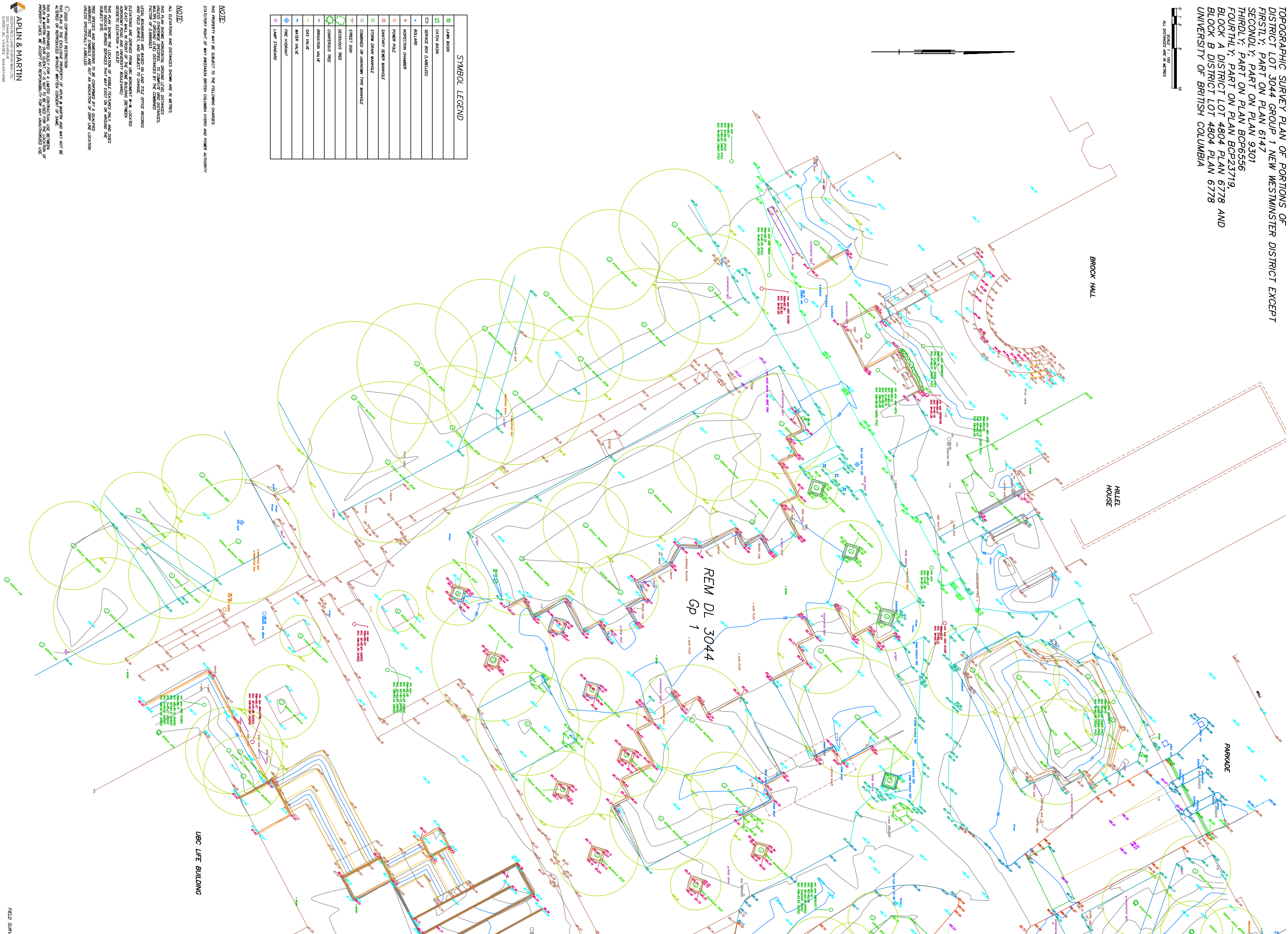
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CHECKED BY	NS/AT
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JOB NUMBER	2008



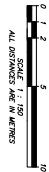
A1.02



TOPOGRAPHIC SURVEY PLAN OF PORTIONS OF DISTRICT EXCEPT FIRSTLY; PART ON PLAN 6147
SECONDLY; PART ON PLAN 9301
THIRDLY; PART ON PLAN BCP6556
FOURTHLY; PART ON PLAN BCP23719,
BLOCK A DISTRICT LOT 4804 PLAN 6778 AND
BLOCK B DISTRICT LOT 4804 PLAN 6778
UNIVERSITY OF BRITISH COLUMBIA



TOPOGRAPHIC SURVEY PLAN OF PORTIONS OF DISTRICT LOT 3044 GROUP 1 NEW WESTMINSTER DISTRICT EXCEPT FIRSTLY; PART ON PLAN 6147 SECONDLY; PART ON PLAN 9301 THIRDLY; PART ON PLAN BCP6556 FOURTHLY; PART ON PLAN BCP23719 BLOCK A DISTRICT LOT 4804 PLAN 6778 AND BLOCK B DISTRICT LOT 4804 PLAN 6778 UNIVERSITY OF BRITISH COLUMBIA



REM DL 3044
Gp 1

UBC STUDENT RECREATION CENTRE

AQUATIC CENTRE

BLOCK B
PLAN 6778

BLOCK A
PLAN 6778

DL 4804 GP 1

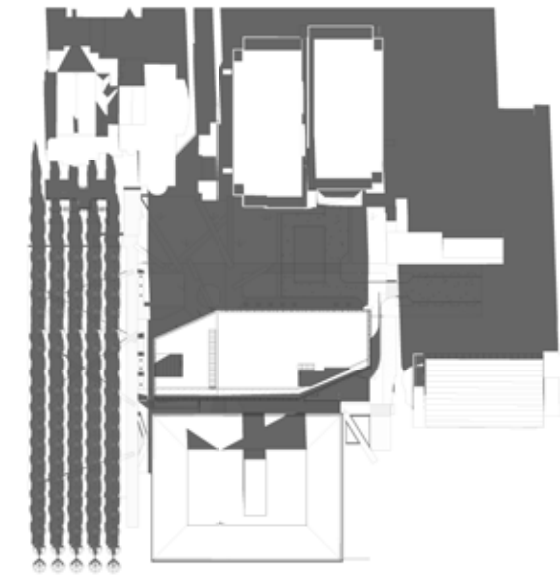
NOTE:
THIS PROPERTY MAY BE SUBJECT TO THE FOLLOWING CHARGES:
STATIONARY MORTGAGE OF BANK BRANCHES, CHARGES, HYPOTHECA AND OTHER ALIENATION

NOTE:
ALL ELEVATIONS AND DISTANCES SHOWN ARE IN METERS.
THIS PLAN IS PREPARED SOLELY FOR A LIMITED COMMERCIAL USE. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE.
THIS PLAN IS PREPARED SOLELY FOR A LIMITED COMMERCIAL USE. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE.
THIS PLAN IS PREPARED SOLELY FOR A LIMITED COMMERCIAL USE. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE.

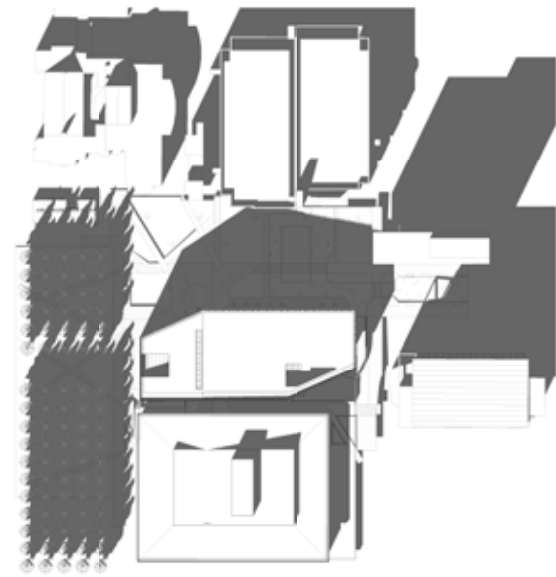
SYMBOL LEGEND	
	LAWN BASIN
	CATCH BASIN
	SERVICE BOX (LABELLED)
	ROADWAY
	INSPECTION CHAMBER
	POWER POLE
	SANITARY SEWER MANHOLE
	STORM WATER MANHOLE
	COMBINED OR UNKNOWN TYPE MANHOLE
	STREET SIGN
	ELEVATION POINT
	CONTOUR LINE
	IMPASSABLE WALL
	GAS VALVE
	WATER VALVE
	FIRE HYDRANT
	LAMP STANDARD

APLIN & MARTIN
2015 SOUTH BRITISH COLUMBIA
SOUTH BRITISH COLUMBIA
SOUTH BRITISH COLUMBIA

FIELD SURVEY: SEPTEMBER 14, 2020
FILE: 80100-SW-SHEET3



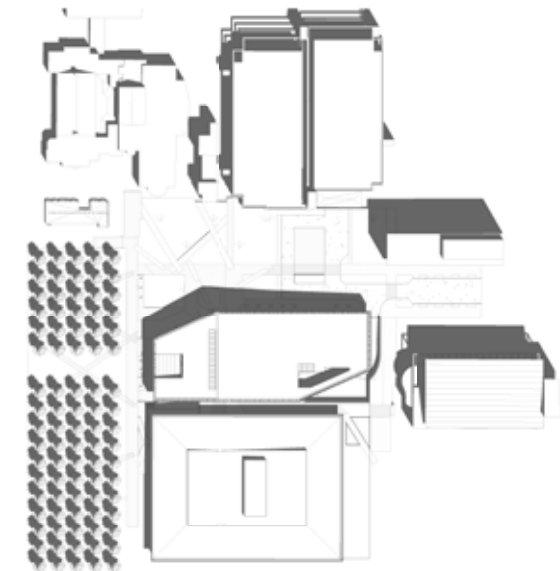
1 Winter Solstice - 10am
1 : 1250



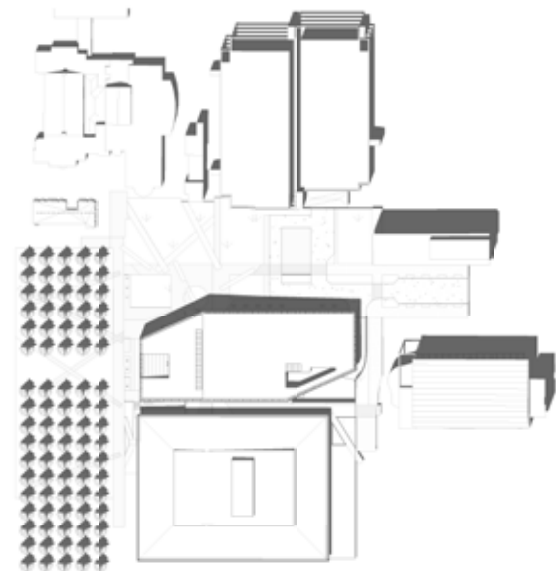
2 Winter Solstice - 12pm
1 : 1250



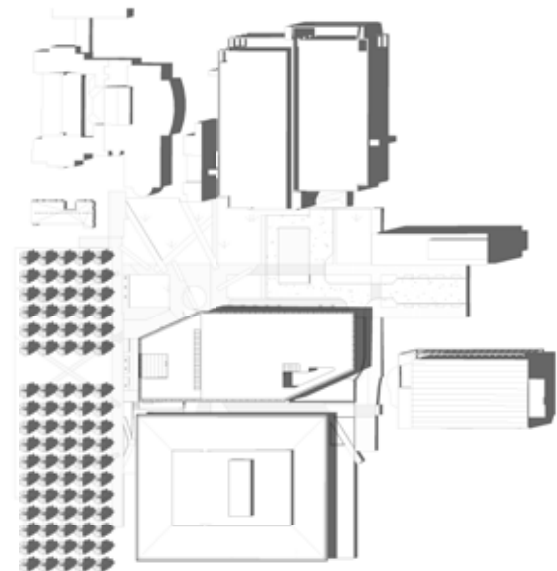
3 Winter Solstice - 2pm
1 : 1250



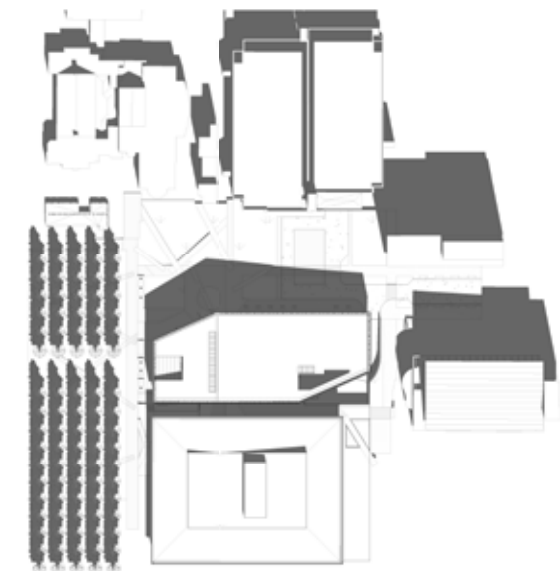
5 Summer Solstice - 10am
1 : 1250



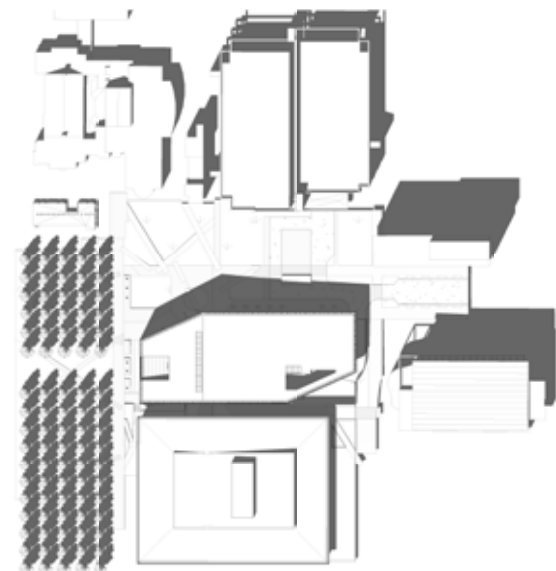
6 Summer Solstice - 12pm
1 : 1250



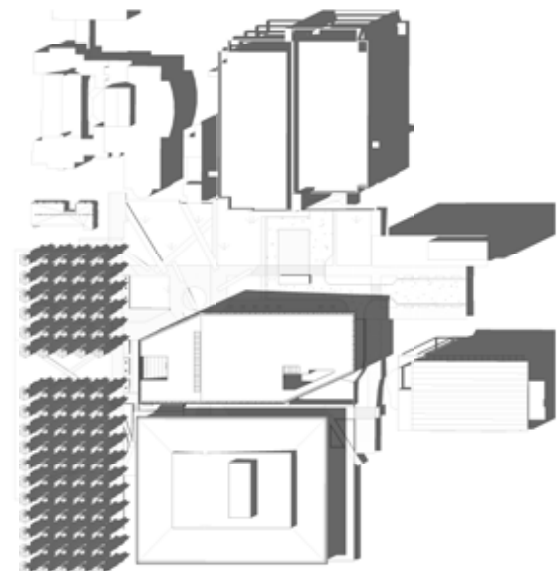
4 Summer Solstice - 2pm
1 : 1250



7 Equinox - 10am
1 : 1250



8 Equinox - 12pm
1 : 1250



9 Equinox - 2pm
1 : 1250

GENERAL NOTES:

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
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Recreation Centre North

6140 Student Union Blvd.

Solar Studies

DATE 1 March 2021

DRAWN BY MBH/BN

CHECKED BY NS/AT

SCALE

JOB NUMBER 2008

GENERAL NOTES:

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	210301

Recreation Centre North

6140 Student Union Blvd.

Level 0 Plan

DATE	1 March 2021
DRAWN BY	MBH/JW
CHECKED BY	NS/AT
SCALE	As indicated
JOB NUMBER	2008

A2.01

GENERAL NOTES:

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ISSUED / REVISIONS

NO	DESCRIPTION	DATE
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Recreation Centre North

6140 Student Union Blvd.

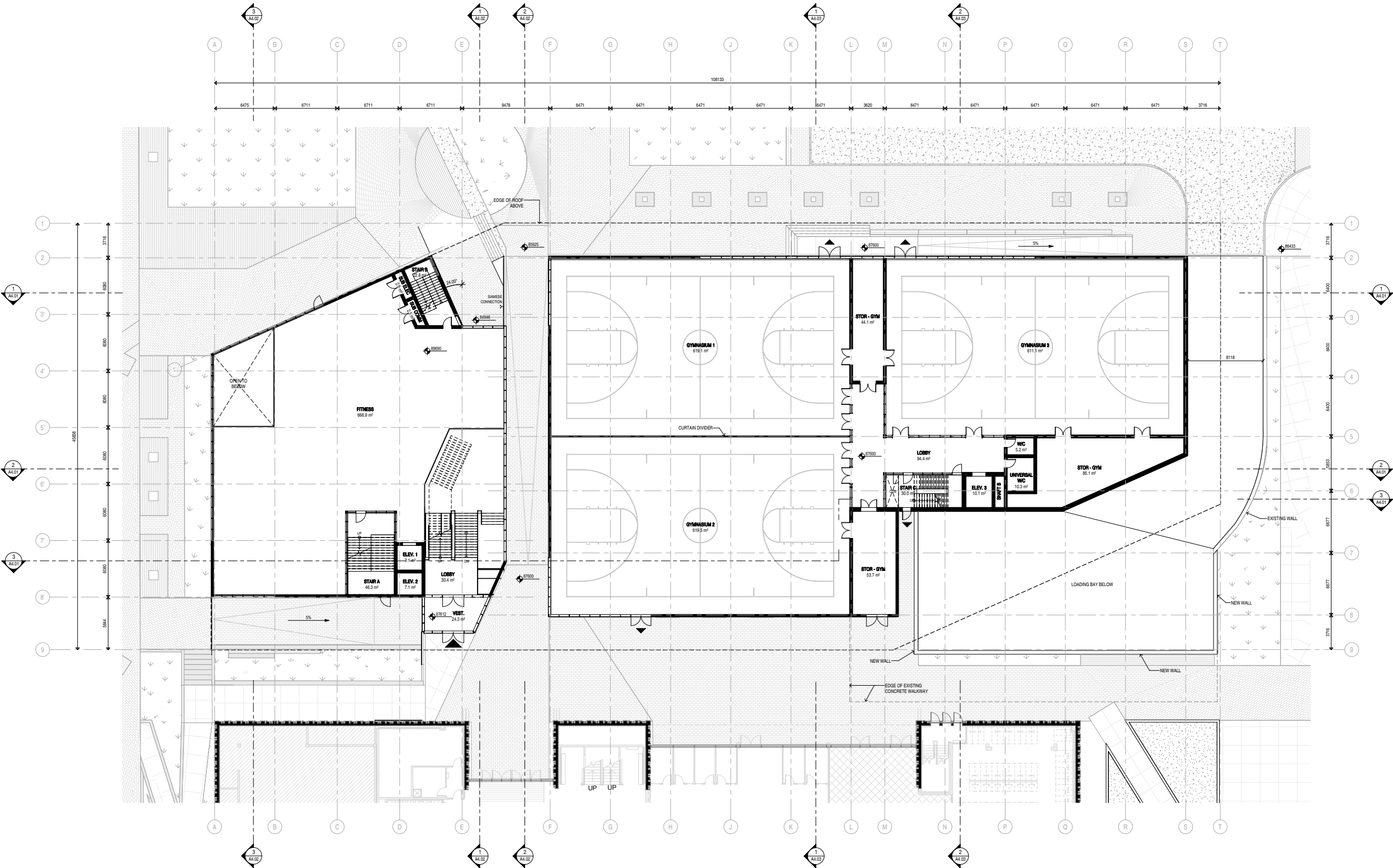
Level 1 Plan

DATE	1 March 2021
DRAWN BY	MBH/UM
CHECKED BY	NS/AT
SCALE	As indicated
JOB NUMBER	2008



A2.02

1 Level 1
1:150



GENERAL NOTES:

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	210301

Recreation Centre North

6140 Student Union Blvd.

Level 2 Plan

DATE	1 March 2021
DRAWN BY	MBH/UM
CHECKED BY	NS/AT
SCALE	As indicated
JOB NUMBER	2008



A2.03

1 Level 2
1:150



GENERAL NOTES:

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	210301

Recreation Centre North

6140 Student Union Blvd.

Level 3 Plan

DATE	1 March 2021
DRAWN BY	MBH/WW
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SCALE	As indicated
JOB NUMBER	2008



A2.04

GENERAL NOTES:

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Recreation Centre North

6140 Student Union Blvd.

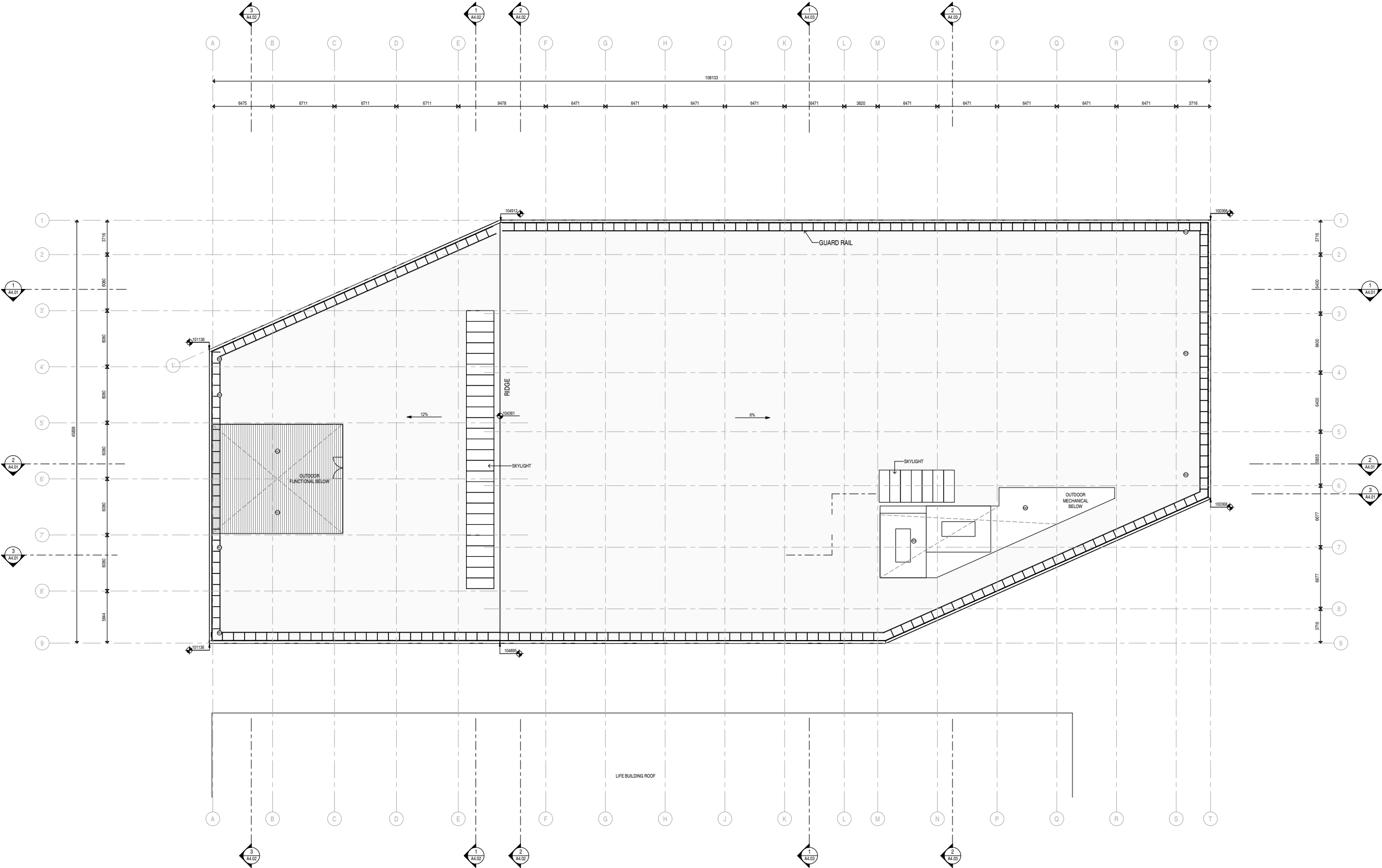
Roof Plan

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DRAWN BY	MBH/WW
CHECKED BY	NS/AT
SCALE	As indicated
JOB NUMBER	2008



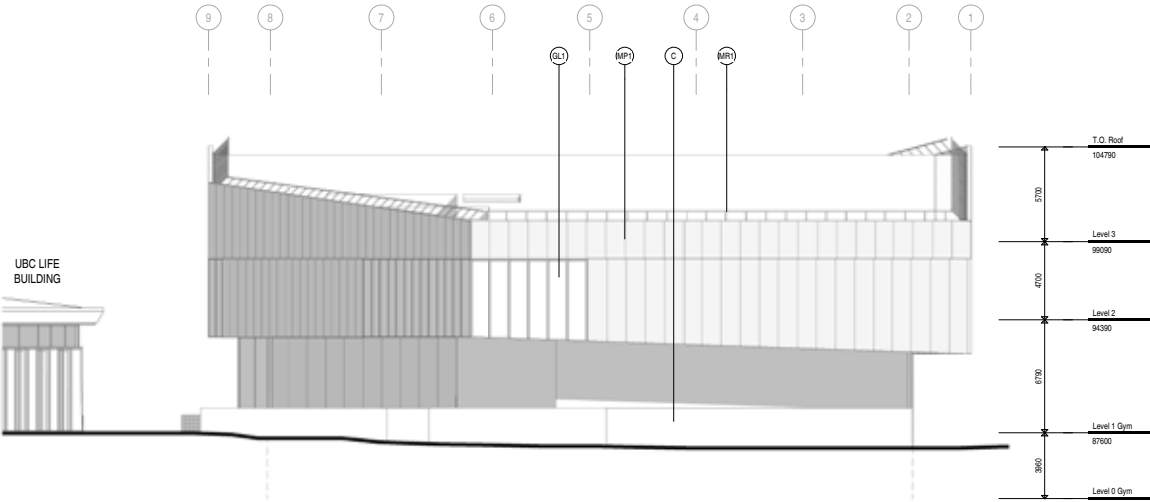
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1 Roof
1 : 150

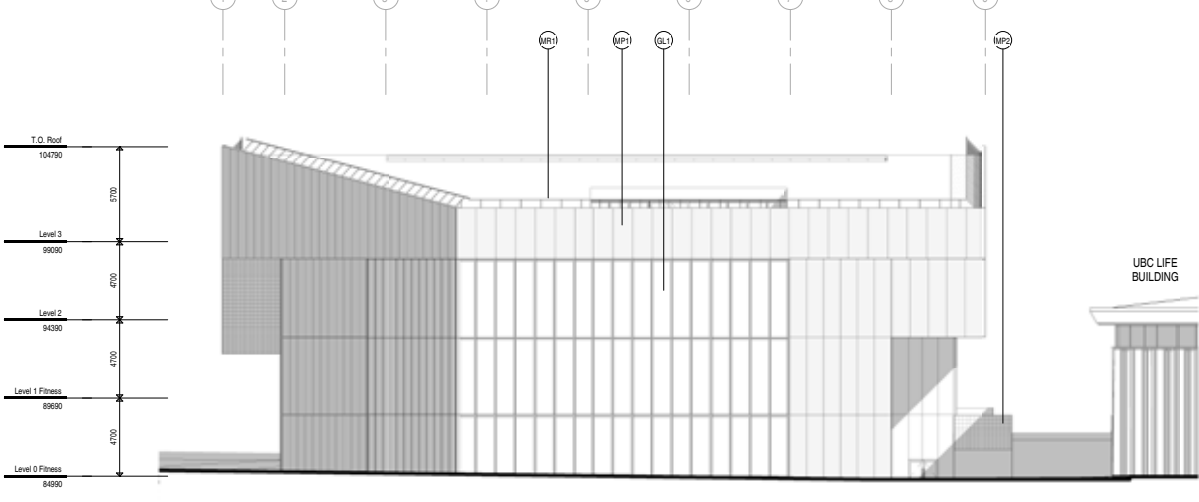


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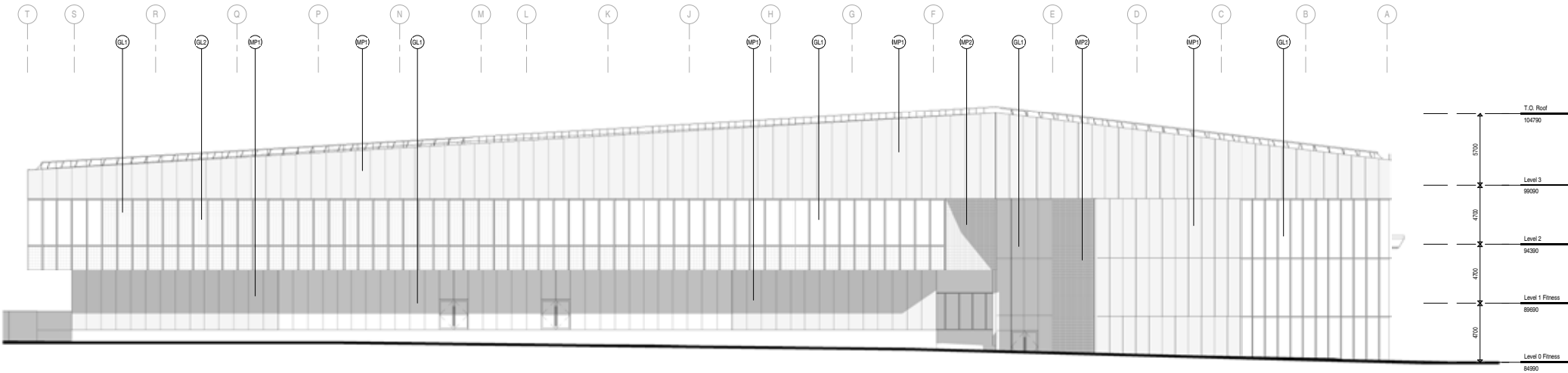
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C	CONCRETE
GL1	TRANSPARENT GLAZING
GL2	TRANSLUCENT GLAZING
MP1	METAL PANEL
MP2	METAL GRATE
MP3	METAL RAILING



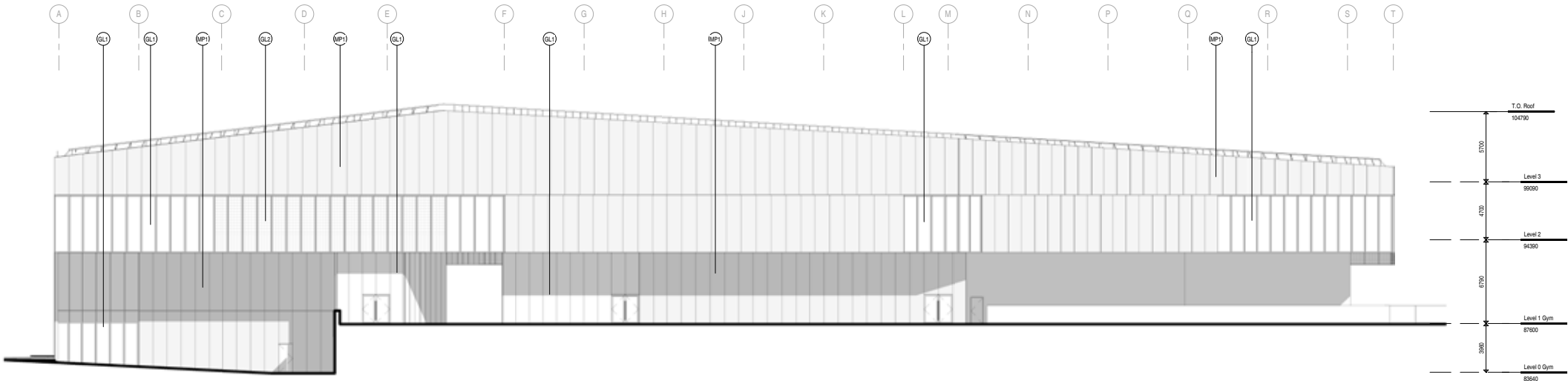
1 East Elevation
1:150



2 West Elevation
1:150



3 North Elevation
1:150



4 South Elevation
1:150

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
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Recreation Centre North

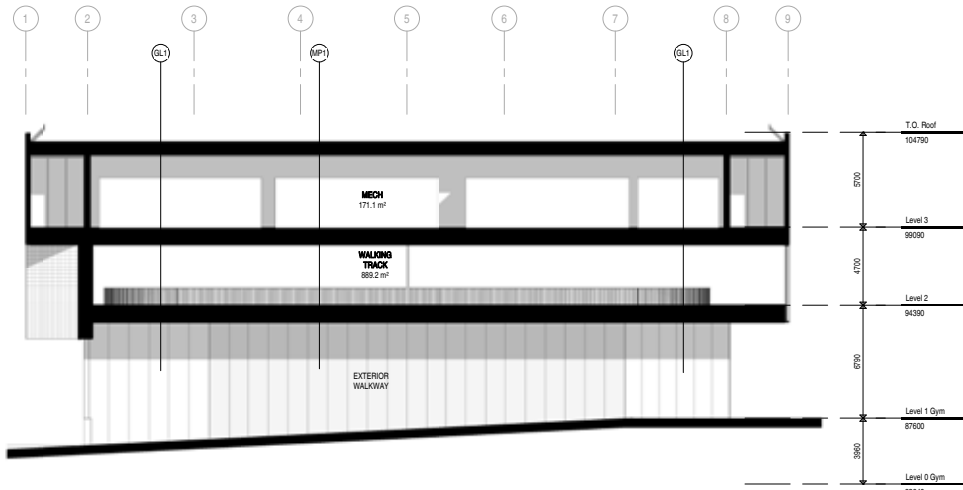
6140 Student Union Blvd.

Building Elevations

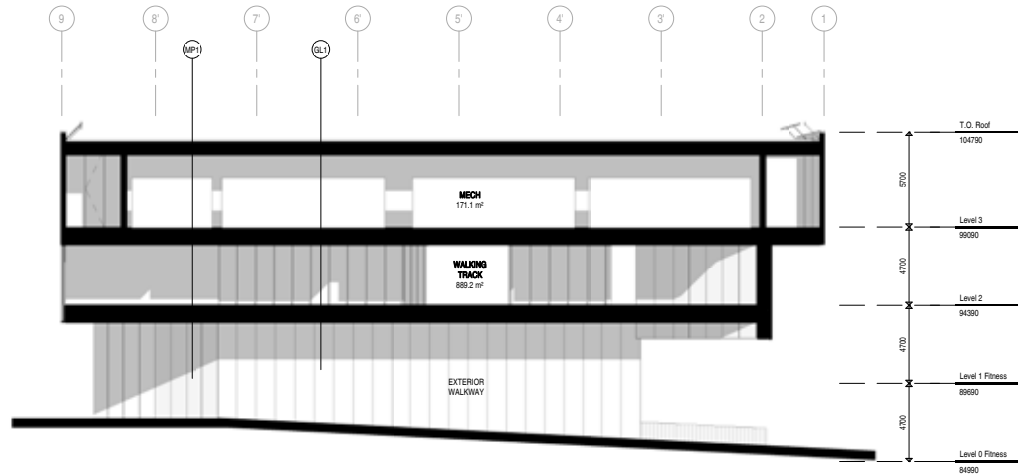
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CHECKED BY	NS/AT
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JOB NUMBER	2008

GENERAL NOTES:

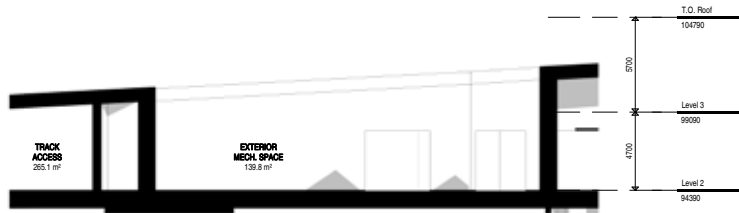
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#	Material
C	CONCRETE
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GL2	TRANSLUCENT GLAZING
MP1	METAL PANEL
MP2	METAL GRATE
MP3	METAL RAILING



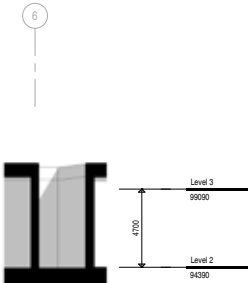
1 West Elevation - North South Walkway Cut
1 : 150



2 East Elevation - North South Walkway Cut
1 : 150



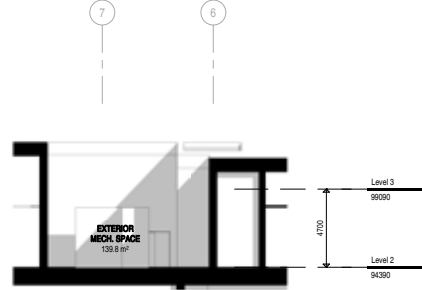
3 Northeast Elevation - Mech
1 : 150



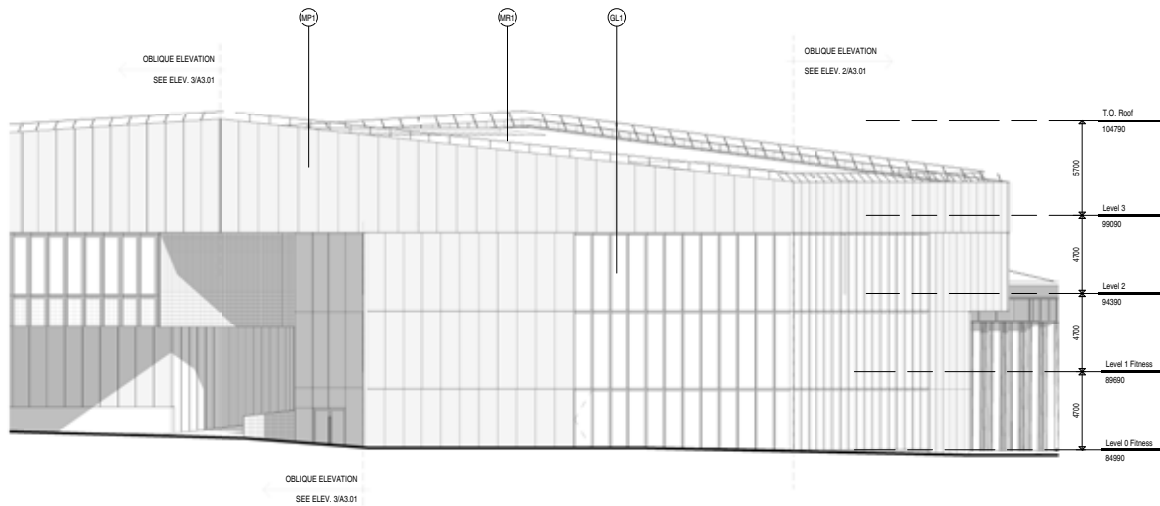
8 West Elevation - Mech
1 : 150



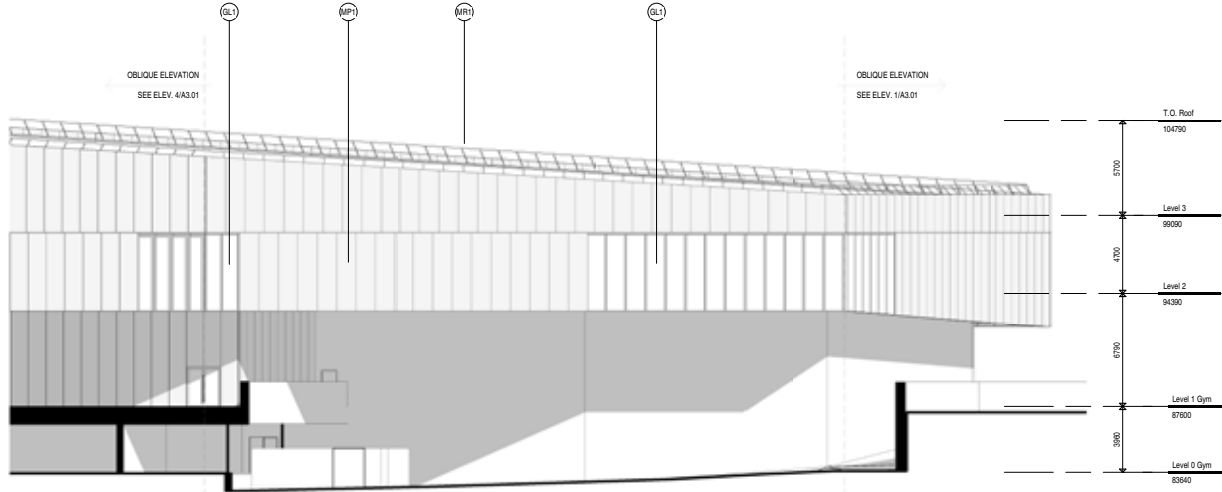
4 South Elevation - Mech
1 : 150



5 East Elevation - Mech
1 : 150



6 Northwest Elevation
1 : 150



7 Southeast Elevation
1 : 150

STAMP

ISSUED / REVISIONS

NO DESCRIPTION DATE

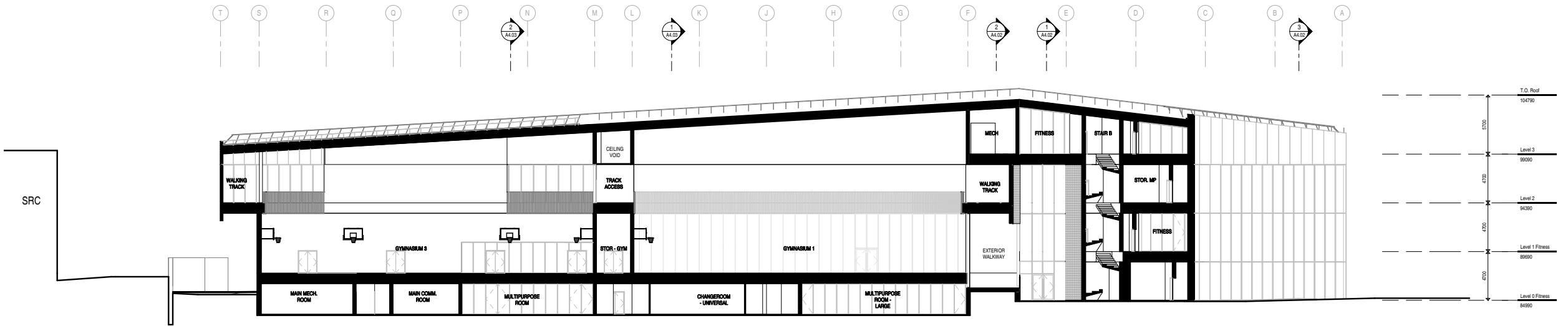
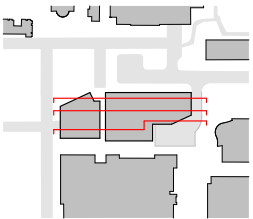
Recreation Centre North

6140 Student Union Blvd.

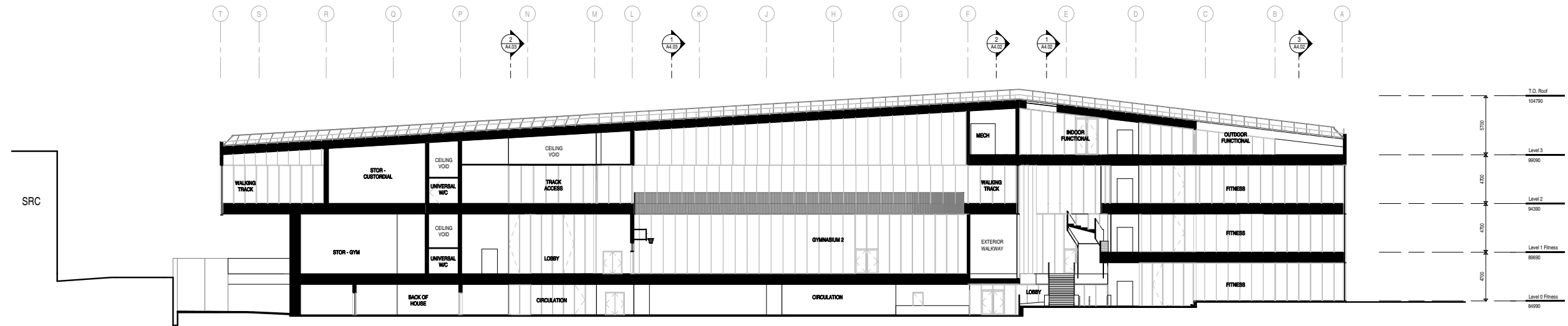
Partial Elevations

DATE 1 March 2021
DRAWN BY MBH/JW
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SCALE
JOB NUMBER 2008

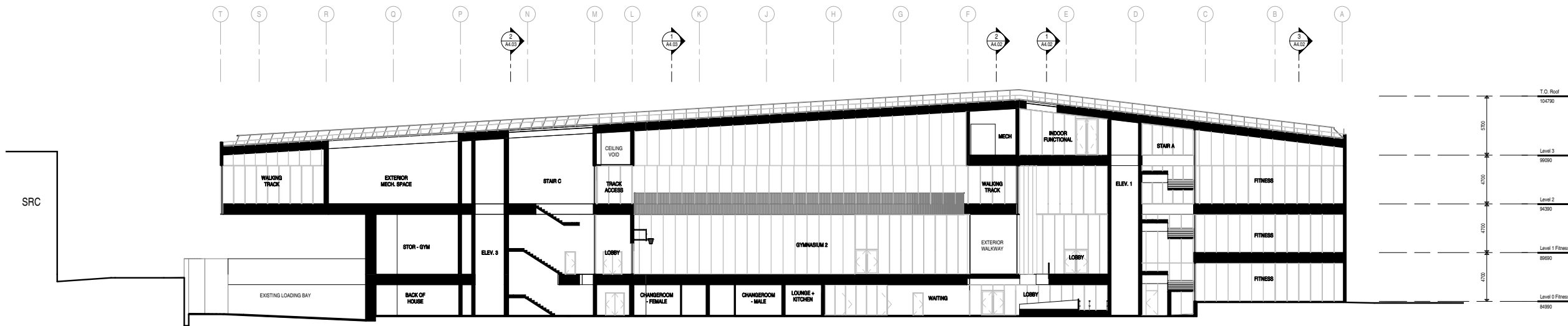
GENERAL NOTES:



1 E-W Section through Gym 1 & 3
1:150



2 E-W Section through Gym 2
1:150



3 E-W Section through Stair A & C
1:150

STAMP

ISSUED / REVISIONS		
NO	DESCRIPTION	DATE

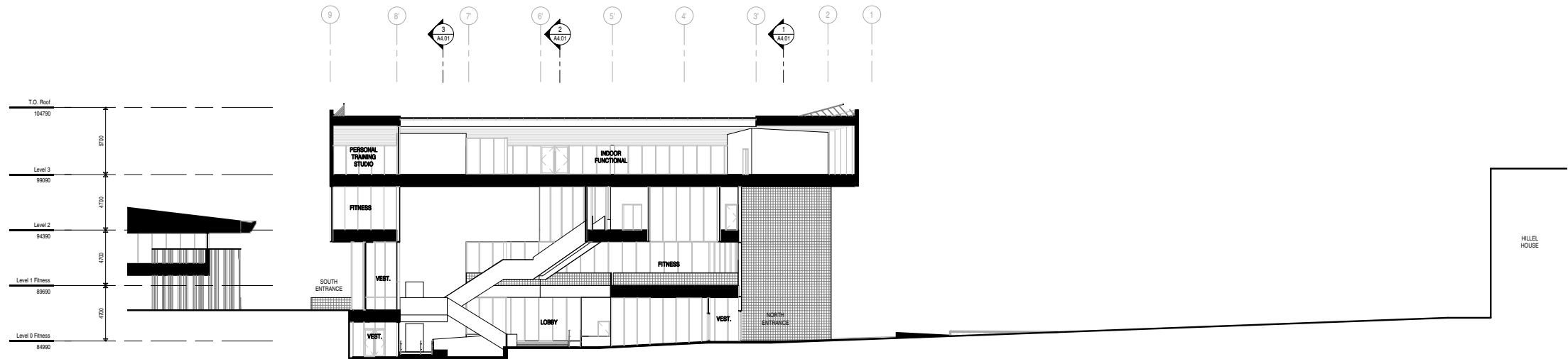
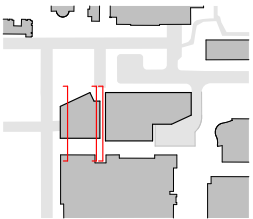
Recreation Centre North

6140 Student Union Blvd.

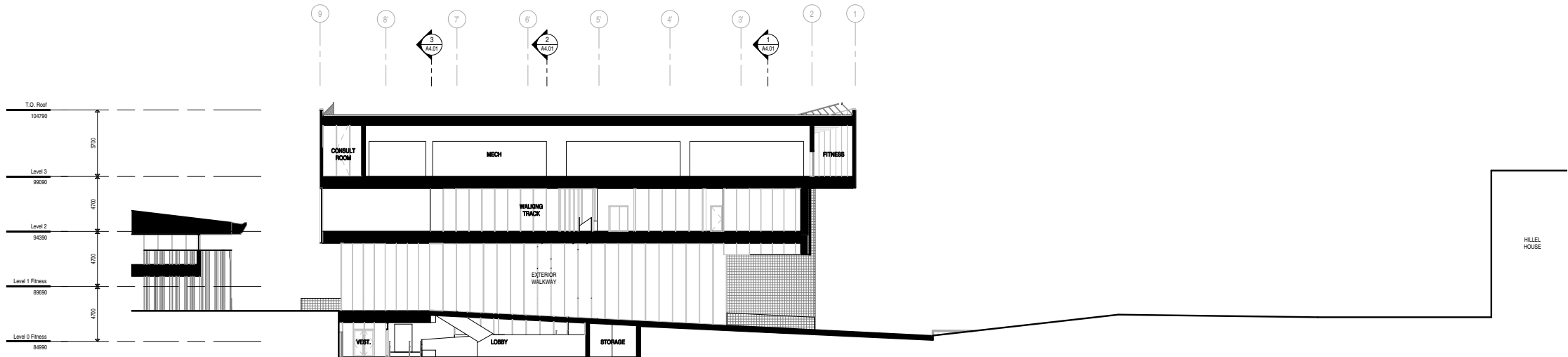
Sections E-W

DATE	1 March 2021
DRAWN BY	MBH/BN
CHECKED BY	NS/AT
SCALE	
JOB NUMBER	2008

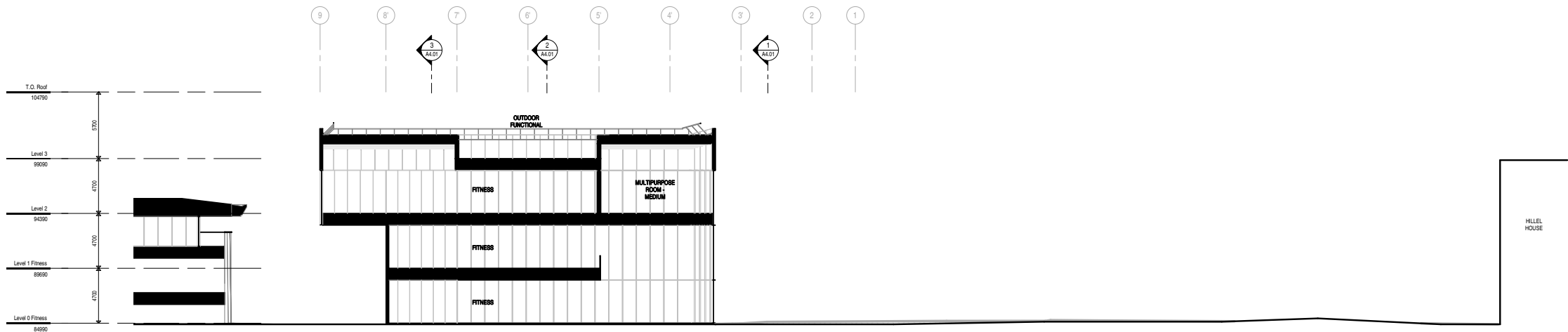
GENERAL NOTES:



1 N-S Section through North Entrance Ramp
1 : 150



2 N-S Section through Exterior Walkway
1 : 150



3 N-S Section through Fitness Block
1 : 150

STAMP

ISSUED / REVISIONS

NO DESCRIPTION DATE

Recreation Centre North

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Sections N-S

DATE 1 March 2021

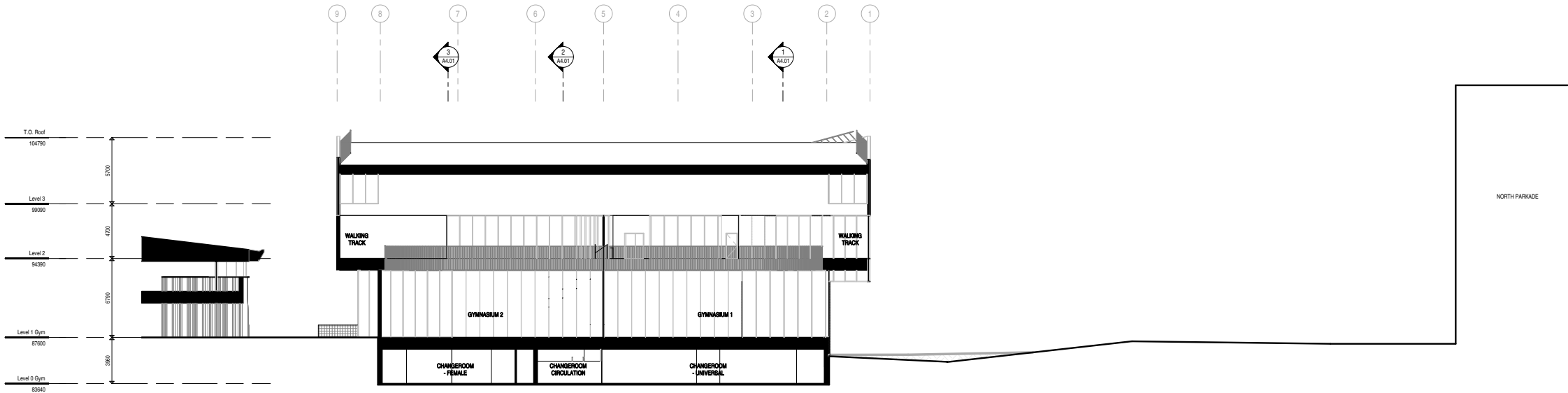
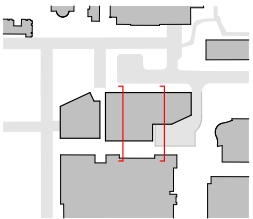
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CHECKED BY NS/AT

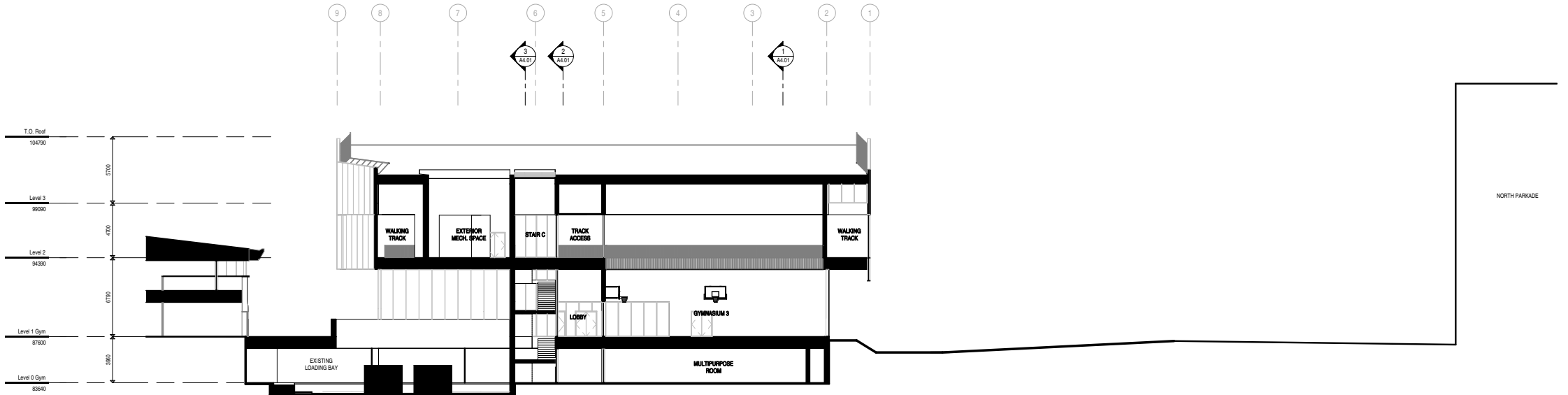
SCALE

JOB NUMBER 2008

GENERAL NOTES:



1 N-S Section through Gym 1 & 2
1:150



2 N-S Section through Gym 3 & Loading Bay
1:150

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
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Recreation Centre North

6140 Student Union Blvd.

Sections N-S

DATE	1 March 2021
DRAWN BY	MBH/AM
CHECKED BY	NS/AT
SCALE	As indicated
JOB NUMBER	2008

UNIVERSITY OF BRITISH COLUMBIA

NORTH RECREATION CETRE

LANDSCAPE ARCHITECTURE

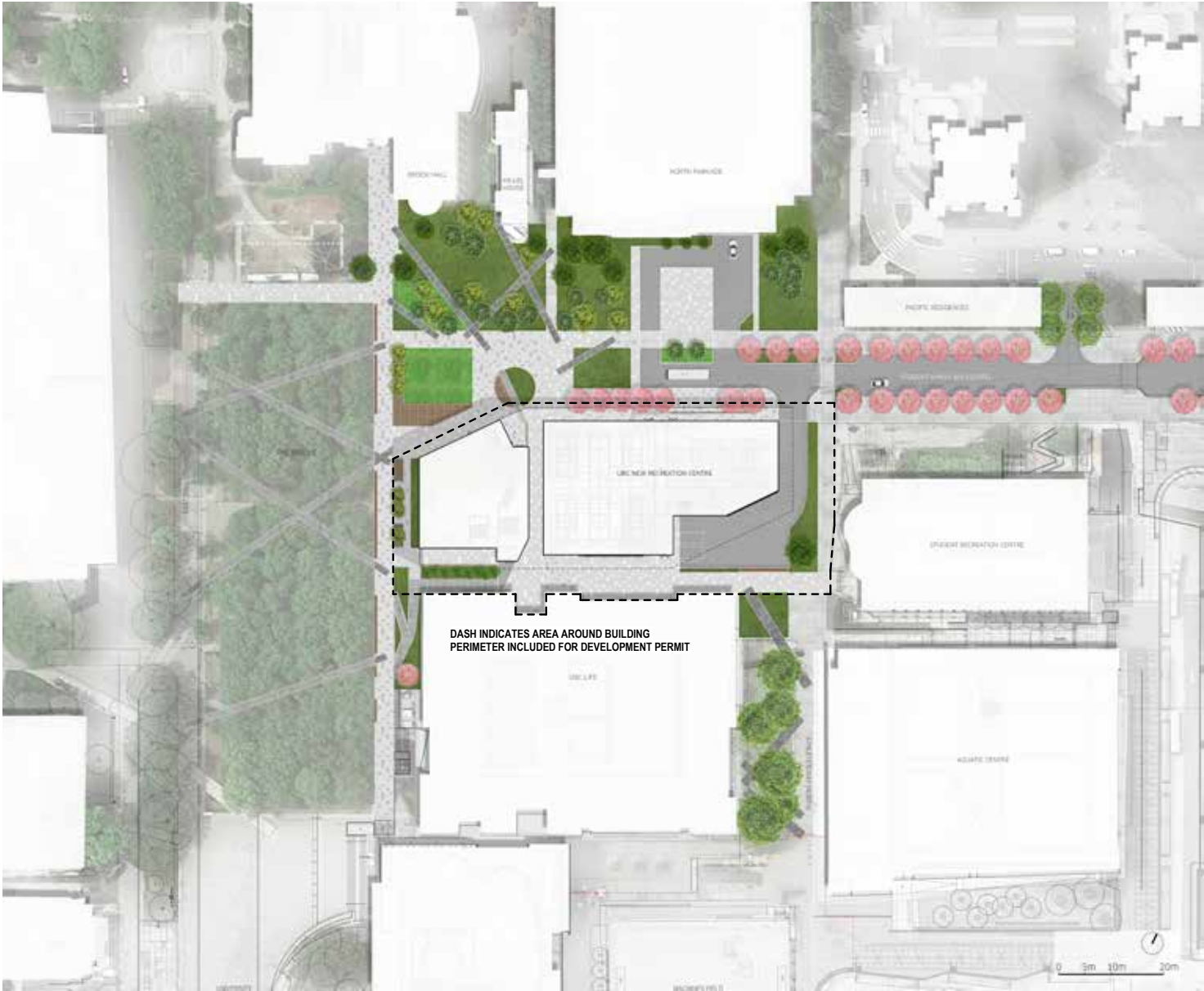
ISSUED FOR DEVELOPMENT PERMIT

FEBRUARY 26, 2021

DRAWING LIST - LANDSCAPE ARCHITECTURE

Sheet NumberSheet Name

L0.00	COVER SHEET
L0.01	DEMOLITION & TREE MANAGEMENT PLAN
L1.00	LANDSCAPE CONTEXT PLAN
L1.01	OVERALL SITE LANDSCAPE PLAN
L2.00	OVERALL SITE GRADING PLAN
L3.00	OVERALL SITE CONCEPT LIGHTING PLAN
L4.00	CONCEPT SITE PLANTING PLAN
L4.01	CONCEPT SITE IRRIGATION PLAN
L5.00	SITE SECTIONS & ELEVATIONS
L5.01	PERSPECTIVE VIEWS
L6.00	PRELIMINARY DETAILS



ISSUED FOR

12021-02-26Issue for Development Permit

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PER Engineering Ltd.

300-131 Water Street

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Fax: (604) 608-7222

KEYPLAN

SEAL

UBC NORTH RECREATION CENTRE

COVER SHEET

DRAWN: Author

PLOT DATE: 2/26/2021 10:27:38 AM

CHECKED: Checker

L0.00



LEGEND

- PROJECT TRUE SCOPE OF WORK AROUND BUILDING LINE FOR DEVELOPMENT PERMIT
- PROJECT SITE BOUNDARY LINE EXCLUDED IN CURRENT DEVELOPMENT PERMIT
- EXTENTS OF NEW BUILDING LINE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN AND BE PROTECTED
- APPROXIMATE LOCATION OF TREE PROTECTION FENCING TO BE COORDINATED ON SITE IN ACCORDANCE WITH UBC TREE PROTECTION GUIDELINES
- APPROXIMATE LOCATION OF AREAS TO BE DEMOLISHED AND REDESIGNED FOR LANDSCAPE DESIGN

- DEMOLITION NOTES**
- CONTRACTOR TO VERIFY LOCATIONS OF ALL AT-GRADE ELEMENTS - LOCATIONS SHOWN ARE INDICATIVE ONLY BASED ON SUPPLIED SURVEY.
 - CONTRACTOR TO VERIFY LOCATIONS OF ALL BELOW GRADE SERVICES. REFER TO CIVIL FOR PLAN INDICATING REMOVALS AND RETENTIONS OF ALL EXISTING SERVING IN AREA.
 - CONTRACTOR TO VERIFY AND PROTECT ALL ELEMENTS NOTED AS TO BE RETAINED. ANY DAMAGE DURING CONSTRUCTION TO BE REMEDIATED.
 - ALL DEMOLITIONS WORK TO BE DONE ADJACENT TO TREES INDICATED AS TO BE RETAINED TO BE CONDUCTED IN CONCERT WITH PROJECT ARBORIST.
 - DURING DEMOLITION, CONTRACTOR TO VERIFY WITH ARCHITECT ALL REQUIRED STRUCTURES TO BE RETAINED AS RELATED TO ADJACENT, RETAINED BUILDINGS TO SOUTH OF SITE.
 - ALL ELEMENTS MARKED FOR REMOVAL TO BE SALVAGED OR DISPOSED OFF SITE, UNLESS NOTED OTHERWISE.
 - ALL ELEMENTS TO REMAIN ARE TO BE PROTECTED. DAMAGE TO EXISTING SITE ELEMENTS TO BE CORRECTED TO THE SATISFACTION OF THE OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - REMOVAL OF SURFACE ELEMENTS TO INCLUDE COMPLETE ASSEMBLIES AND BASE MATERIALS, AND TO MEET DESIGN SUBGRADE, UNLESS NOTED OTHERWISE. WHEN REMOVAL OF COMPLETE ASSEMBLIES FALLS BELOW DESIGN SUBGRADE, BACKFILL TO RESTORE DESIGN SUBGRADE.
 - CONTRACTOR TO COORDINATE WITH THE OWNER TO PROVIDE PEDESTRIAN DETOUR ACCESS THROUGHOUT DEMOLITION.
 - PROTECT AND MAINTAIN EXISTING FIRE HYDRANT(S). HYDRANT MUST BE ACCESSIBLE FOR USE THROUGHOUT ENTIRE DURATION OF CONSTRUCTION PROJECT, INCLUDING FIRE ACCESS.
 - ALL ITEMS NOT DESIGNATED TO BE REMOVED SHALL BE PROTECTED IN PLACE, INCLUDING THOSE NOT PROTECTED BY TREE PROTECTION FENCING OR SPECIFICALLY NOTED AS PROTECT IN PLACE.
- TREE PROTECTION NOTES**
- TREE PROTECTION FENCING MUST BE BUILT TO STANDARDS SHOWN HERE, OR AS LISTED IN THE ARBORIST REPORT. THE DIMENSIONS SHOWN ARE FROM THE OUTER EDGE OF THE STEM OF THE TREE.
 - TREE PROTECTION ZONE SHOWN IS A GRAPHIC REPRESENTATION OF THE CRITICAL ROOT ZONE, MEASURED FROM THE OUTER EDGE OF THE STEM OF THE TREE (1/2 THE TREE'S DIAMETER WAS ADDED TO THE GRAPHICAL TREE PROTECTION CIRCLES TO ACCOMMODATE THE SURVEY POINT BEING THE CENTER OF THE TREE, MEASUREMENTS AS PER THE ARBORIST REPORT.
 - ANY CONSTRUCTION ACTIVITIES OR GRADE CHANGES WITHIN OR ADJACENT TO THE ROOT PROTECTION ZONE MUST BE APPROVED BY THE PROJECT ARBORIST: DIAMOND HEAD CONSULTING (604-773-4886).
 - TREE RETENTION LOCATIONS AND FENCING SHOWN IS CONCEPTUAL ONLY, AND WILL BE REFINED FURTHER THROUGH THE DESIGN DEVELOPMENT STAGE. ANTICIPATED CHANGES TO THE BUILDING FOOTPRINTS AND STREETSCAPES MAY ALSO FURTHER IMPACT NUMBER OF RETAINED TREES. TREE RETENTION FENCING AND METHODOLOGY TO BE DETERMINED BY ARBORIST.

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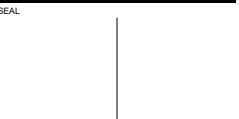
LANDSCAPE ARCHITECT
DIALOG BC Architecture Engineering Interior
406-611 Alexander Street
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KEYPLAN



UBC NORTH RECREATION CENTRE

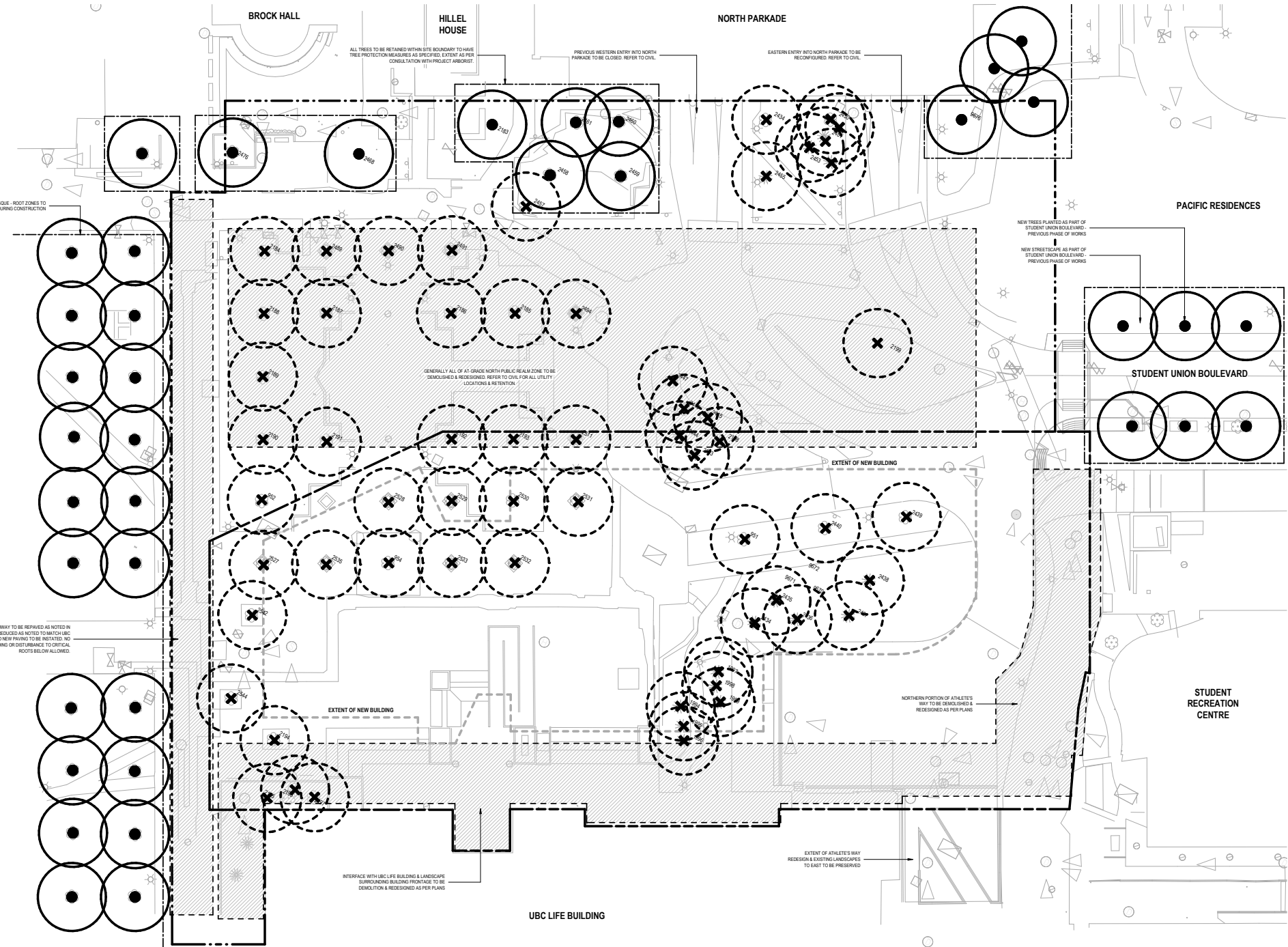
DEMOLITION & TREE MANAGEMENT PLAN

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L0.01

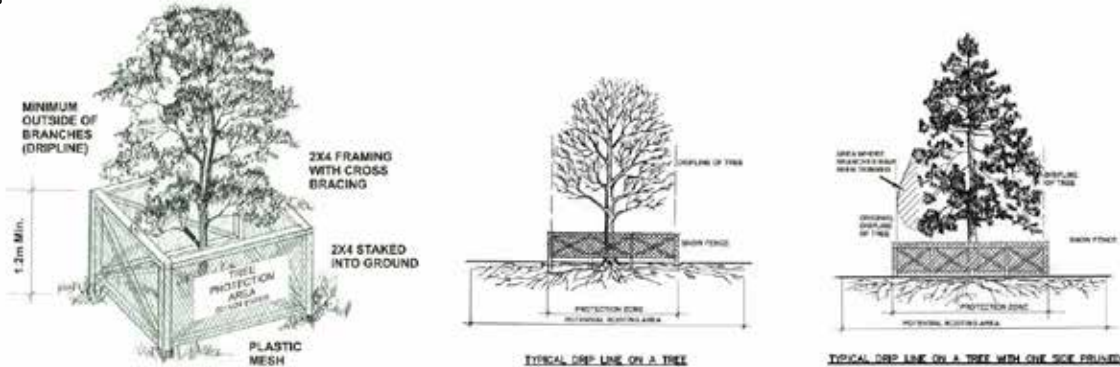
BC100067 - 2002698

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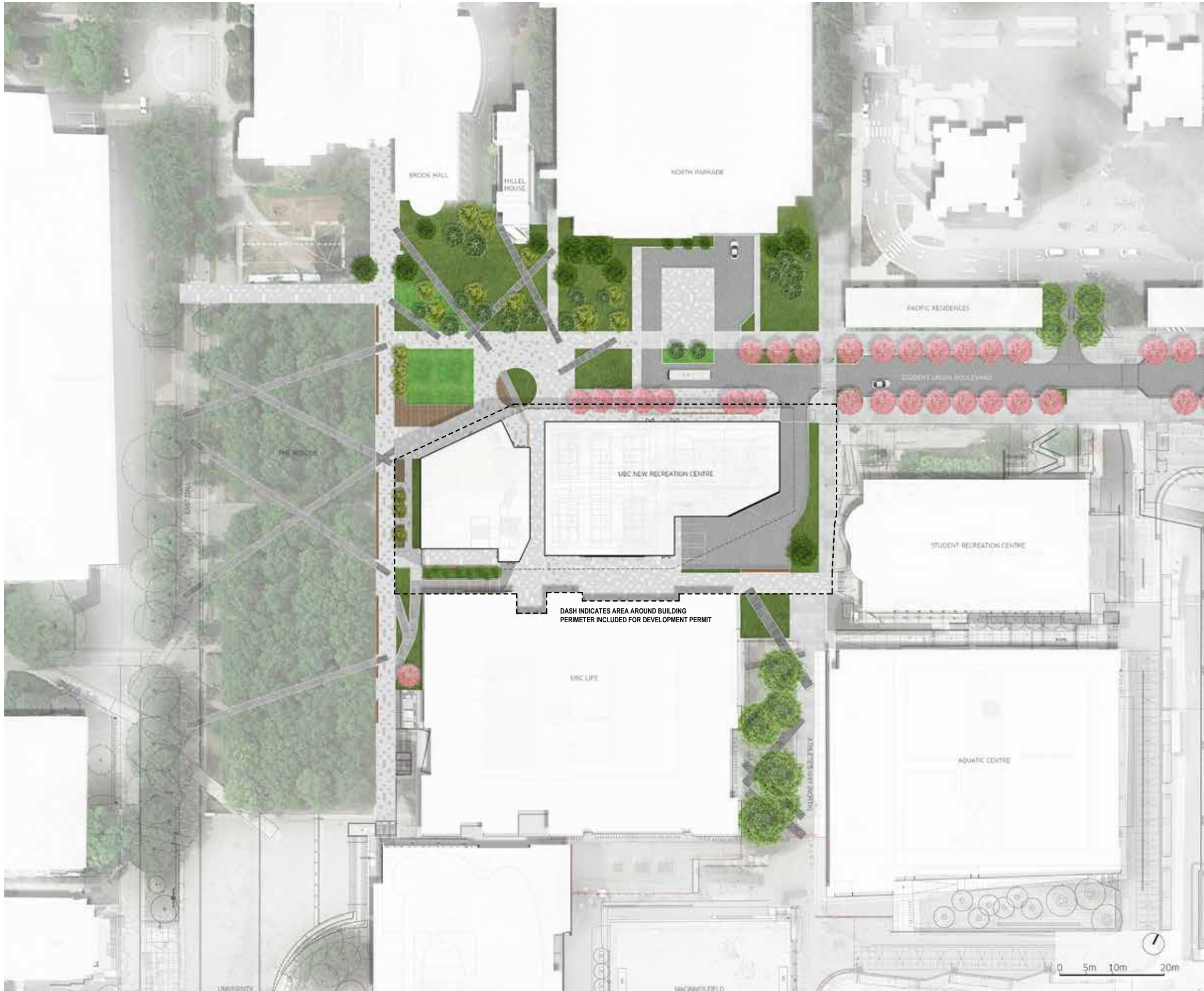
2 L0.01
SCALE: 1:250
0m 5m 10m 15m 20m 25m
SCALE 1:250

STANDARD TREE PROTECTION FENCING DETAILS
N.T.S



TREE TRUNK DIAMETER			DISTANCE FROM TRUNK			TOTAL DIAMETER		
in	ft-in	feet	m	feet		m	feet	
20	8	0.8	1.2	3.9	2.65	8.5		
25	10	0.8	1.5	4.9	3.25	10.7		
30	12	1.0	1.8	5.9	3.90	12.8		
35	14	1.2	2.1	6.9	4.55	14.9		
40	16	1.3	2.4	7.9	5.20	17.1		
45	18	1.5	2.7	8.9	5.85	19.2		
50	20	1.7	3.0	9.9	6.50	21.3		
55	22	1.8	3.3	10.9	7.15	23.5		
60	24	2.0	3.6	11.9	7.80	25.6		
75	30	2.5	4.5	14.9	9.75	31.0		
90	36	3.0	5.5	17.9	11.90	37.8		
100	40	3.3	6.0	18.7	13.00	42.7		

TREE PROTECTION TABLE
MINIMUM PROTECTION REQUIRED AROUND TREE



1
11.00

LANDSCAPE CONTEXT PLAN
SCALE: NTS



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1 2021-02-26 Issue for Development Permit

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KEYPLAN

SEAL

UBC NORTH
RECREATION CENTRE

LANDSCAPE CONTEXT
PLAN

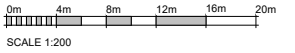
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LEGEND

- PROJECT TRUE SCOPE OF WORK AROUND BUILDING LINE FOR DEVELOPMENT PERMIT
- PROJECT SITE BOUNDARY LINE EXCLUDED FROM DEVELOPMENT PERMIT
- EXTENTS OF NEW BUILDING ROOF ABOVE
- EXISTING GRADE
- PROPOSED FINISHED GRADE
- TOP OF CURB
- TOP OF WALL
- BOTTOM OF WALL
- TOP OF STAIRS
- BOTTOM OF STAIRS
- SLOPE
- FINISHED FLOOR ELEVATION
- NEW DECIDUOUS TREES
- EXISTING TREE TO REMAIN AND BE PROTECTED

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KEYPLAN

SEAL

UBC NORTH RECREATION CENTRE

OVERALL SITE GRADING PLAN

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LEGEND

PROJECT TRUE SCOPE OF WORK AROUND BUILDING LINE FOR DEVELOPMENT PERMIT

PROJECT SITE BOUNDARY LINE EXCLUDED FROM DEVELOPMENT PERMIT

EXTENTS OF NEW BUILDING ROOF ABOVE

ROADWAY POLE LIGHT

STEPWALL LIGHT

PEDESTRIAN POLE LIGHT

LINEAR LED LIGHT

NEW DECIDUOUS TREES

EXISTING TREE TO REMAIN AND BE PROTECTED

NOTES

REFER TO ARCHITECTURE FOR ALL BUILDING LIGHTING AND DOWN LIGHTS IN OVERHANG ZONES. THIS PLAN TO BE READ AS A CONCEPT LIGHTING PLAN ONLY. REFER TO ELECTRICAL FOR LIGHTING PLAN. SEE LANDSCAPE ARCHITECTURAL DETAILS/IMAGES FOR INFORMATION ON INTEGRATING LIGHTING INTO LANDSCAPE FEATURE ELEMENTS.

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OVERALL SITE CONCEPT LIGHTING PLAN

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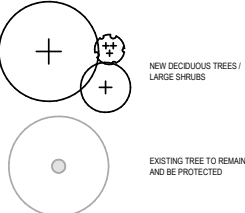
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- LEGEND**
- PROJECT TRUE SCOPE OF WORK AROUND BUILDING LINE FOR DEVELOPMENT PERMIT
 - PROJECT SITE BOUNDARY LINE EXCLUDED FROM DEVELOPMENT PERMIT
 - EXTENTS OF NEW BUILDING ROOF ABOVE



- NOTES**
- 1) CONTRACTOR TO ORGANIZE A PROJECT PRE-CONSTRUCTION MEETING PRIOR TO ANY LANDSCAPE CONSTRUCTION WORK. MEETING TO INCLUDE THE PROJECT LANDSCAPE CONTRACTOR, THE PROJECT LANDSCAPE ARCHITECT, AND CLIENT REPRESENTATIVE.
 - 2) ALL PLANTING TO BE DONE TO CSLAB/CSLAB/CSLA STANDARDS, LATEST EDITION. THE PROJECT LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY OR ALL OF THE SELECTED PLANT MATERIAL IF IT DOES NOT MEET CURRENT CSLAB/CSLAB/CSLA STANDARDS.
 - 3) CONTACT PROJECT LANDSCAPE ARCHITECT TO CONFIRM TREE TYPES PRIOR TO PURCHASE.
 - 4) MINIMUM DEPTH FOR ALL SHRUB BEDS TO BE 450MM. GROUND COVER AREAS TO BE 300MM, AND TREES TO BE 600MM LARGER THAN ROOTBALL.
 - 5) ALL PLANTING TO BE DONE TO CSLAB/CSLAB/CSLA STANDARDS, LATEST EDITION. THE PROJECT LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY OR ALL OF THE SELECTED PLANT MATERIAL IF IT DOES NOT MEET CURRENT CSLAB/CSLAB/CSLA STANDARDS.
 - 6) ALL PLANTING BEDS TO HAVE 50MM MULCH AS SPECIFIED.
 - 7) CONTRACTOR TO SUBMIT A REPRESENTATIVE SAMPLE OF THE PROPOSED TOPSOIL FOR TESTING TO PACIFIC SOIL ANALYSIS. CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND PAYMENT OF SOIL ANALYSIS AND AMENDMENTS TO GROWING MEDIUM AS DETERMINED. CONTRACTOR SHALL INSTRUCT SOIL TESTING LAB TO SUBMIT RESULTS DIRECTLY TO THE CONSULTANT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK. GENERIC ANALYSIS IS NOT ACCEPTABLE.
 - 8) CONTRACTOR IS RESPONSIBLE TO OBTAIN AND BE FAMILIAR WITH THE RELEVANT PROJECT SPECIFICATIONS.
 - 9) AS A MINIMAL ACCEPTABLE STANDARD:
 - A) SIZES ON THE PLANT LIST SHALL BE CONSIDERED MINIMUM SIZES.
 - B) ROOT BALLS TO BE FREE OF PERENNIOUS WEEDS.
 - 10) CONTRACTOR TO ENSURE ALL PLANT MATERIAL DELIVERED TO SITE IS FROM NURSERIES CERTIFIED TO BE FREE FROM THE PHYTOPLASMIA RAMULOSUM VIRUS (SUDDEN OAK DEATH). REMOVAL AND REPLACEMENT OF PLANT MATERIAL FOUND TO CONTAIN THE VIRUS TO BE AT THE CONTRACTOR'S EXPENSE.
 - 11) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS SHOWN ON ALL DRAWINGS.
 - 12) NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
 - 13) CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOTBALL BE CLEANLY SCORED IN TWO VERTICAL LOCATIONS.
 - 14) NEW TOP SOIL SHOULD BE INCORPORATED BY MIXING INTO TOP 300MM OF NATIVE SOIL WHERE APPROPRIATE.
 - 15) CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT A COPY OF ALL PACKING SLIPS RECEIVED FROM NURSERY LISTING NAMES AND QUANTITIES OF ALL PLANT STOCK SUPPLIED.
 - 16) THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
 - 17) ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY.
 - 18) THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS PRIOR TO AND DURING ESTABLISHMENT MAINTENANCE PERIOD.
 - 19) PLANT SEARCH AREA TO INCLUDE BC, WA, OR, & CA AS APPROPRIATE.

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KEYPLAN

SEAL

UBC NORTH RECREATION CENTRE

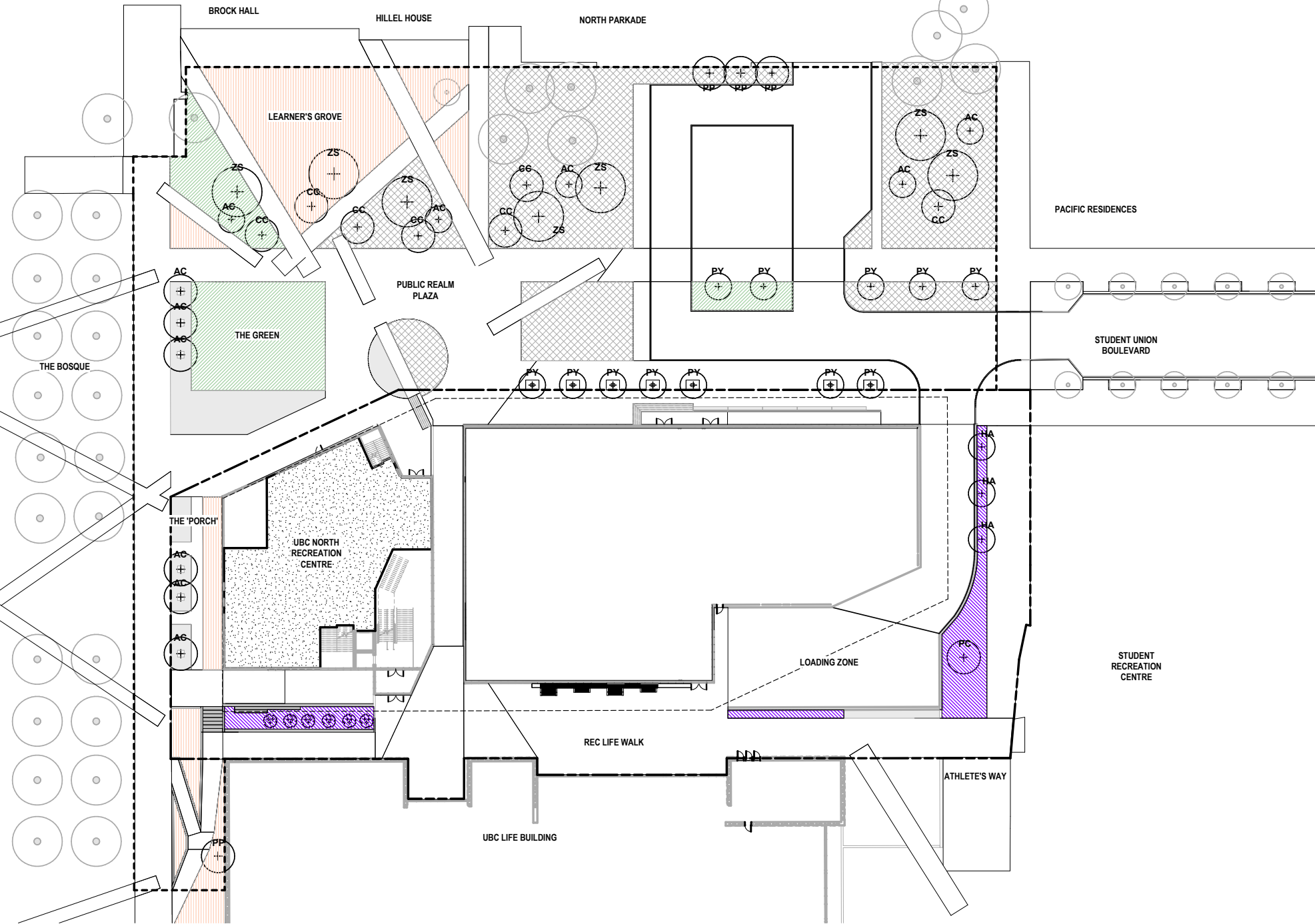
CONCEPT SITE PLANTING PLAN

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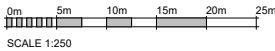
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PLANTING PLAN
SCALE: 1:250



TREE SPECIES & LARGE SHRUBS				
KEY	SYMBOL	SYMBOL	BOTANICAL NAME	COMMON NAME
DECIDUOUS TREES & LARGE SHRUBS				
AC	3	8	Acer glabrum	Vine maple
CC	-	7	Cercis canadensis	Eastern redbud
HA	3	-	Hamelis x intermedia 'Arnold Promise'	Witch hazel
PP	-	4	Prunella pennsylvanica 'Yankee'	Persian iris
PY	-	12	Prunus x yedoensis 'Hakone'	Alexander cherry
ZS	-	7	Zelkova serrata 'Green Vase'	Japanese zelkova
CONIFEROUS TREES				
PC	3	-	Pinus contorta 'var. contorta'	Shore pine

TURF ZONES

Turf zones proposed to be seeded with drought tolerant, chaffer resistant seed mix. Final mix selection to be determined, to generally be a fescue / microclover blend suited for aspect and climate.

QUANTITY WITHIN DEVELOPMENT PERMIT BOUNDARY:
N/A

QUANTITY WITHIN PUBLIC REALM BOUNDARY:
558m² (To be seeded at manufacturer's density specifications)

PLANTING ZONE TYPE A				
KEY #	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PLANTING ZONE TYPE A				
Cg	Composita quoniam	Small camas	#3	0.3m
Ho	Helleborus orientalis	Hellebore	#3	0.45m
Pa	Pennisetum elagans	Fountain grass	#3	0.45m
Se	Setaria autumnalis	Autumn moor grass	#3	0.45m
QUANTITY WITHIN DEVELOPMENT PERMIT BOUNDARY: 110m ² (Approx. 543 pots @ average 0.45m spacing O.C.)				
QUANTITY WITHIN PUBLIC REALM BOUNDARY: 680m ² (Approx. 3358 pots @ average 0.45m spacing O.C.)				

PLANTING ZONE TYPE B				
KEY #	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PLANTING ZONE TYPE B				
As	Asarum canadense	Wild ginger	#5	0.3m
Cs	Cornus sericea	Red osier dogwood	#3	1m
Di	Dicentra formosa	Pacific bleeding heart	#3	0.45m
Gg	Gaultheria x grandiflora	Blanket flower	#3	0.3m
Pa	Pennisetum elagans	Fountain grass	#3	0.45m
Va	Vaccinium ovatum	Evergreen huckleberry	#5	0.60m
QUANTITY WITHIN DEVELOPMENT PERMIT BOUNDARY: 5m ² (Approx. 25 pots @ average 0.45m spacing O.C.)				
QUANTITY WITHIN PUBLIC REALM BOUNDARY: 1648m ² (Approx. 8138 pots @ average 0.45m spacing O.C.)				

PLANTING ZONE TYPE C				
KEY #	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PLANTING ZONE TYPE C				
Mn	Mitella nuda	Dwarf Oregon grape	#3	0.3m
Pr	Polystichum munitum	Western swordfern	#3	0.45m
Rg	Rhododendron 'Grandis Crimson'	Evergreen azalea	#5	0.60m
Va	Vaccinium ovatum	Evergreen huckleberry	#5	0.60m
QUANTITY WITHIN DEVELOPMENT PERMIT BOUNDARY: 242m ² (Approx. 1195 pots @ average 0.45m spacing O.C.)				
QUANTITY WITHIN PUBLIC REALM BOUNDARY: N/A				



LEGEND

PROJECT TRUE SCOPE OF WORK AROUND BUILDING LINE FOR DEVELOPMENT PERMIT

PROJECT SITE BOUNDARY LINE EXCLUDED FROM DEVELOPMENT PERMIT

EXTENTS OF NEW BUILDING ROOF ABOVE

IRRIGATION CONTROLLERS

PROPOSED 38mm STUBOUTS (MIN=500mm @ 70PSI)

PLANTED AREAS ON SITE PROPOSED TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM

NEW DECIDUOUS TREES

EXISTING TREE TO REMAIN AND BE PROTECTED

- NOTES**
- ON-SITE SYSTEM RELATED TO BUILDING PERIMETER ZONE TO BE ON A SEPARATE CIRCUIT FROM ANY REQUIRED PUBLIC REALM OR OFF-SITE IRRIGATION SYSTEMS.
 - THE IRRIGATION CONTRACTOR SHALL CONFIRM ON SITE THE LOCATIONS OF THE STUB-OUTS PROVIDED BY THE MECHANICAL CONTRACTOR. SEE PLANS.
 - THE ELECTRICAL CONTRACTOR SHALL SUPPLY 120V OUTLETS FOR THE CONTROLLERS AND RUN 38MM CONDUITS WITH PULL STRINGS TO ALL STUB-OUT LOCATIONS. SEE PLANS.
 - THE IRRIGATION CONTRACTOR SHALL SUPPLY AND INSTALL THE IRRIGATION CONTROLLERS AND RUN ALL LOW VOLTAGE WIRES TO THE SOLENOID VALVES.
 - THE IRRIGATION CONTRACTOR SHALL COORDINATE ALL SLEEVES, CONDUITS, AND LOCATIONS OF SENSORS WITH THE GENERAL CONTRACTOR.
 - THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER IABC STANDARDS OR BETTER.
 - DOUBLE CHECK VALVES, BACK FLOW PREVENTERS, FILTER, AND A BLOW-OUT CONNECTION IN WATER ENTRY ROOMS, AND THE RUNNING OF A 38MM SUPPLY LINE TO ALL STUB OUT LOCATIONS, BY MECHANICAL. SEE PLANS.
 - IRRIGATION CONTRACTOR TO SUPPLY RAIN SENSOR AND DETERMINE LOCATIONS ON SITE. 8) NO DRIP IRRIGATION UNLESS OTHERWISE INDICATED OR APPROVED BY OPERATIONS. IF REQUIRED, DRIP IRRIGATION AREAS TO BE ON SEPARATE COVERAGE FROM OTHER AREAS.
 - IRRIGATION VALVES TO BE LOCATED IN PLANTING BEDS. EACH TO HAVE A FLOW SENSOR FOR PROPER ZONE FLOWS.
 - THE IRRIGATION CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
 - THE IRRIGATION CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL IRRIGATION COMPONENTS FOR APPROVAL PRIOR TO INSTALLATION.
 - THE IRRIGATION CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS FOLLOWING CONSTRUCTION.
 - KEEP ALL IRRIGATION PIPING OUT OF TREE ROOTING ZONES.
 - ALL IRRIGATION COMPONENTS TO BE MANUFACTURED BY RAINBIRD OR EQUIVALENT. SPRAY HEADS TO BE MINIMUM RAINBIRD 1800 SERIES SPRAY AND 500 SERIES ROTORS OR EQUIVALENTS. NOZZLES TO BE HIGH EFFICIENCY. CAPABLE OF APPLYING WATER AT OR LESS THAN 13MM PER HOUR. BUBBLERS AT HANDSCAPE TREE LOCATIONS TO BE MINIMUM RAINBIRD 1400 SERIES OR EQUIVALENT. VALVES TO BE MINIMUM RAINBIRD PEX SERIES OR EQUIVALENT. CONTROLLERS TO BE MINIMUM RAINBIRD ESP MODULAR CONTROLLER OR EQUIVALENT. SENSORS TO BE MINIMUM RAIN BIRD WPC-RFC-48 RAIN/FREEZE SENSOR OR EQUIVALENT.
 - USE RISERS IN SHRUB AREAS AND DIRECT SPRAY AWAY FROM HARD SURFACES AND LAWN EDGES.
 - ALL IRRIGATION AREAS TO BE HEAD TO HEAD COVERAGE.
 - IRRIGATION COVERAGE TO BE BROKEN OUT INTO SEPARATE ZONES FOR EACH MAJOR AREA ALLOWING FOR INDIVIDUAL CONTROL AS NECESSARY.

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CONCEPT SITE IRRIGATION PLAN

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UBC NORTH RECREATION CENTRE

SITE SECTIONS & ELEVATIONS

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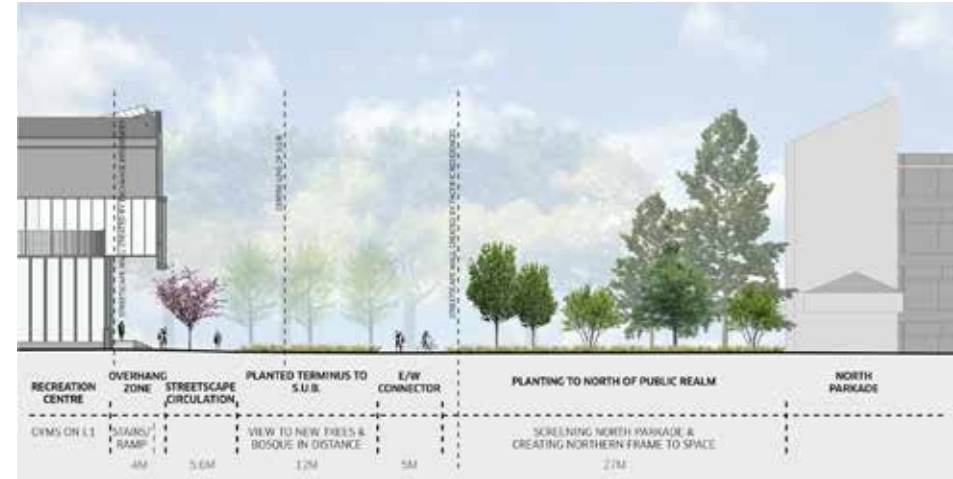
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1 UBC NORTH RECREATION CENTRE - NORTH
ELEVATION
SCALE: 1:200



2 UBC NORTH RECREATION CENTRE - SOUTH
ELEVATION
SCALE: 1:200



3 SECTION THROUGH TERMINUS OF STUDENT UNION
BOULEVARD
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PERSPECTIVE VIEWS

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1 MAIN ENTRANCE PERSPECTIVE VIEW LOOKING SE
SCALE: N.T.S.



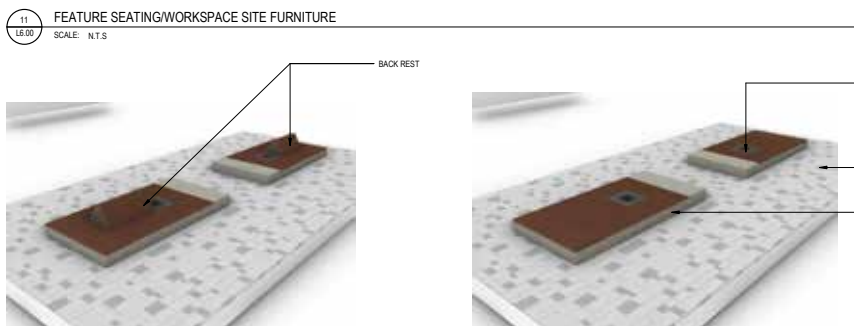
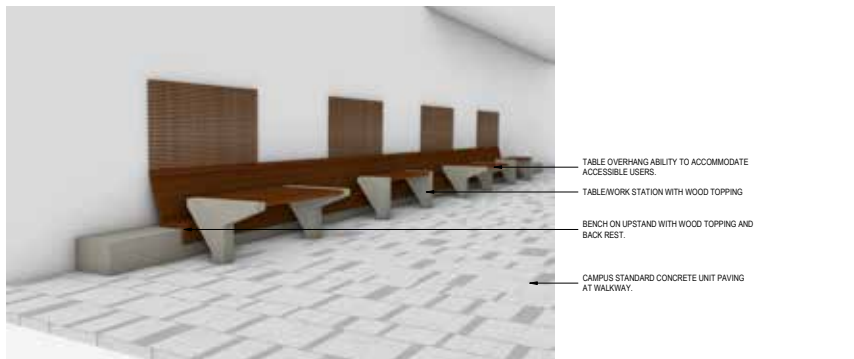
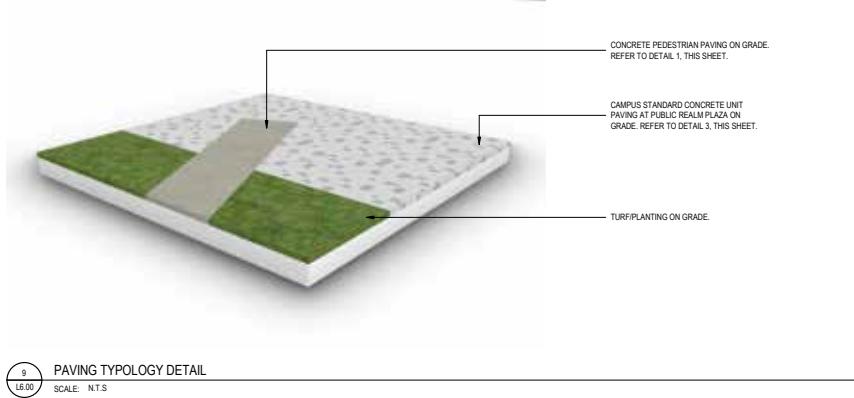
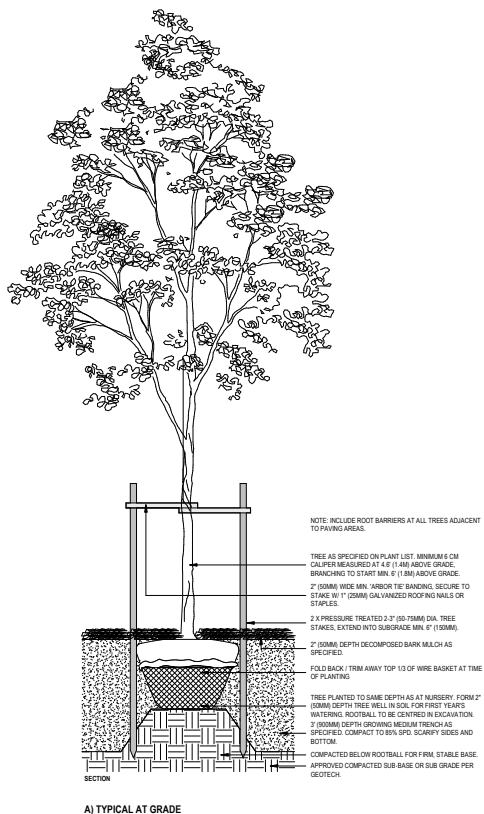
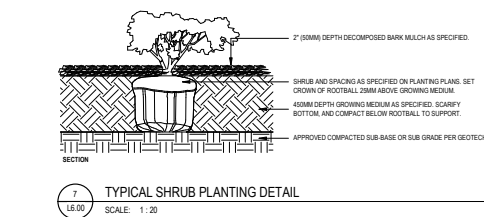
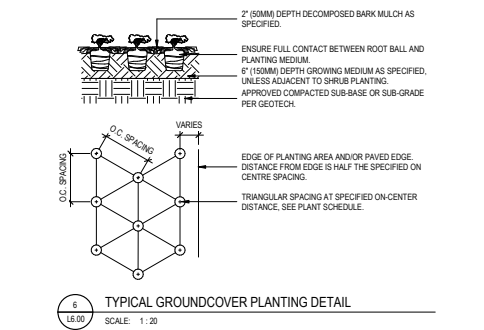
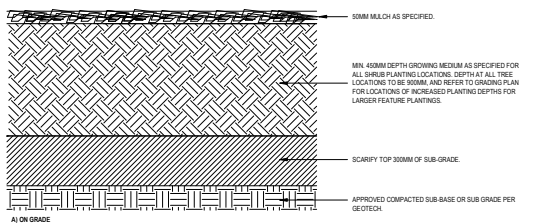
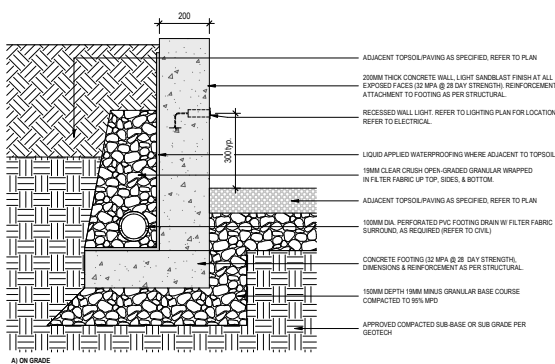
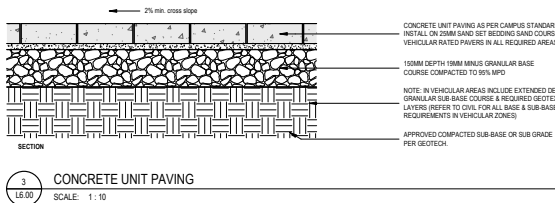
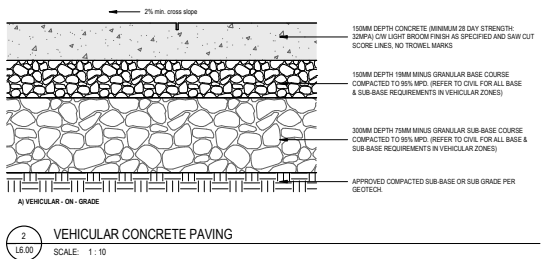
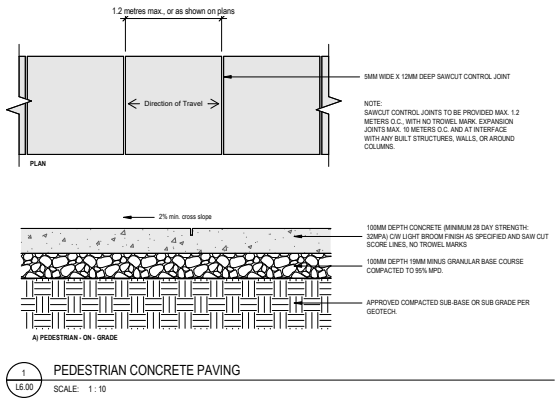
2 INNER CORRIDOR PERSPECTIVE VIEW
SCALE: N.T.S.



3 MAIN ENTRANCE PERSPECTIVE VIEW LOOKING SW
SCALE: N.T.S.



4 SOUTH WEST ENTRANCE RAMP PERSPECTIVE VIEW
SCALE: 1:10



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KEYPLAN

Lighting Plan



By DIALOG

