



1 view of TEF4 looking southwest
NTS

UBC TEF4

Digital Tech Offices + Laboratories

University of British Columbia

Owner

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Architect

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Building Code

McAuley Consulting CP
Tavis McAuley
116 - 119 West Pender Street
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Anthony El-Araj
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Mechanical

AME Consulting Group Ltd.
Zlatko Puljic / Irsan Tjioe
1100 - 808 West Hastings Street
Vancouver BC V6C 2K4
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Electrical

AES Engineering
Andy Su / Richard Wu
950 - 505 Burrard Street, Box 91
Vancouver BC V7X 1M4
T 604.569.6500

Sustainability

Kane Consulting Partnership
Joe Stano
408 - 535 Thurlow St.
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T 604.924.0094

Landscape

Perry + Associates
Michael Patterson / Johannes Petzel
112 East Broadway
Vancouver BC V5T 1V9
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Elevator

Gunn Consultants Inc.
Andrew Wilson / Tony Wu
166 - 1020 Mainland Street
Vancouver BC V6B 2T5
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Geotechnical

Geopacific Consultants Ltd.
Arye Lipshitz
1779 West 75th Avenue
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Surveyor

Murray & Associates
Greg Marston
201 - 12448 82nd Avenue
Surrey BC V3W 3E9
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Surveyor

T2 Utility Engineers
330 Taunton Road East C-04
Whitby ON L1R 0H4
Darlene Cox
T 587.337.1154

Civil

InterCAD Services Ltd
Graham Wood
1111 West 8th Avenue
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Project Data

Civic Address

2425 Health Sciences Mall,
University of British Columbia
Vancouver, BC,

Legal Description

PID 015-940-357
District Lot 4805, Group 1, New Westminster District except:
firstly: portions in plans 9301;
secondly: statutory right of way ex-plan 20570;
thirdly: part subdivided by plan BCP3309;
fourthly: part subdivided by plan BCP30252.

Construction Type

Non-combustible construction; Sprinklers provided

Building Height

53.0m proposed (53.0m permitted)

Setbacks

East (Health Sciences Mall): 6.47m (from project boundary)
West (TEF3): varies (see plans)
North (Agronomy Road): 9.33m (from project boundary)
South (Lane): 1.61m (from project boundary)

Area

Building Area: 19776.6sm
Gross Area: 20942.0sm
Site Coverage : 1555.1sm (building footprint)*
Site Coverage : 1746.8sm (includes overhanging floor area)*
Site Area: 3434.5 sm
*does not include the extents of the building below grade

Parking + Loading Spaces

Parking Spaces: 27 (2 accessible stalls)
Loading Spaces: 2 Class B
6 Class A

Bicycle

Class 1 (lockers/bike room): 120
Class 2 (exterior): 29 uncovered
6 covered

Variances Requested

None

Drawing List

Architectural 25 Drawing Sheets

A001 Cover
A002 Context Plan
A003 Site Plan
A004 Shadow Analysis
A005 Exterior Perspectives
A006 Ground Level Perspectives
A100 Basement Floor Plan
A101 Ground Floor Plan
A102 Level 2 Floor Plan
A103 Level 3 Floor Plan
A104 Level 4 Floor Plan
A105 Level 5 Floor Plan
A106 Level 6 Floor Plan
A107 Level 7 - 12 Floor Plan
A108 Roof Plan
A109 Upper Roof Plan
A200 Sections
A301 Elevation
A302 Elevation
A303 Elevation
A304 Material Palette
A305 Material Palette
A306 Material Palette
A801 Wall Section Details
A825 Exterior Plan Details

Landscape 9 Drawing Sheets

L-1.0 Context Plan
L-1.1 Ground Level Plan
L-1.2 Lighting Concept Plan
L-1.3 Grading Plan
L-2.0 Planting Plan Ground Level
L-3.0 L1 Irrigation Plan
L-4.0 Sections
L-5.0 Details
L-6.0 Precedent Images

Electrical 2 Drawing Sheets

E101A Exterior Lighting Plan
E101B Exterior Lighting Photometric

Area Tabulation

LEVEL	GROSS AREA (sm)	SUBTOTALS (sm)	EXCLUSIONS* (sm)
P1 End of Trip Facilities M + E Services Circulation Bike Lockers Utility and Storage	223.60 220.00 144.00 208.10 126.10 921.80 x1 Floor		220.00 x1 Floor 200.90 x1 Floor 420.9
Level 1 CRU 1 CRU 2 CRU 3 CRU 4 Garbage & Recycling Multipurpose Room Gym Amenity Washrooms M + E Services Mailroom Custodial/Storage Office Circulation	99.00 80.20 137.20 111.30 114.10 119.80 108.50 35.80 35.30 16.30 4.90 298.70 355.60 1516.70 x1 Floor		35.30 x1 Floor
Level 2-4 Office Space M + E Services Circulation Washrooms	1488.00 37.30 178.50 38.00 1741.80 x3 Floor	5225.40	111.9
Level 5-6 Office Space M + E Services Circulation Washrooms	1376.60 37.40 178.40 38.00 1630.60 x2 Floor	3261.20	74.8
Level 7-12 Wet Lab M + E Services Circulation Washrooms	1354.40 59.00 179.20 38.00 1630.60 x6 Floor	9783.60	354.00
Roof M + E Services Circulation	168.50 82.40 233.30 x1 Floor	233.30	168.50 82.40 x1 Floor 168.50
Subtotal Exclusions Building Area*		20942.00 -1165.40 19776.60	1165.40

*per UBC Development Handbook Definition of Building Area

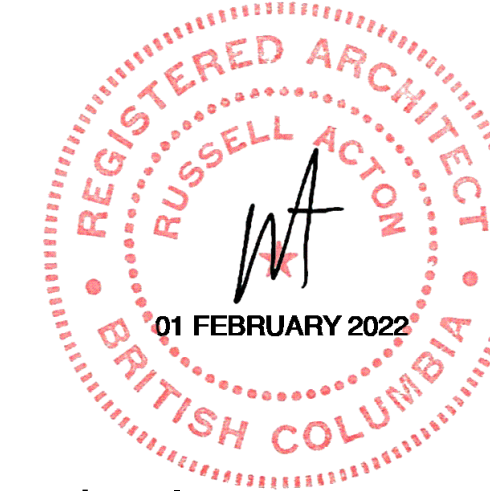
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Issues

22 Nov 2019	Issued for Development Permit
24 Feb 2020	Issued for AUDP/DRC Response
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Technology
Enterprise Facility 4

UBC Properties Trust
2425 Health Sciences Mall

scale NTS	date 01 Feb 2022
project code TEF4	status DP Amendment
drawn SJK	checked RA / GA

Cover

drawing number

A001



1 view of the site looking southwest from Agronomy and Health Sciences Mall



2 view of the site looking west from Health Sciences Mall



3 view of the site looking northwest from Health Sciences Mall



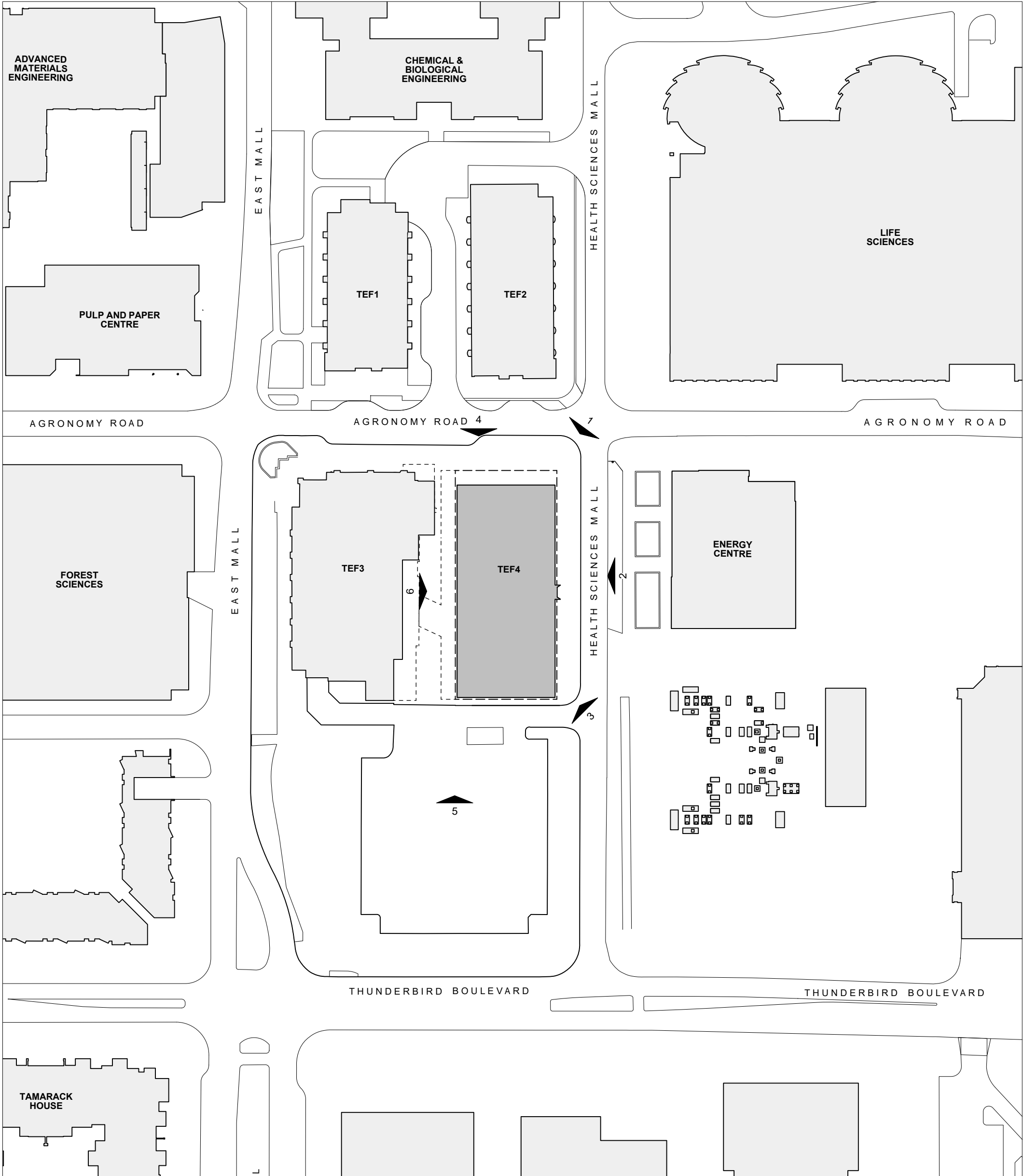
4 view of the site looking south from Agronomy Road



5 view of the site looking north from the south parking lot



6 view of the site looking east from TEF3



7 site context plan
1:1000

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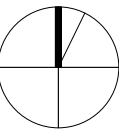
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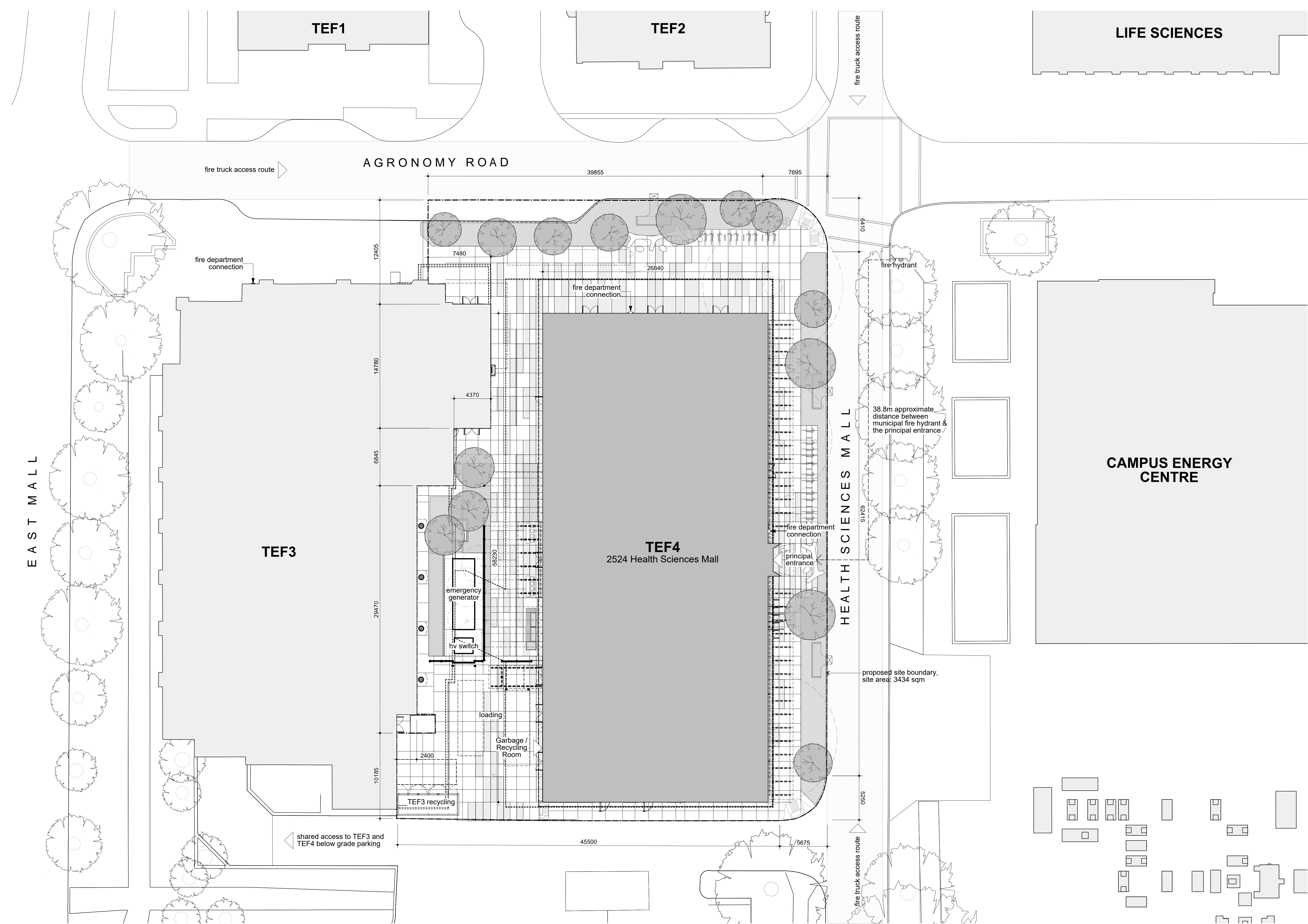
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GA	RA



Context Plan

drawing number
A002



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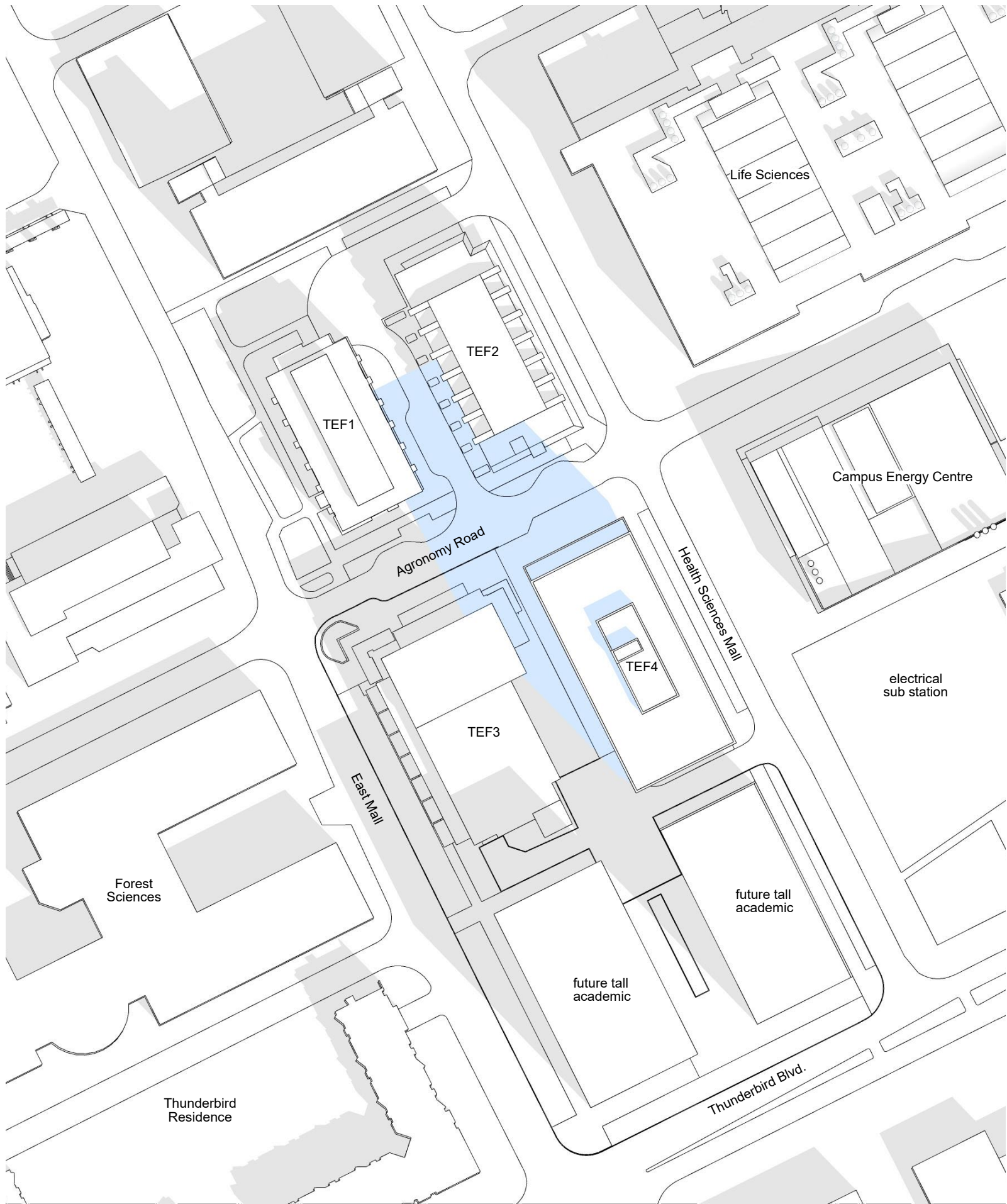
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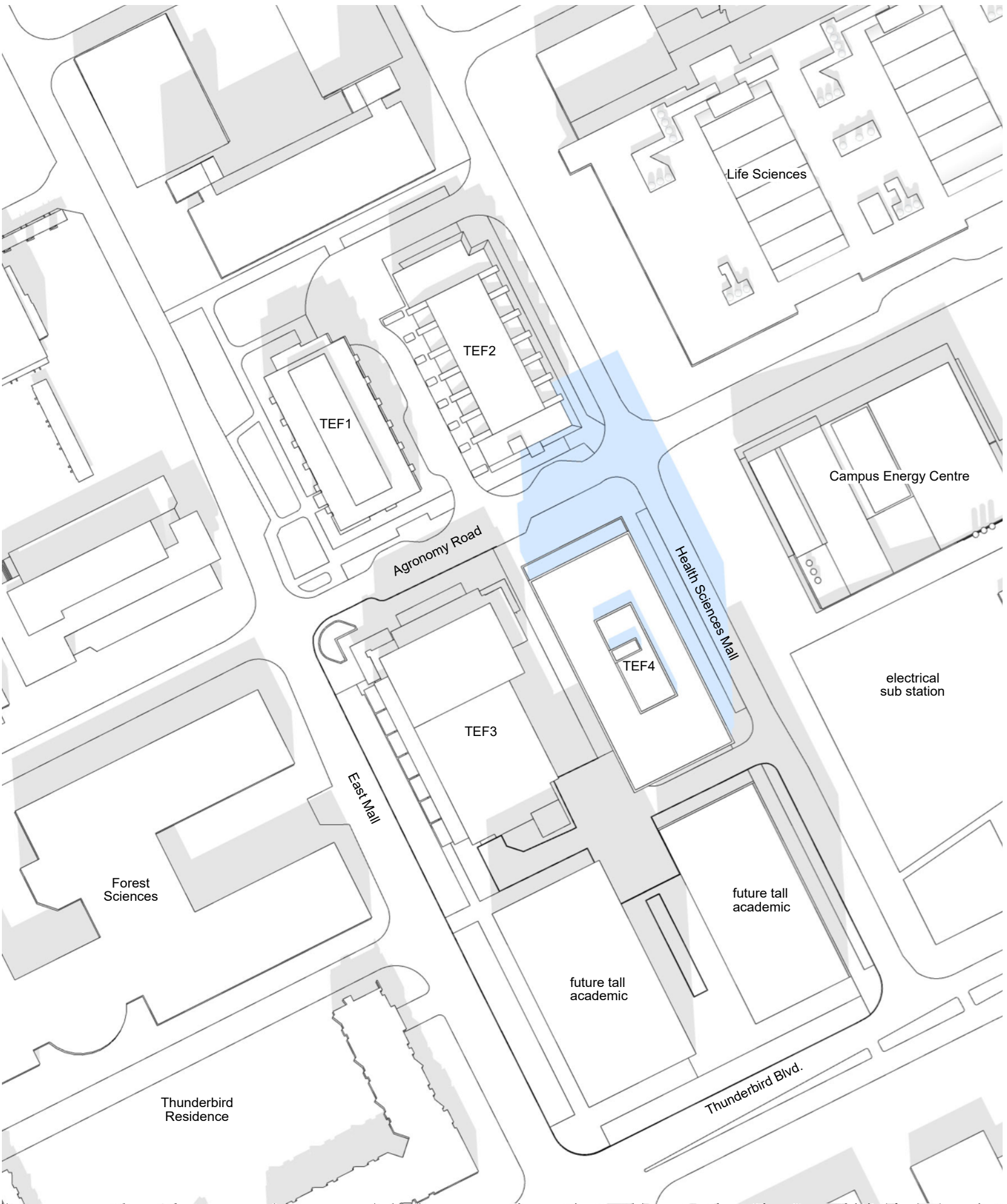


Site Plan

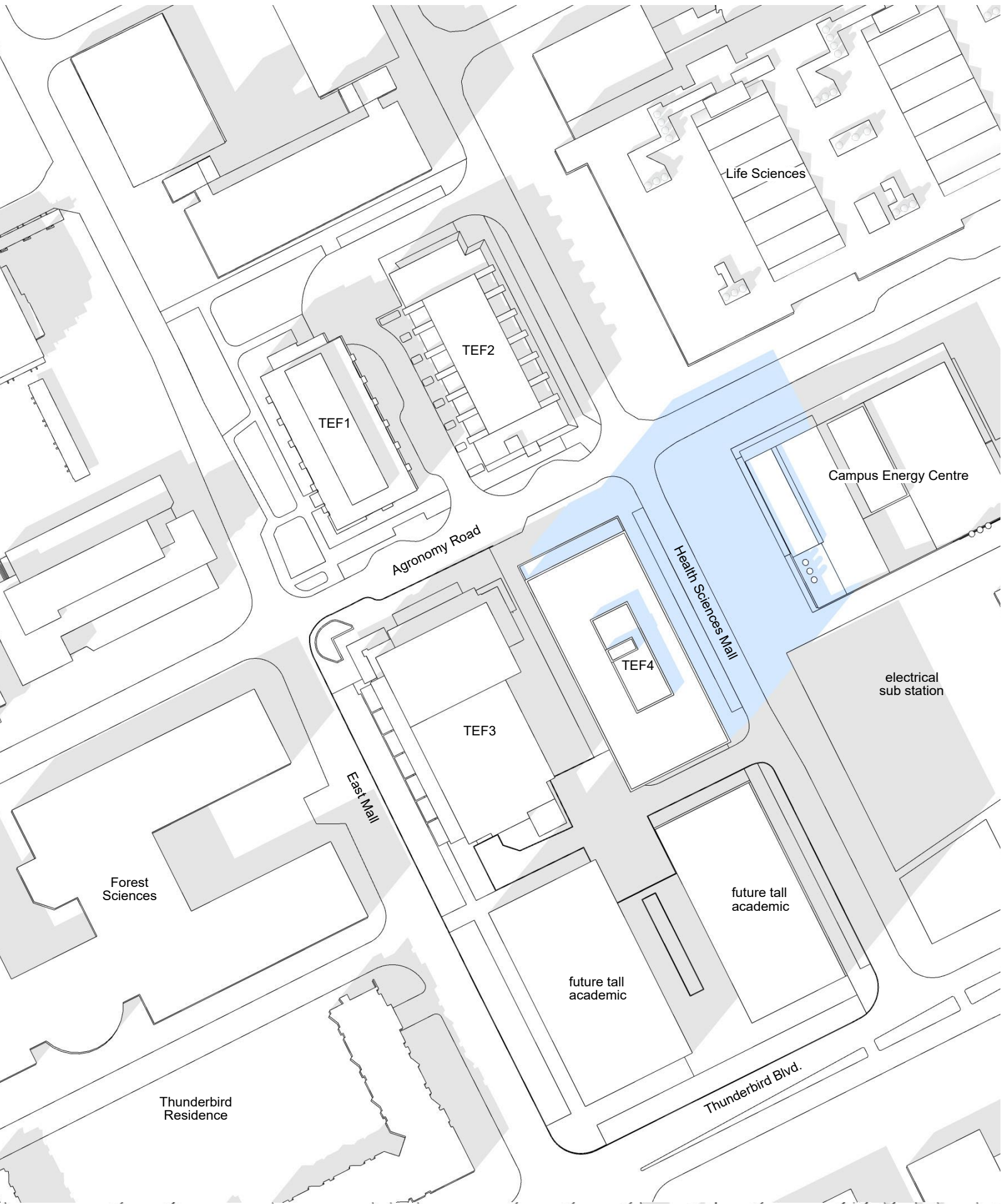
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A003



1 Spring 19 March 10 AM
NTS



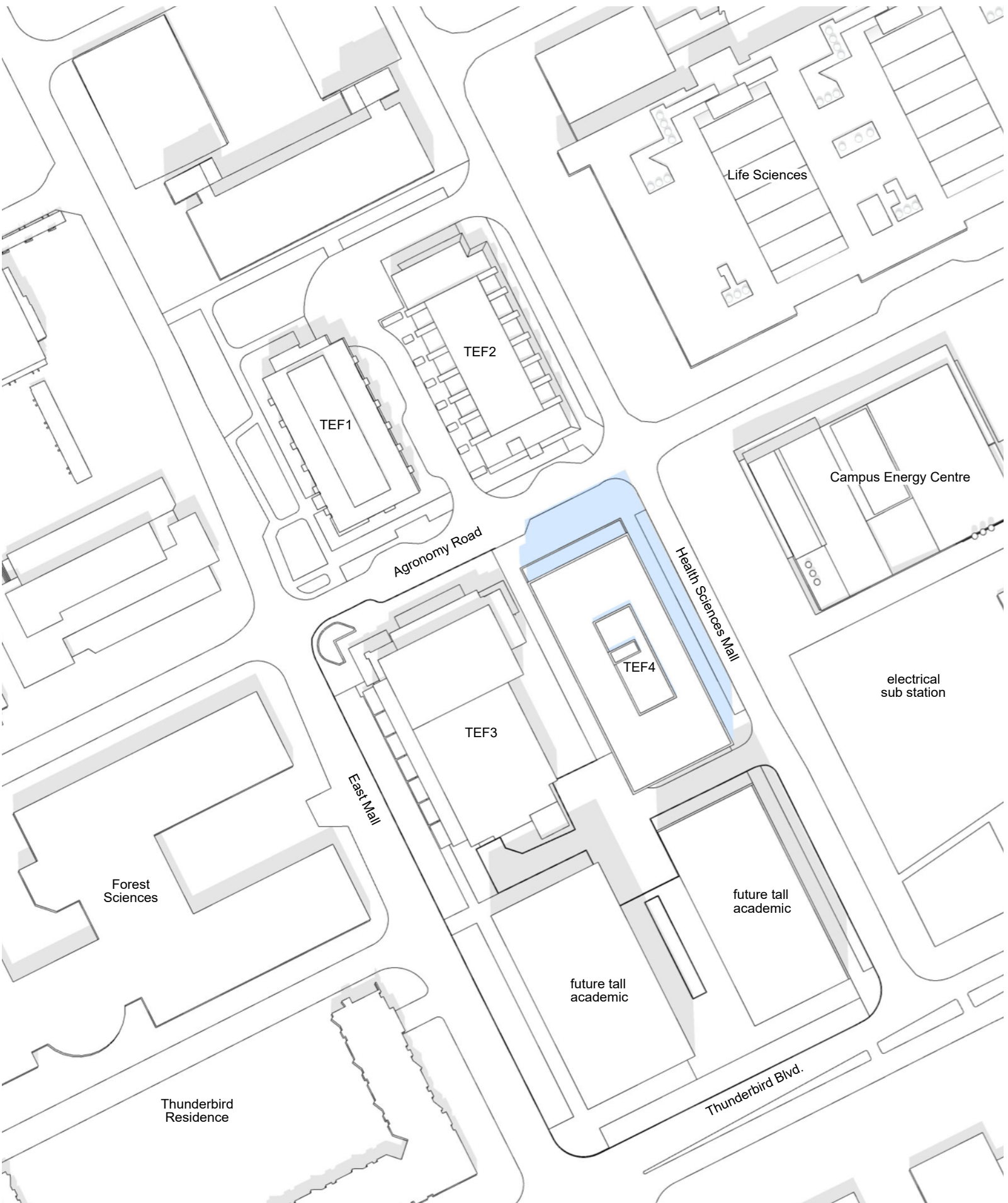
2 Spring 19 March 12 PM
NTS



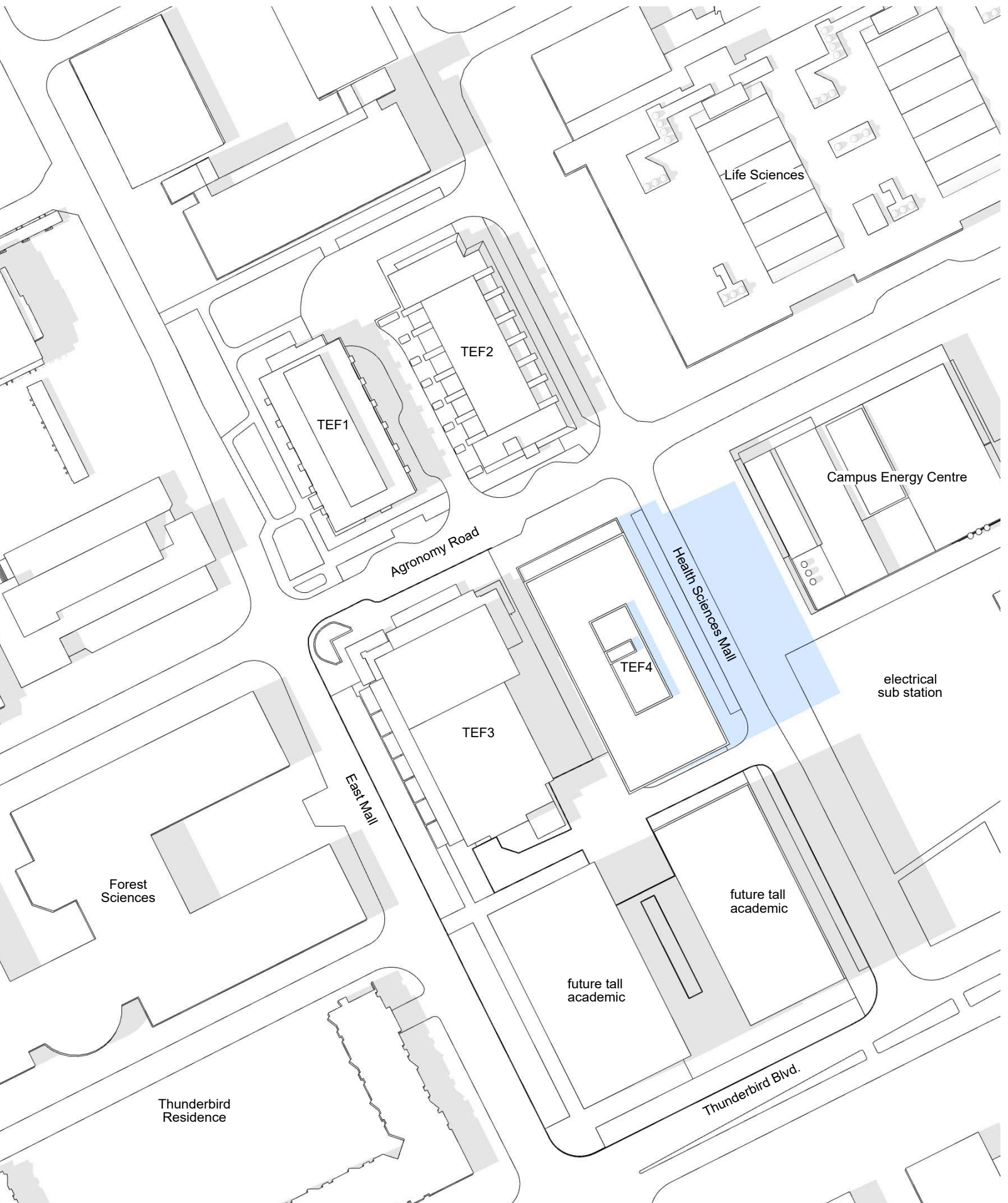
3 Spring 19 March 2 PM
NTS



4 Summer 20 June 10 AM
NTS



5 Summer 20 June 12 PM
NTS



6 Summer 20 June 2 PM
NTS

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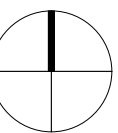
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Shadow Analysis

drawing number
A004



1 street level view looking southwest from Agronomy and Health Sciences Mall
NTS



2 aerial view looking southeast from Agronomy and East Mall
NTS



3 view looking west from Agronomy and Health Sciences Mall
NTS



4 view looking north in the pedestrian mews
NTS



5 view looking south from Health Sciences Mall
NTS



6 view looking north from the loading bay
NTS

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Exterior Perspectives

drawing number

A005



1 east elevation
NTS

SHELL OFFICE SPACE
sliding windows c/w ceramic frit (pattern & opacity tbd)
spandrel glass at columns



ENTRANCE PORTAL / OFFICE LOBBY
3 colours of anodized aluminum panels
clear vision glass

CRU 04
sliding windows c/w clear vision glass
spandrel glass at columns

CRU 04
sliding windows c/w clear vision glass
spandrel glass at columns



CRU 03
clear vision glass
spandrel glass at columns

CRU 02
clear vision glass
spandrel glass at columns

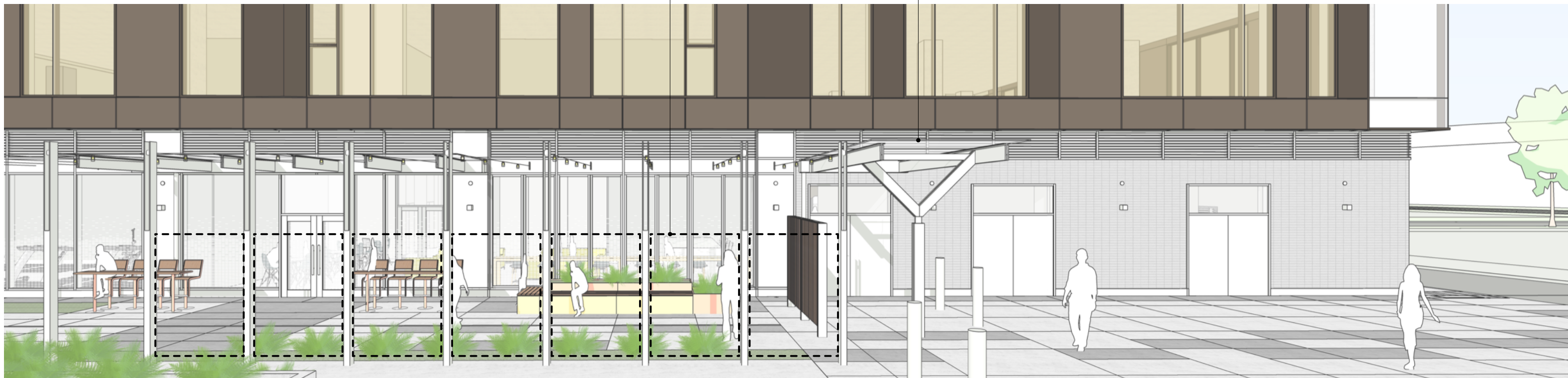
CRU 01
clear vision glass
spandrel glass at columns



3 west elevation
NTS

CRU 01
clear vision glass
spandrel glass at columns

EXERCISE AMENITY
ceramic frit on vision glass (pattern & opacity tbd)
spandrel glass at columns



MULTIPURPOSE LOUNGE
sliding windows c/w ceramic frit (pattern & opacity tbd)
spandrel glass at columns

GARBAGE / RECYCLE / LOADING
white masonry



4 south elevation
NTS

GARBAGE / RECYCLE
white masonry

GAS METER ENCLOSURE
louvered gate
white masonry

CHEMICAL STORAGE ENCLOSURE
louvered gate
white masonry

SHELL OFFICE SPACE
ceramic frit on vision glass (pattern & opacity tbd)
spandrel glass at columns

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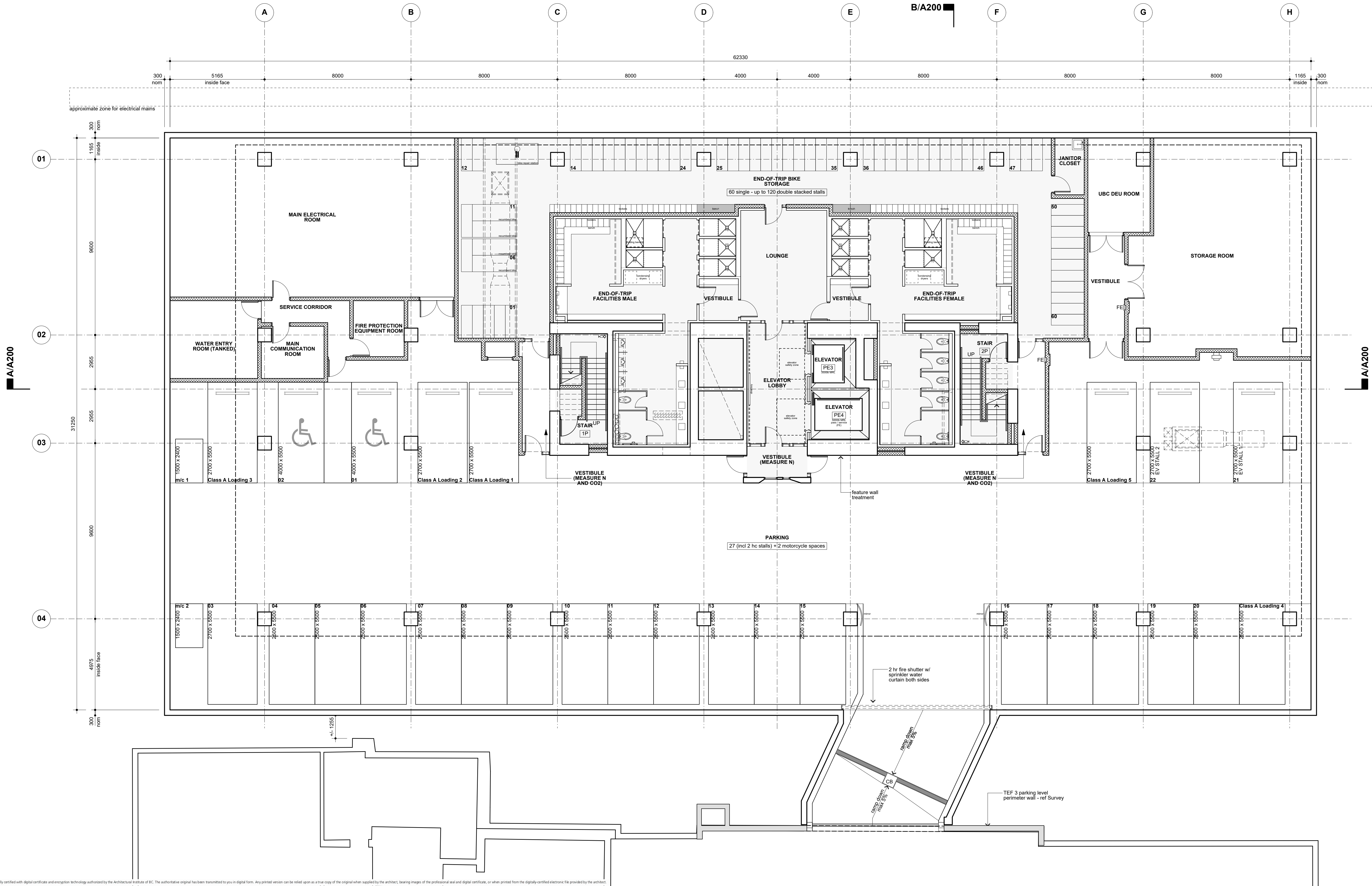
Ground Level Perspectives

drawing number

A006

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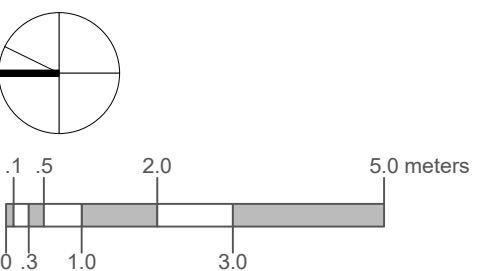
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Level P1 Plan

drawing number

A100

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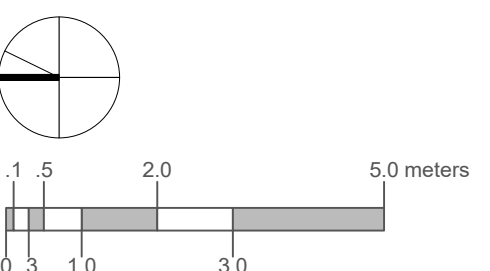
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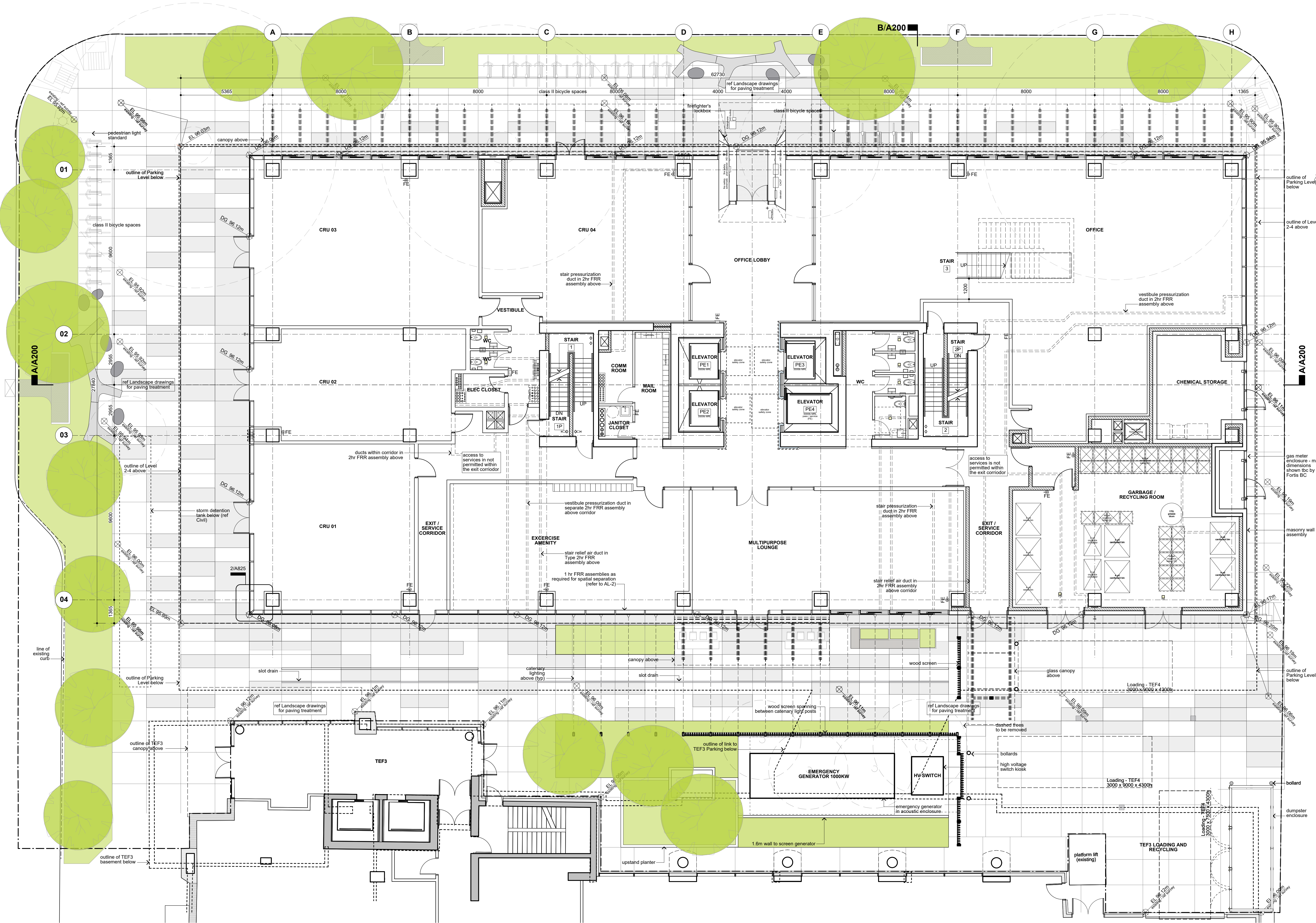
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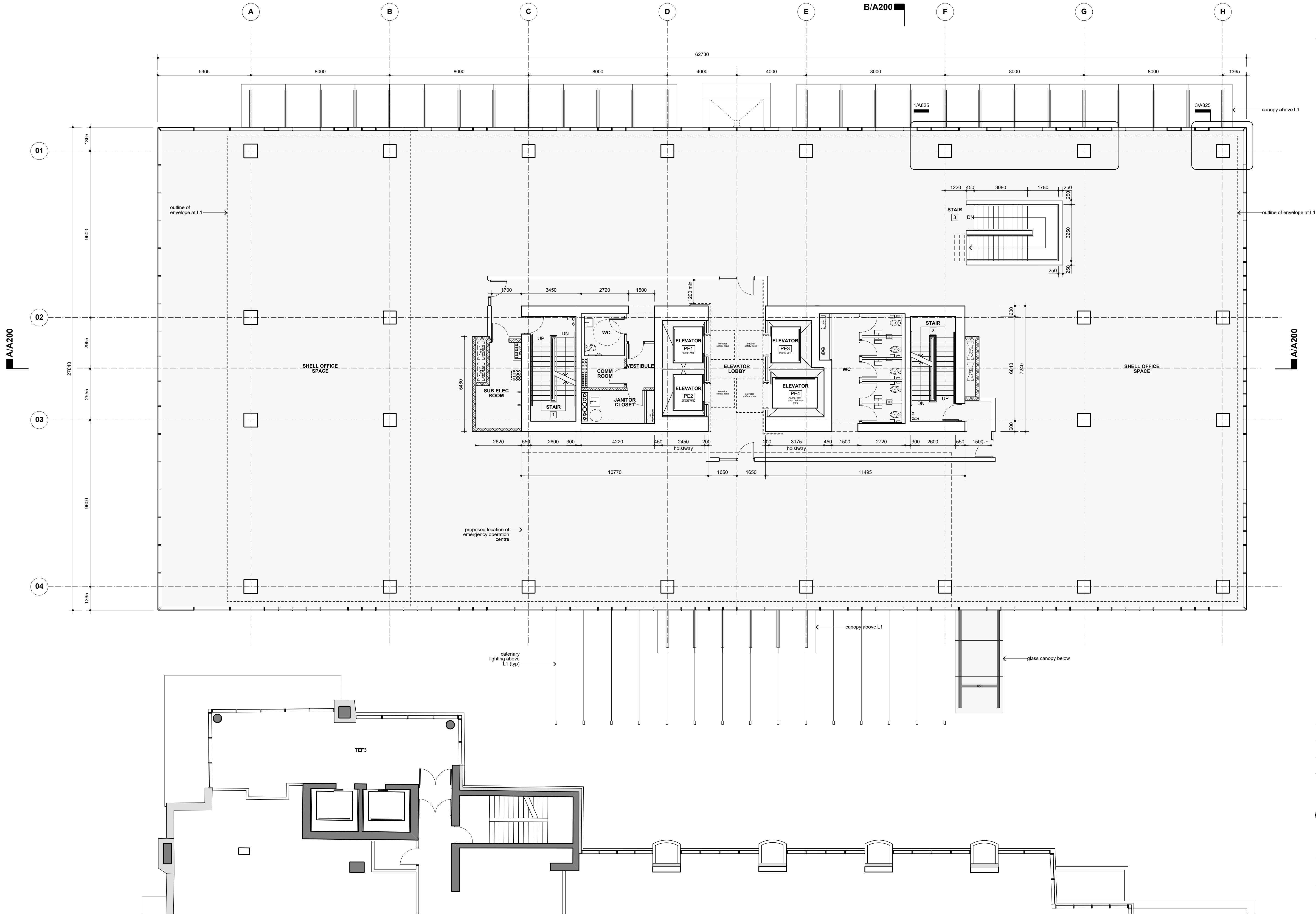
Level 1 Plan

drawing number
A101



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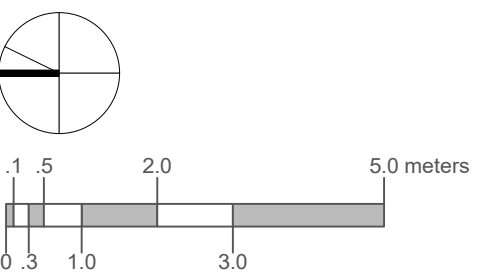
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SC	RA



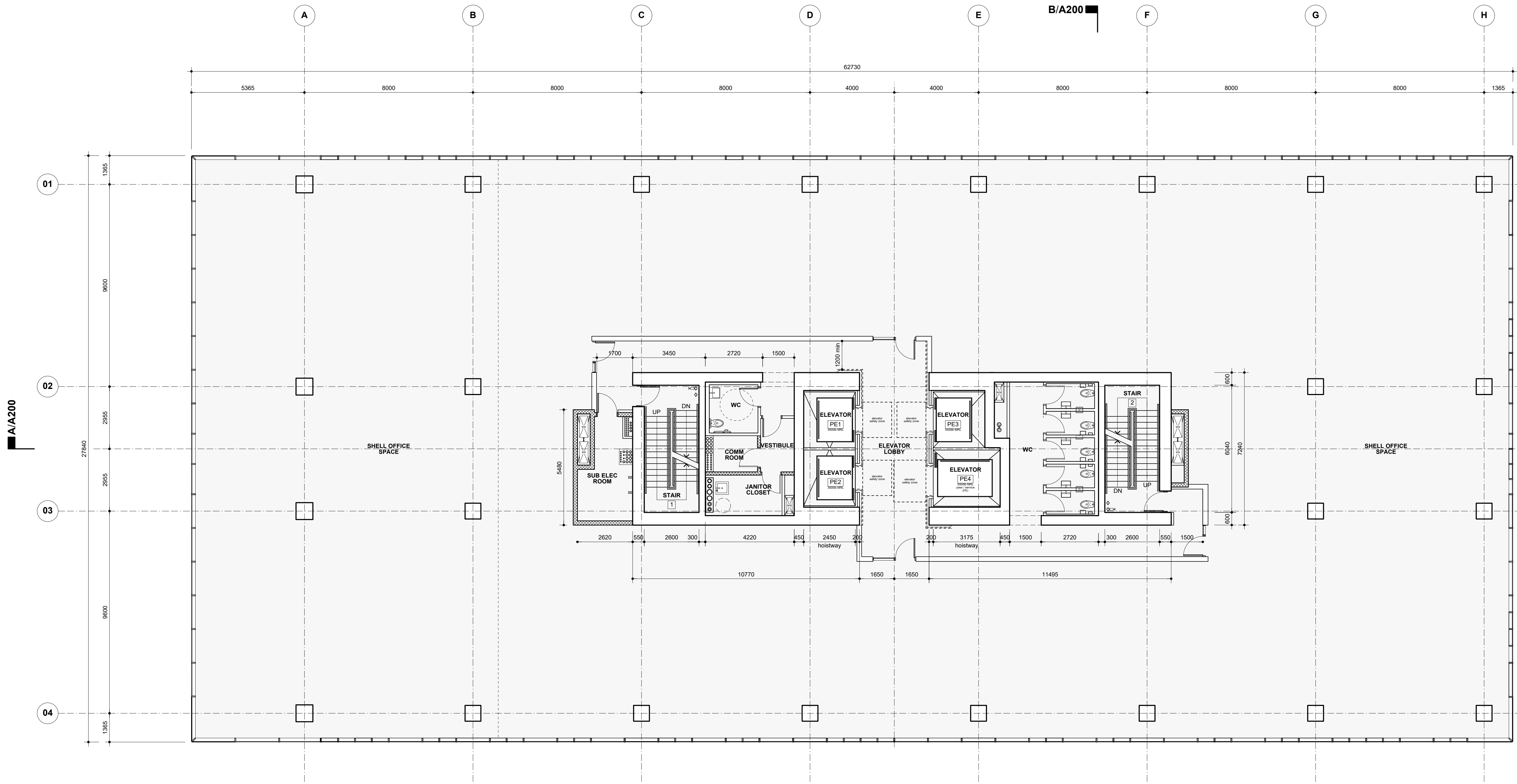
Level 2 Plan

drawing number

A102

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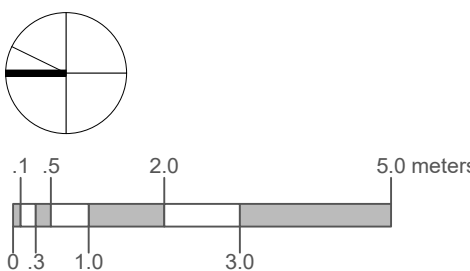
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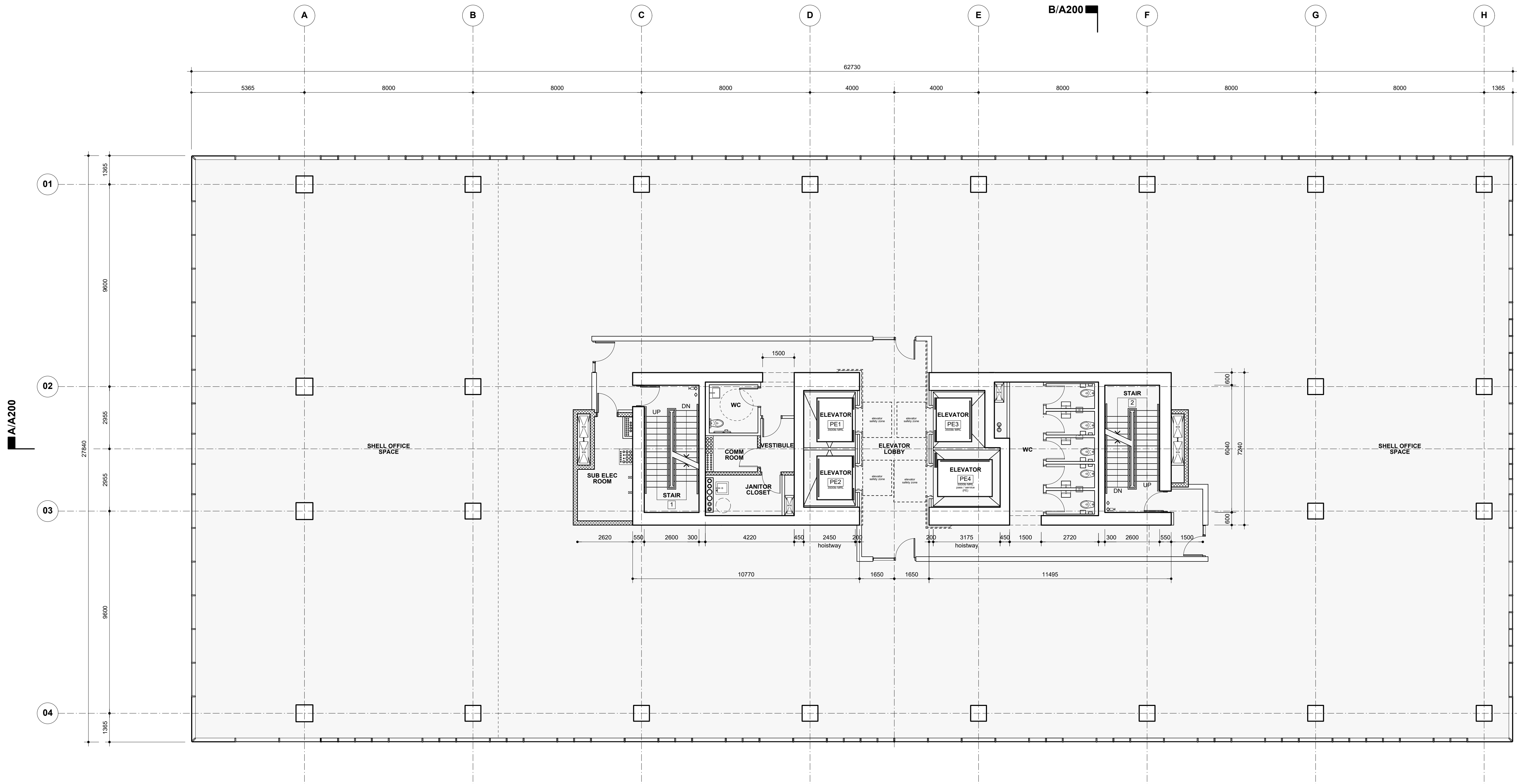
Level 3 Plan

drawing number

A103

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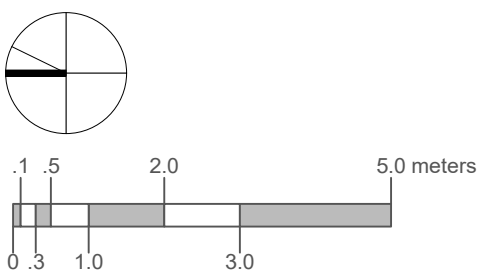
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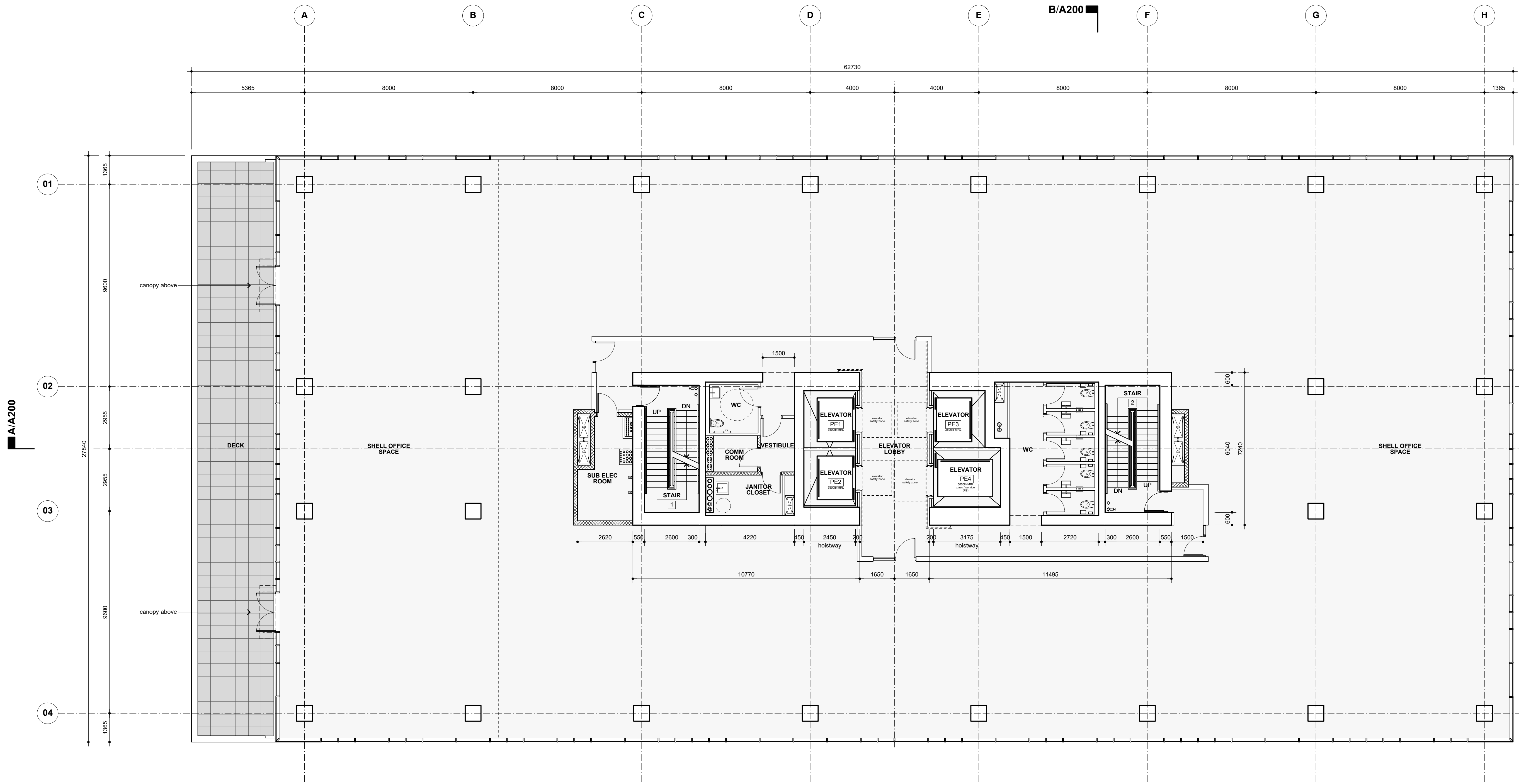
Level 4 Plan

drawing number

A104

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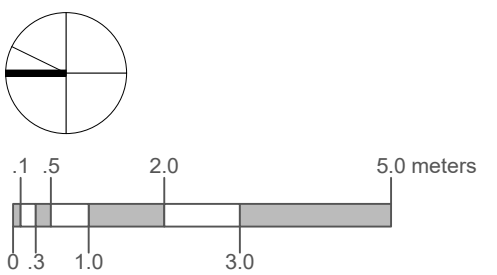
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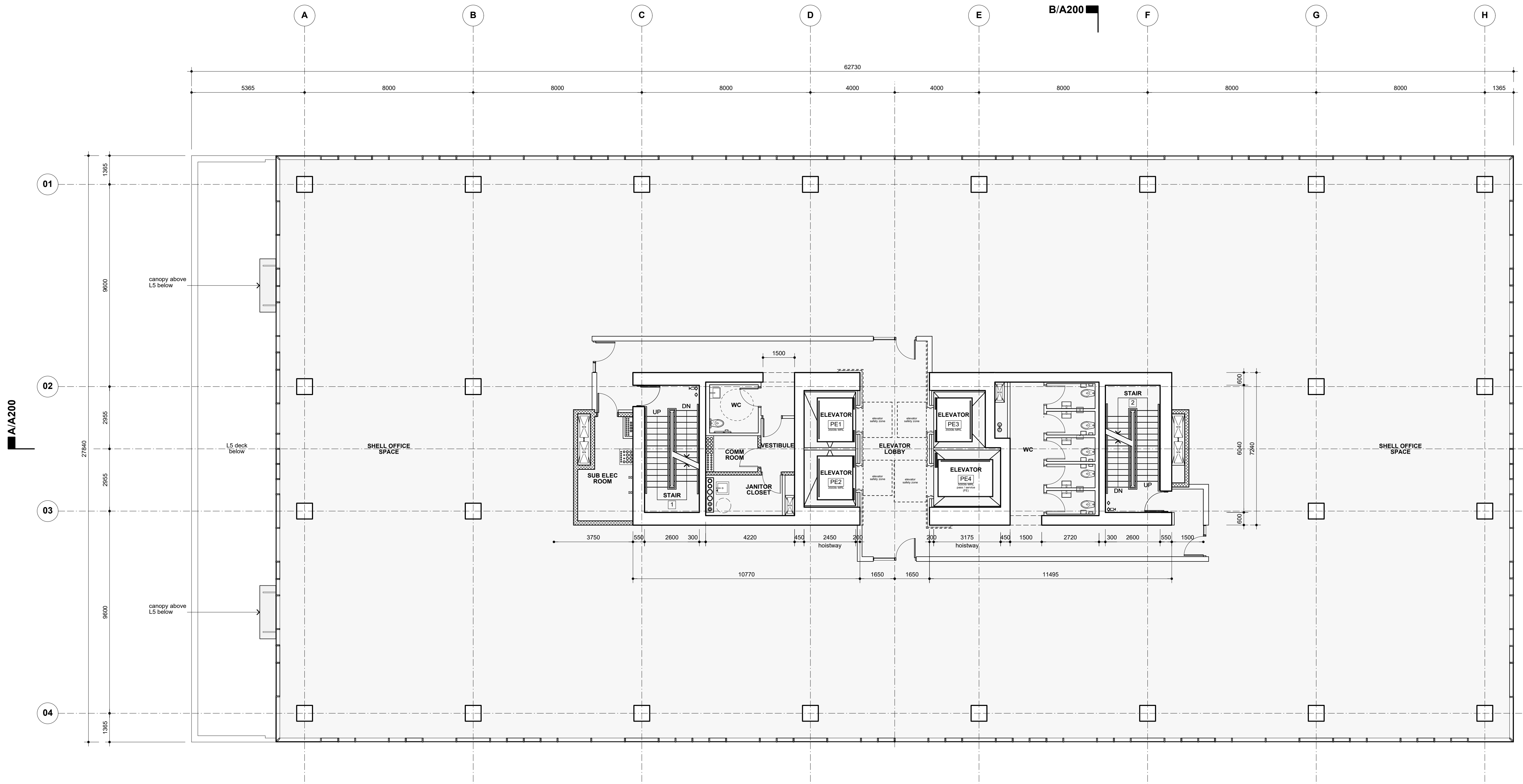
Level 5 Plan

drawing number

A105

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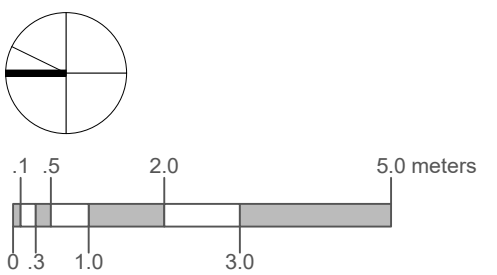
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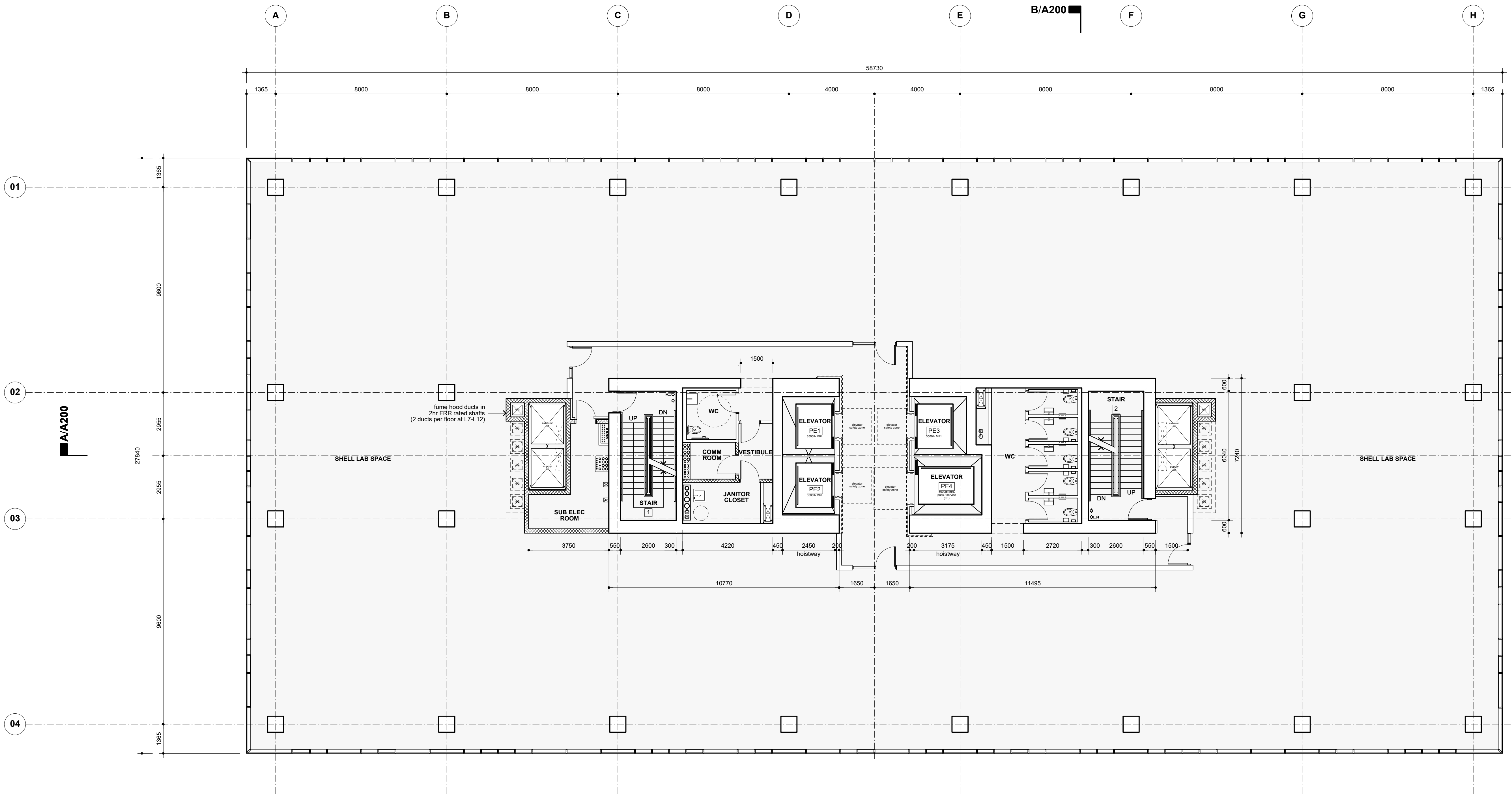
Level 6 Plan

drawing number

A106

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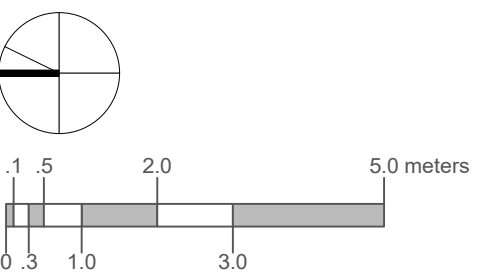
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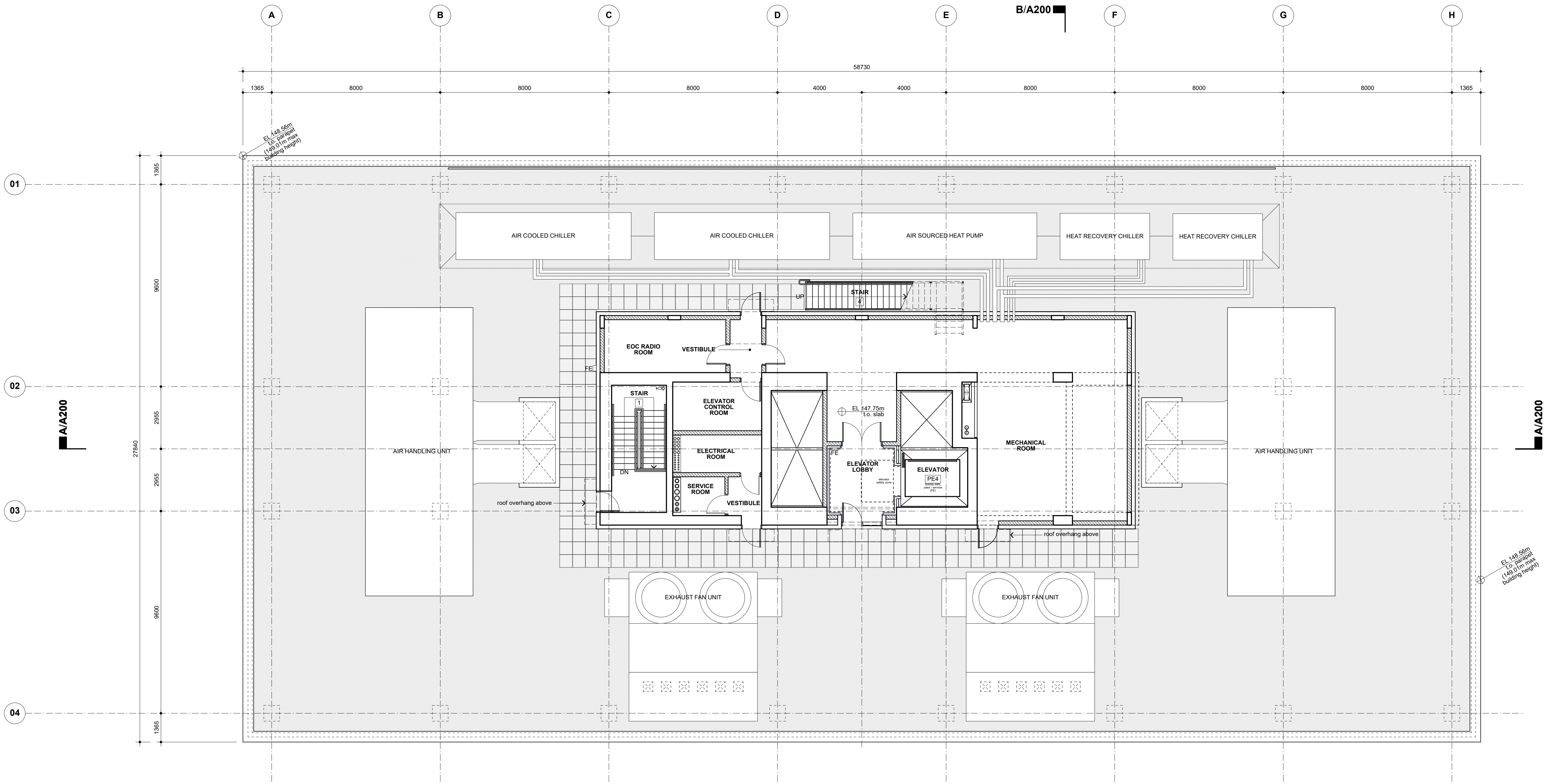


Level 7-12 Plan

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A107

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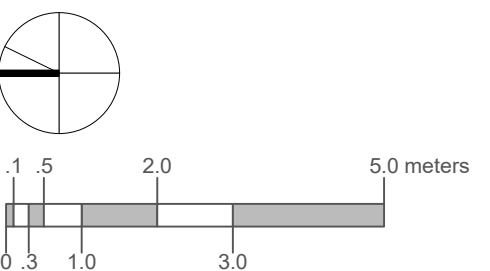
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drawn	checked
SC	RA



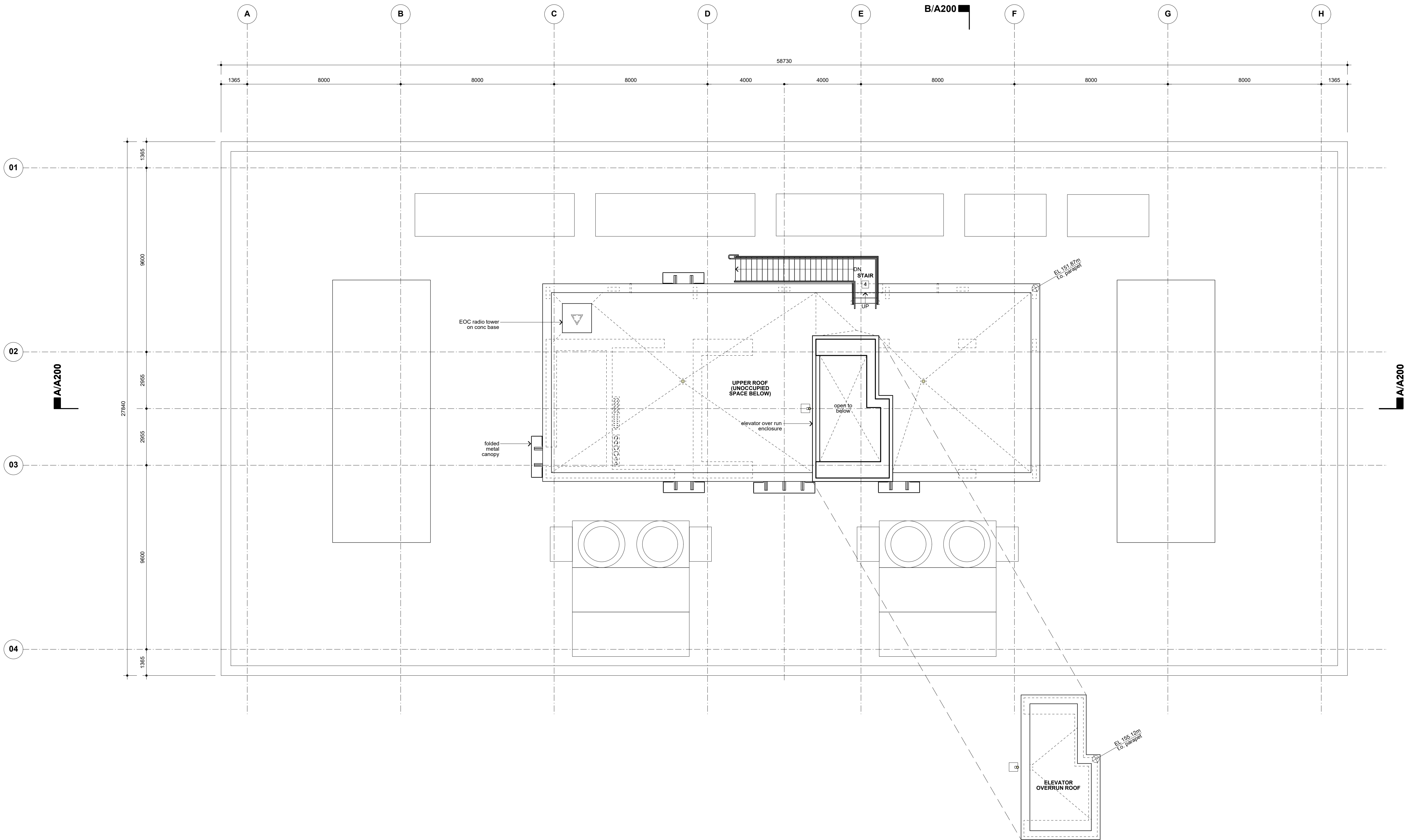
Roof Plan

drawing number

A108

ISSUES

22 Nov 2019 Issued for Development Permit
24 Feb 2020 Issued for AUDP/DRC Response
01 Feb 2022 Issued for DP Amendment



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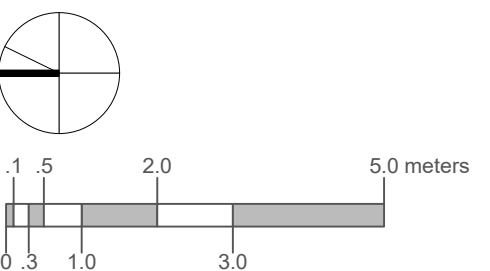
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Technology
Enterprise Facility 4

UBC Properties Trust
2425 Health Sciences Mall

scale	date
1 : 100	01 Feb 2022
project code	status
TEF4	DP Amendment
drawn	checked
SC	RA

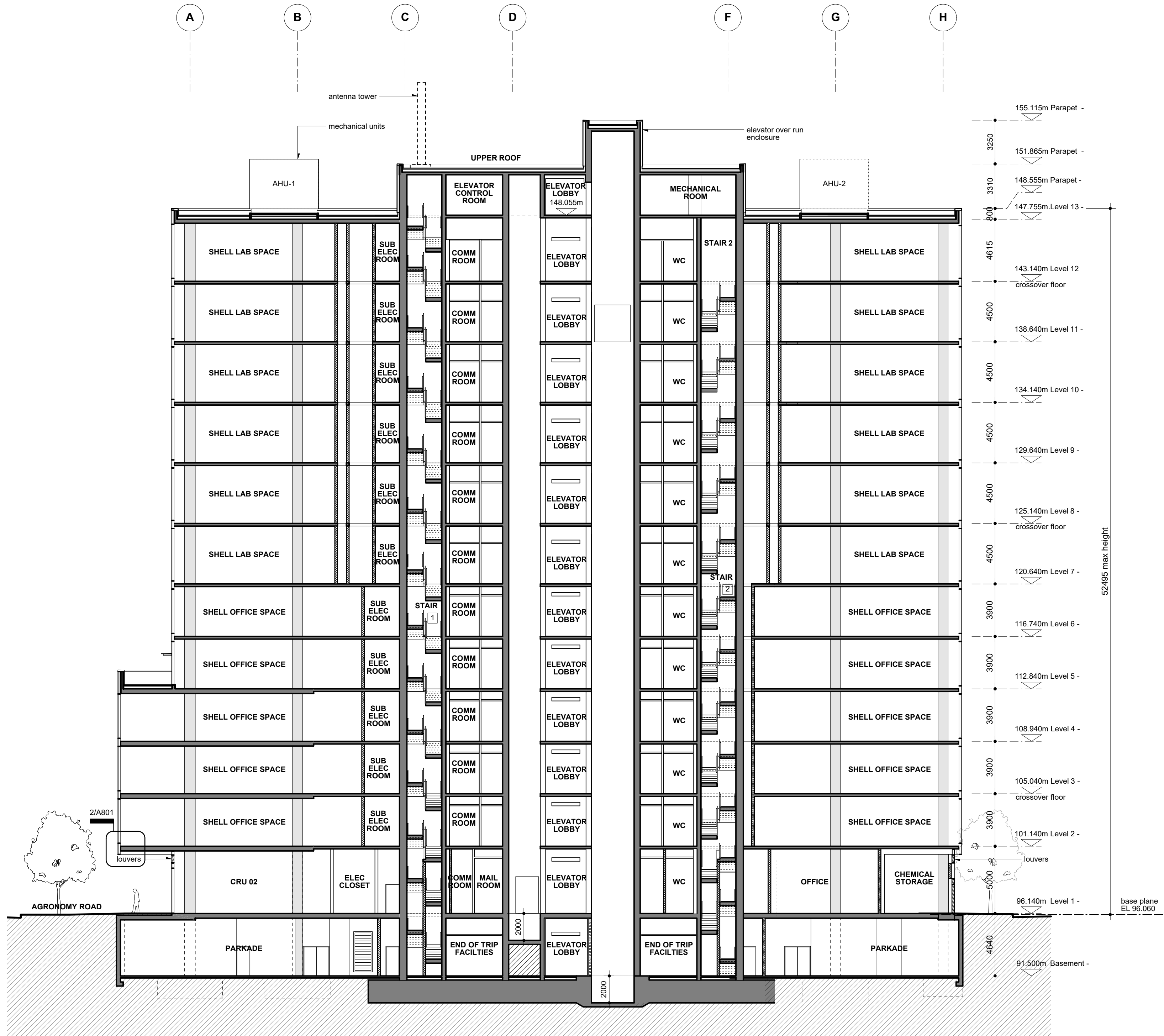


Upper Roof Plan

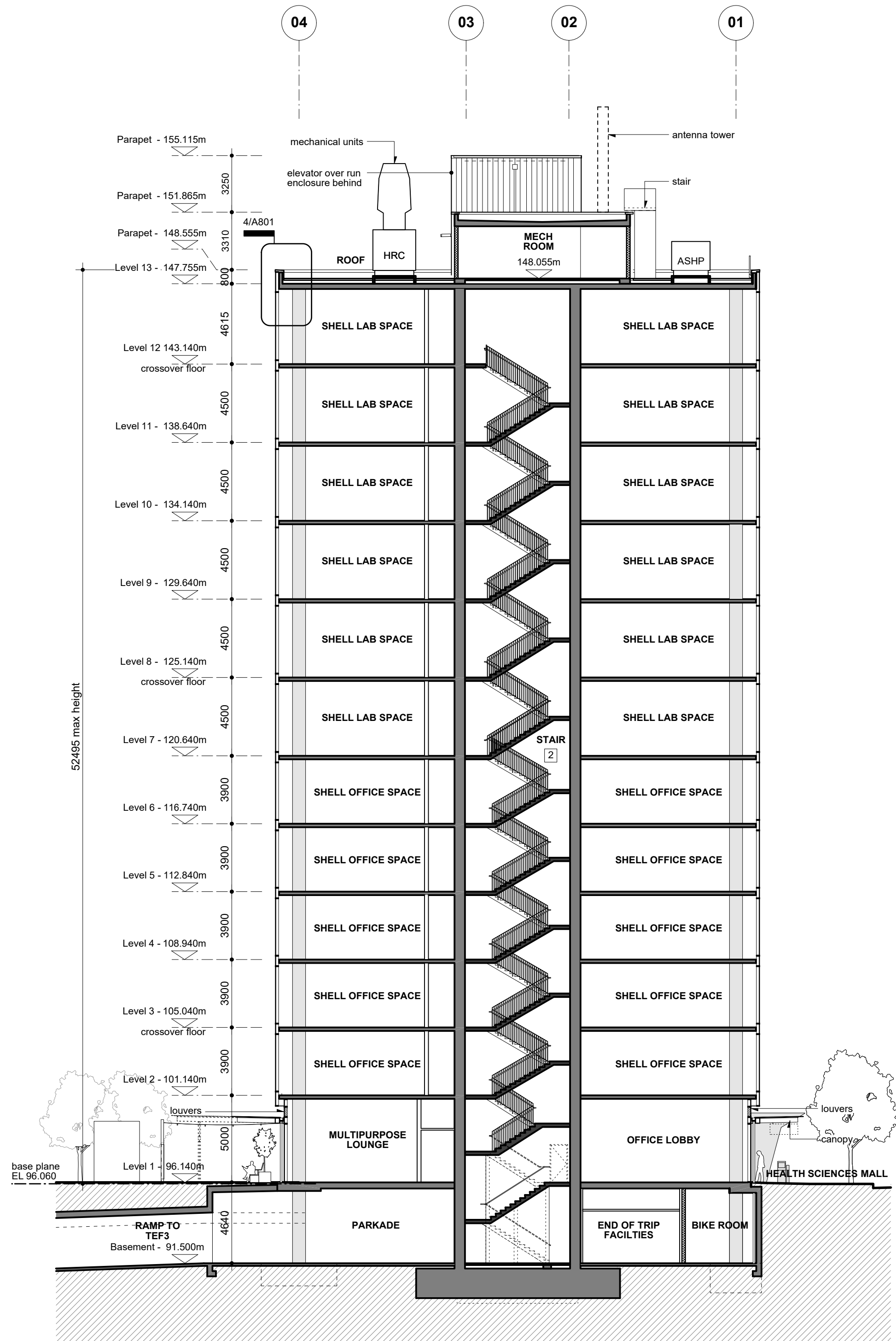
drawing number
A109

ISSUES

22 Nov 2019 Issued for Development Permit
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1 /A200 Section A-A
1:200



2 /A200 Section B-B
1:200

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scale	date
1: 200	01 Feb 2022
project code	status
TEF4	DP Amendment
drawn	checked
SC	RA

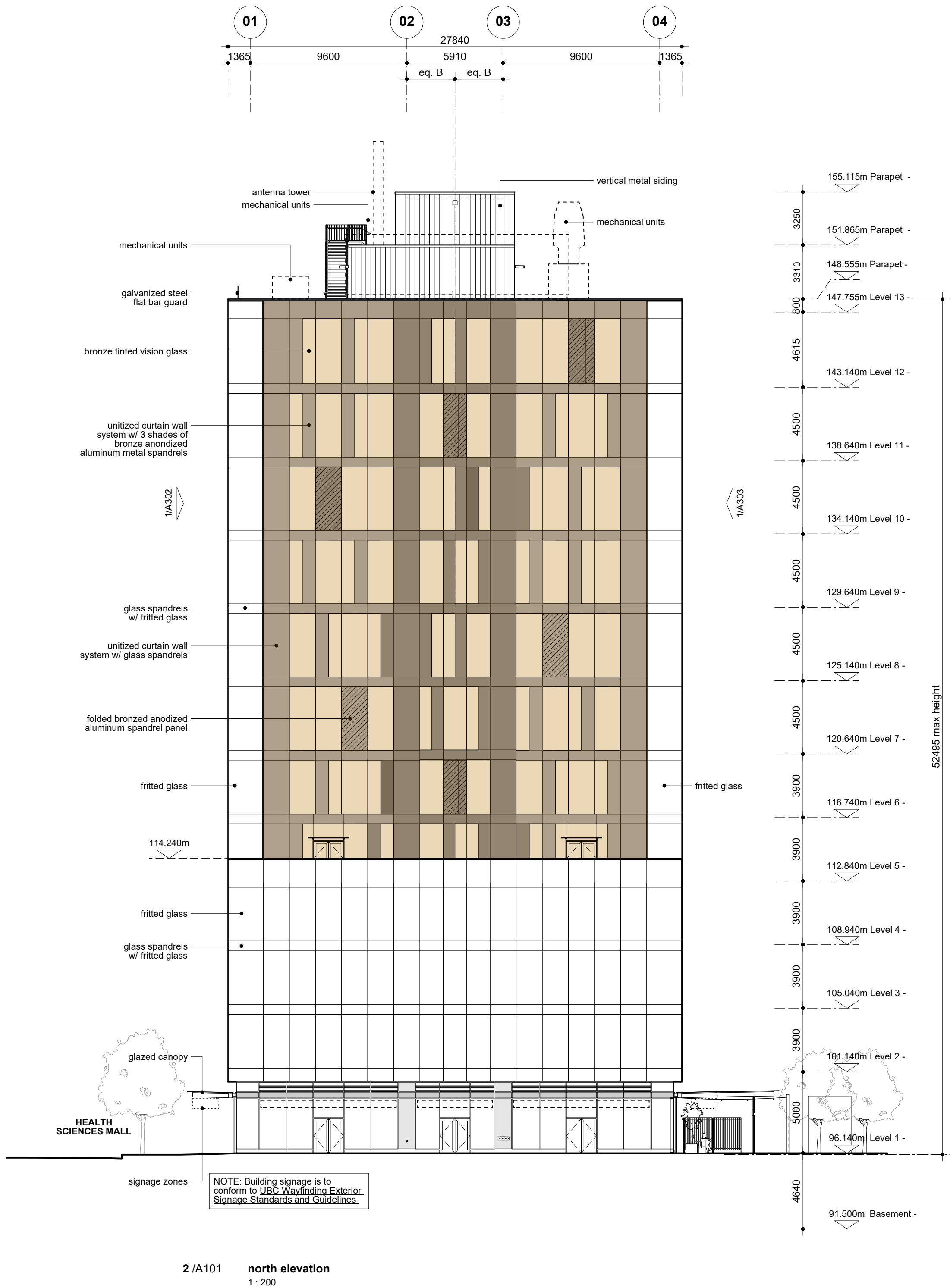
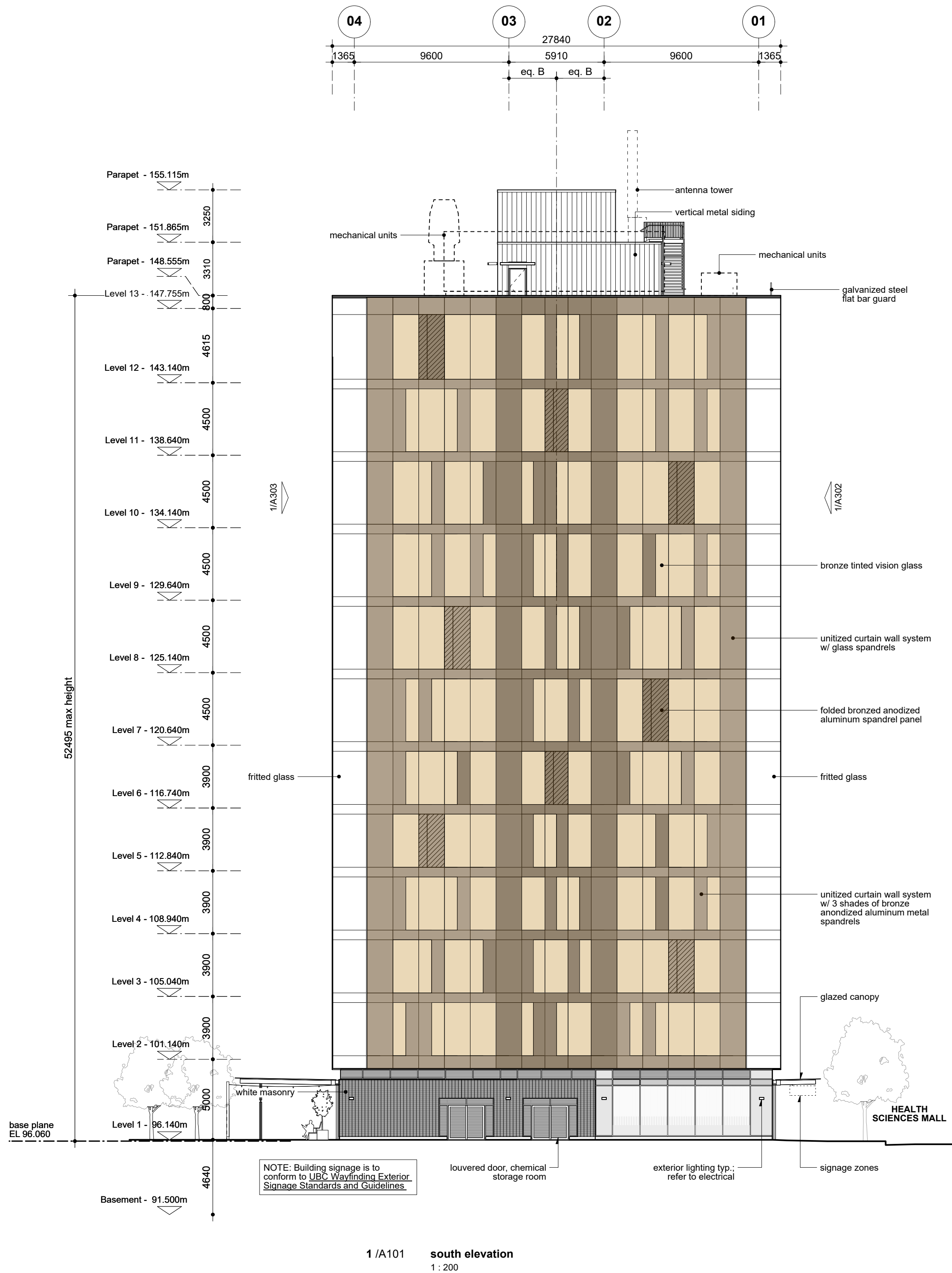
Sections

drawing number

A200

ISSUES

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UBC Properties Trust
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scale	date
1:200	01 Feb 2022
project code	status
TEF4	DP Amendment
drawn	checked
SJK	RA / GA

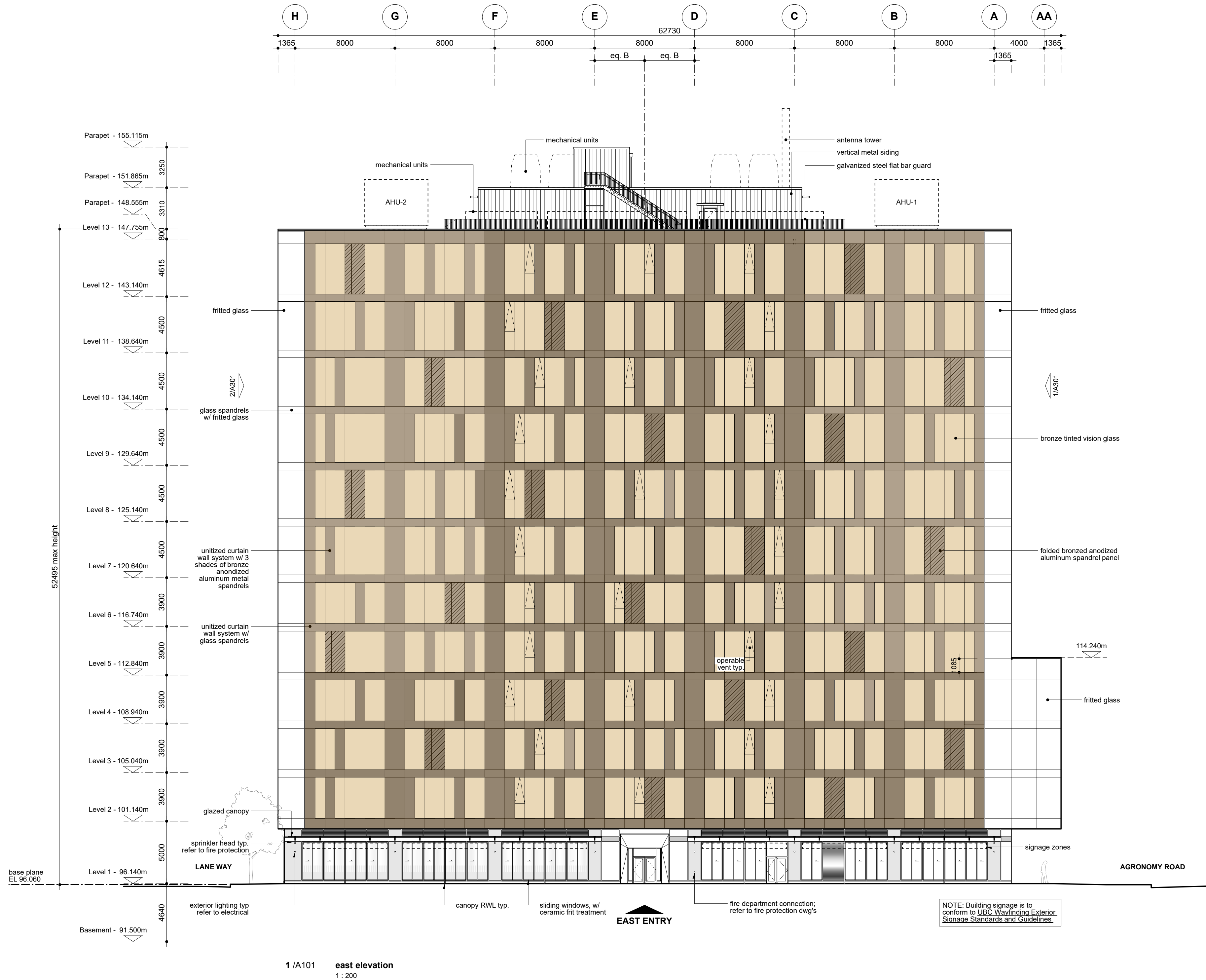
North and South Elevations

drawing number

A301

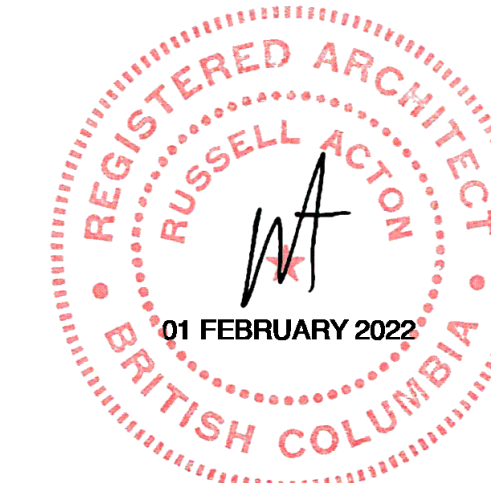
ISSUES

22 Nov 2019	Issued for Development Permit
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scale	date
1 : 200	01 Feb 2022
project code	status
TEF4	DP Amendment
drawn	checked
SJK	RA / GA

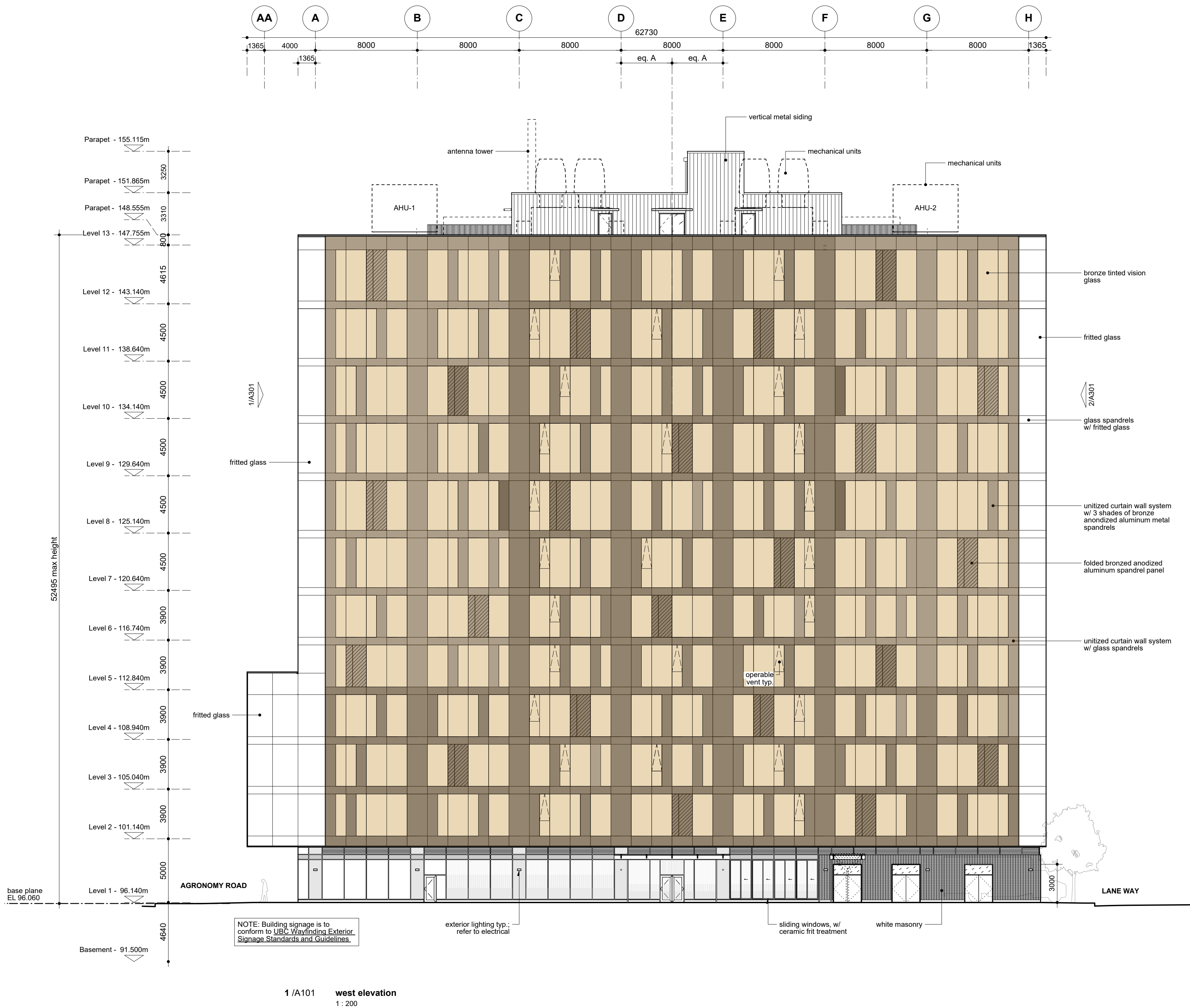
East Elevation

drawing number

A302

ISSUES

22 Nov 2019 Issued for Development Permit
24 Feb 2020 Issued for AUDP/DRC Response
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Technology Enterprise Facility 4

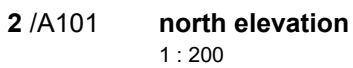
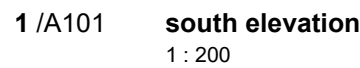
UBC Properties Trust
2425 Health Sciences Mall

scale	date
1 : 200	01 Feb 2022
project code	status
TEF4	DP Amendment
drawn	checked
SJK	RA / GA







West Elevation

drawing number

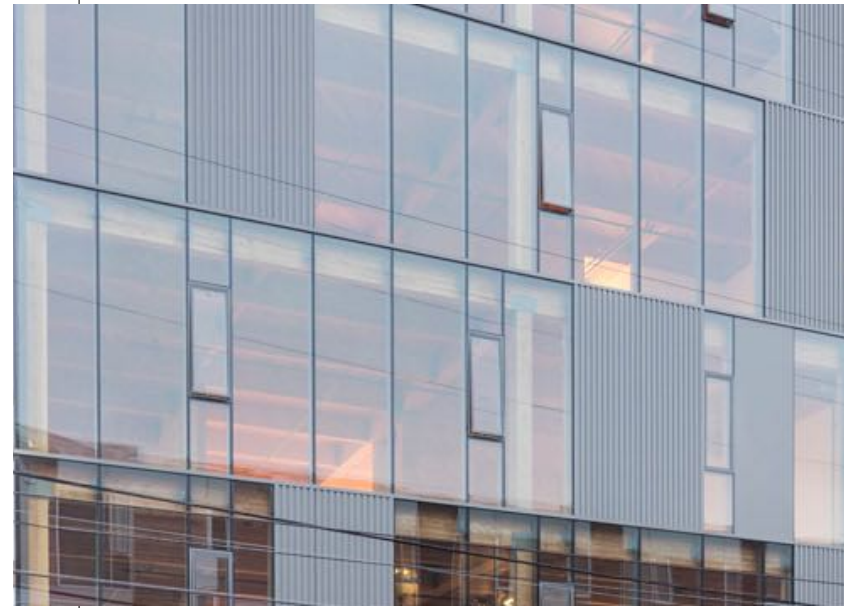
A303



Material Legend

	metal cladding		vision glass tinted bronze
	untitized curtain wall system w/ glass spandrels		vision glass with a white frit pattern
	untitized curtain wall system w/ 3 shades of bronze anodized aluminum spandrels		folded bronzed anodized aluminum spandrel panel

A composite image featuring a city skyline at sunset, with a grid of numbers overlaid, representing data analysis. The numbers are arranged in a grid pattern, with some numbers highlighted in red and others in blue. The background shows a city skyline with buildings and a sunset sky. The numbers are arranged in a grid pattern, with some numbers highlighted in red and others in blue. The background shows a city skyline with buildings and a sunset sky.



folded bronze aluminum composite spandrel panels



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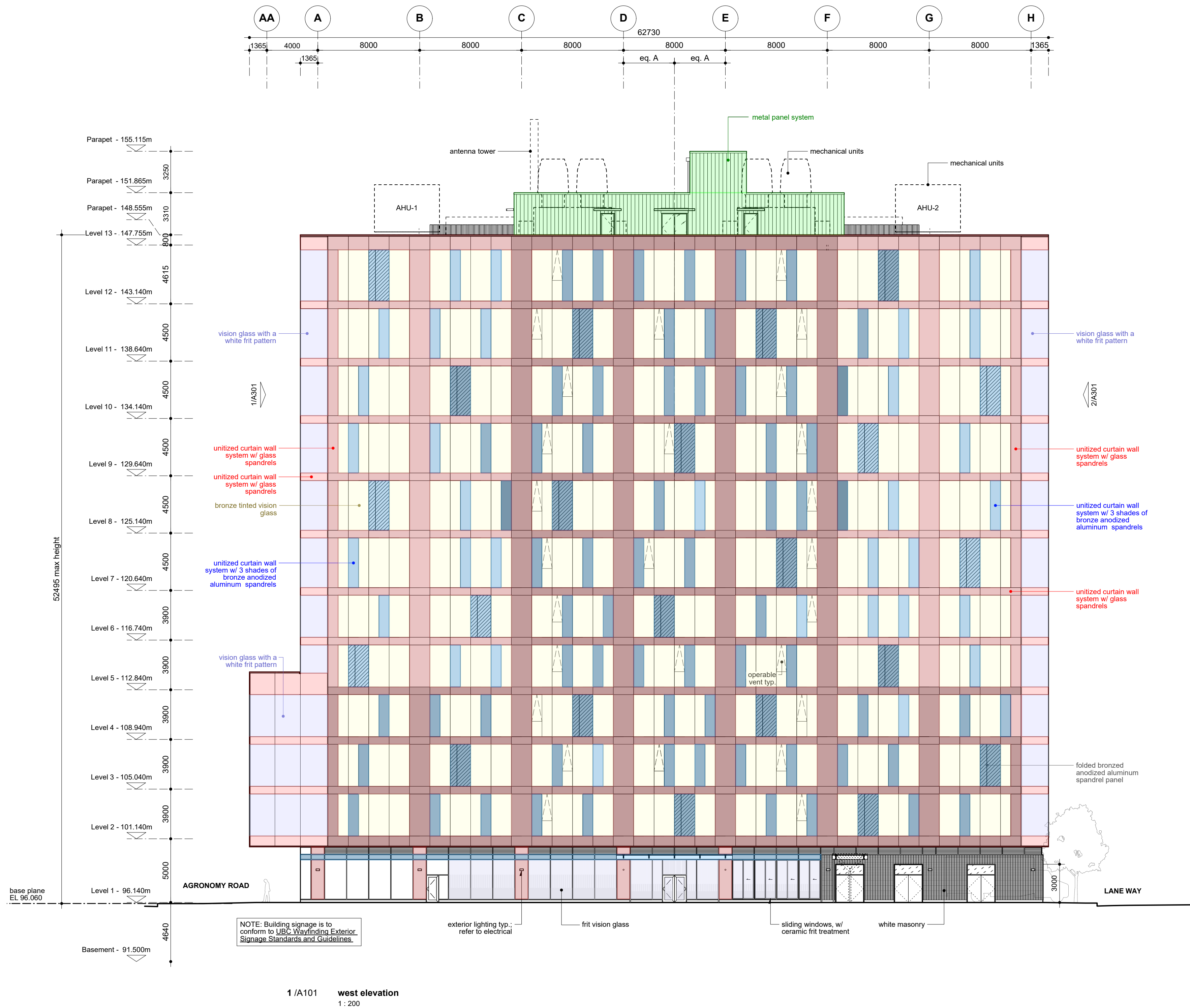
scale	date
1 : 200	01 Feb 2022
project code	status
TEF4	DP Amendment
drawn	checked
GA	RA / GA

drawing number

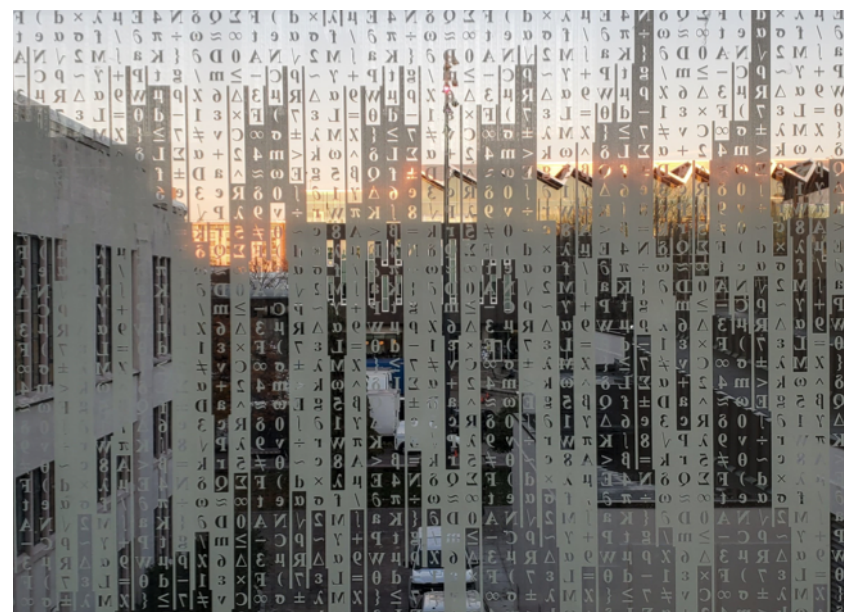
A304

ISSUES

24 Feb 2020 Issued for AUDP/DRC Response
01 Feb 2022 Issued for DP Amendment



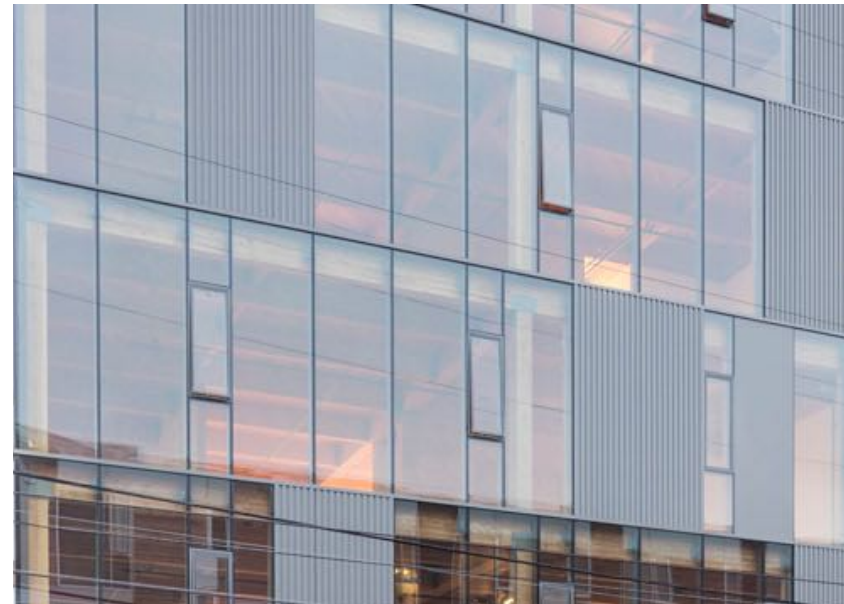
Material Precedents



vision glass with a white frit pattern



bronze anodized aluminum spandrel panels



bronze tinted vision glass



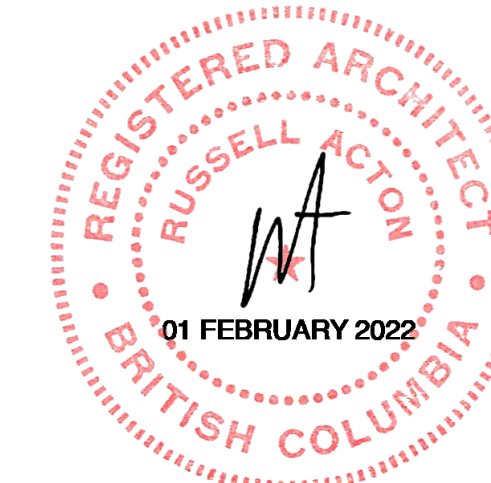
vision glass with a white frit pattern



folded bronze aluminum composite spandrel panels

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Technology Enterprise Facility 4

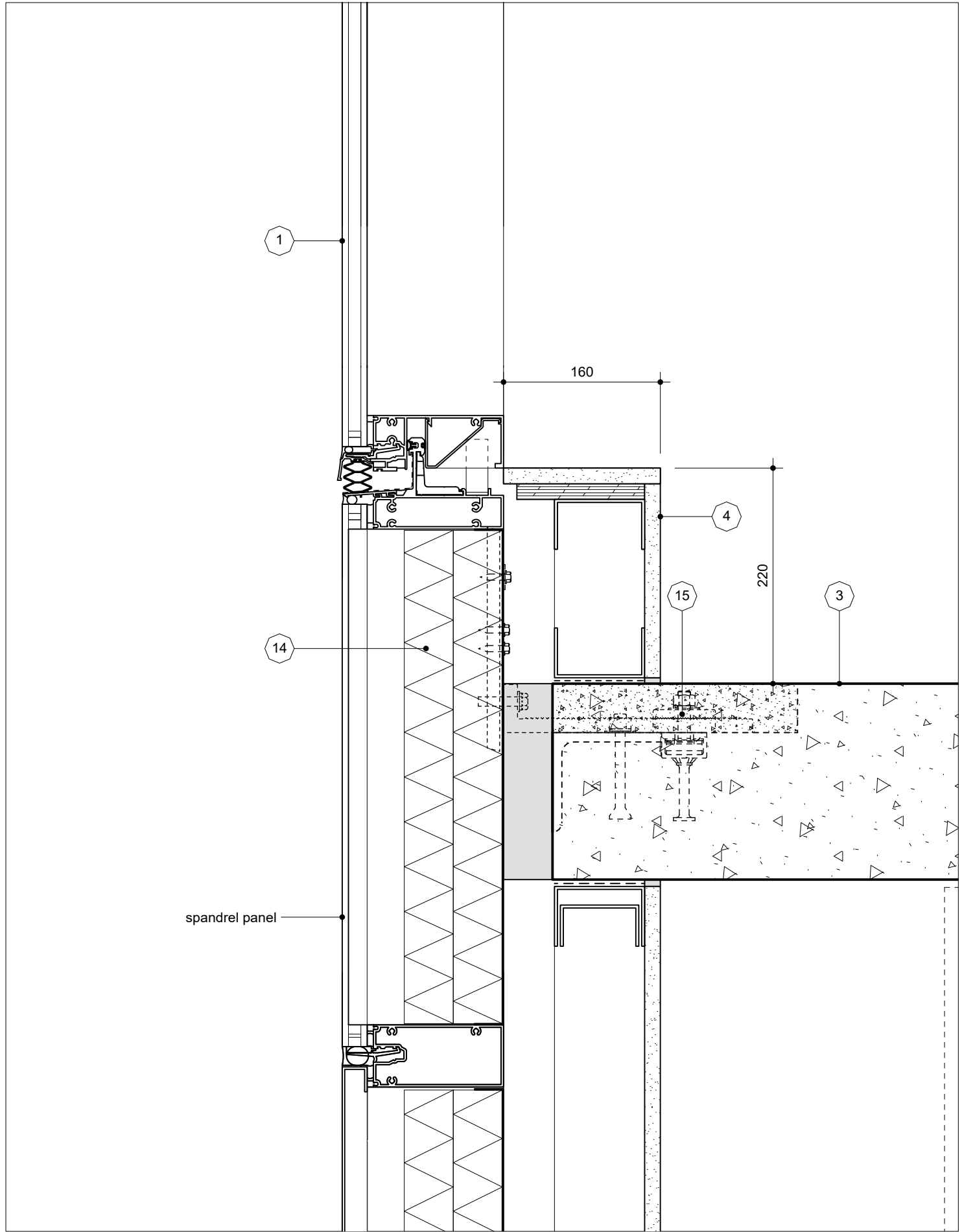
UBC Properties Trust
2425 Health Sciences Mall

scale	date
1 : 200	01 Feb 2022
project code	status
TEF4	DP Amendment
drawn	checked
GA	RA / GA

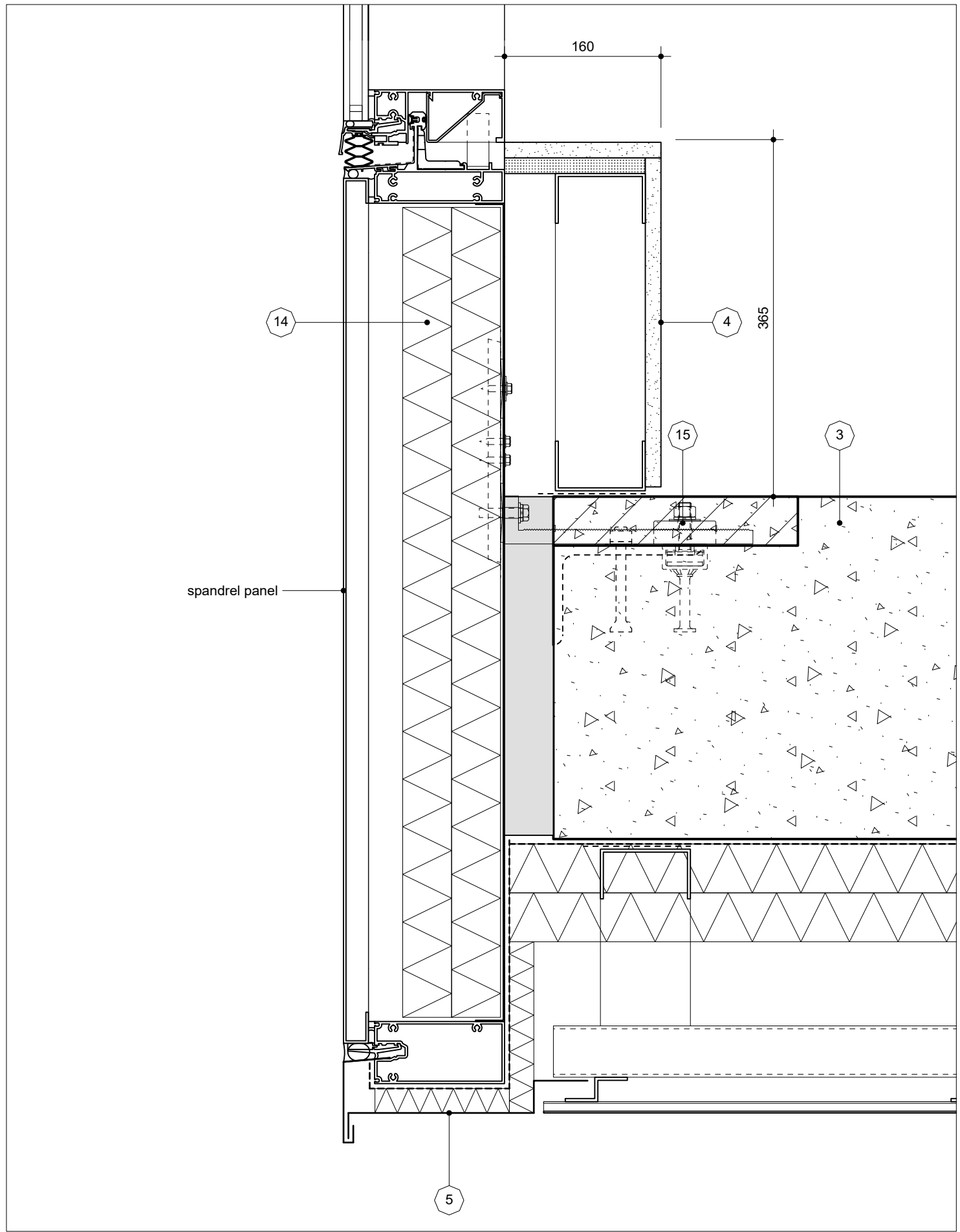
Material Palette
East Elevation

drawing number

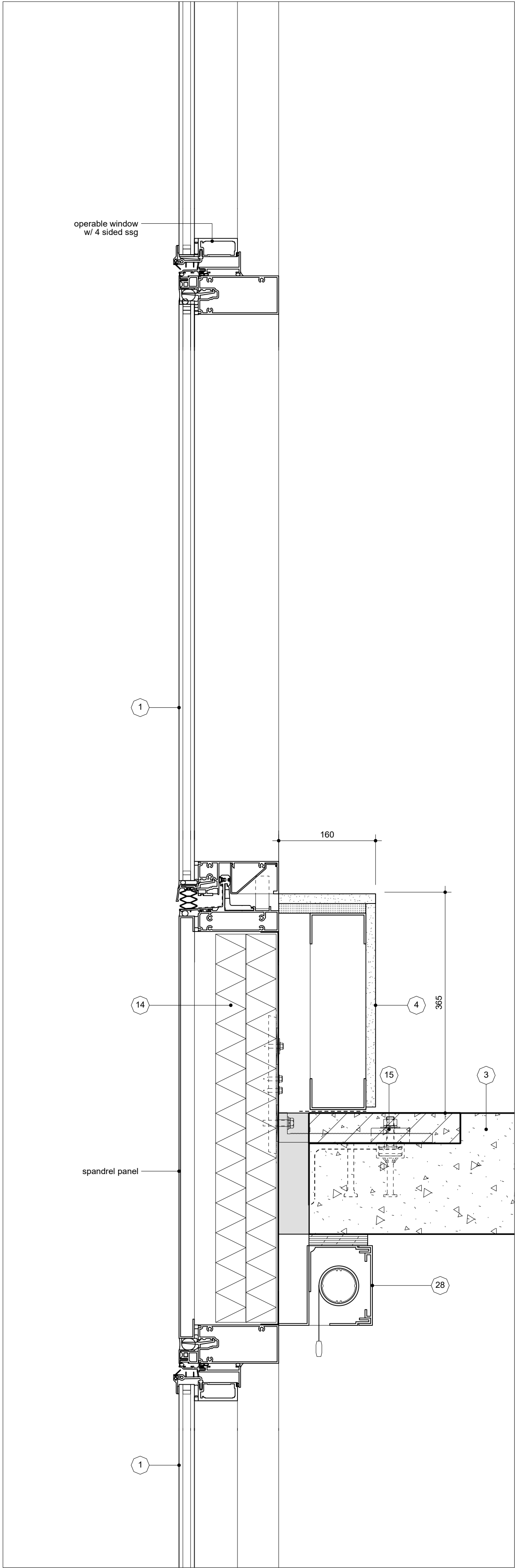
A306



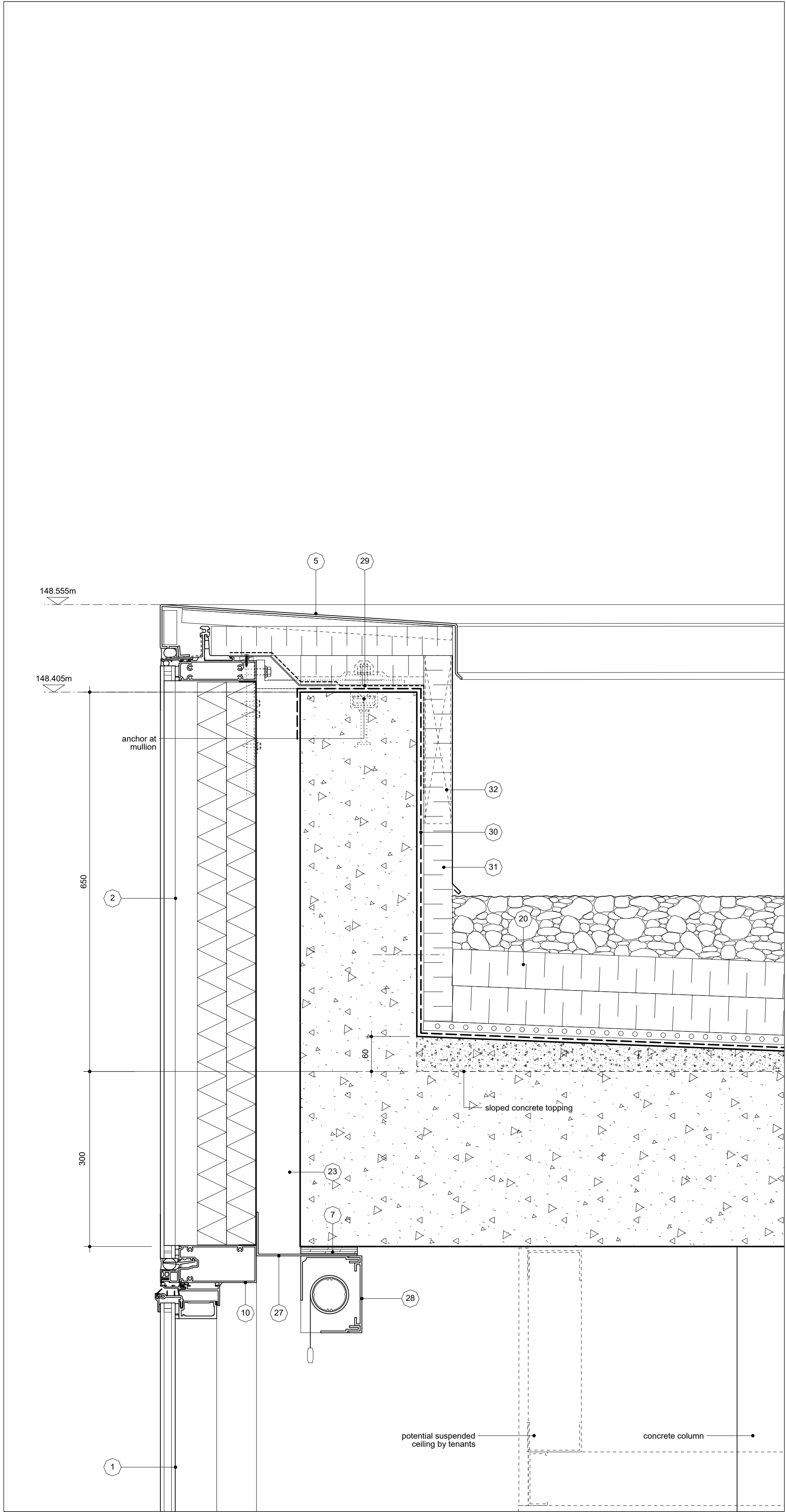
1 /A825 curtain wall glass spandrel panel at floor slab variation - typical where applicable
1:5



2 /A825 curtain wall aluminum spandrel panel and soffit - typical where applicable
1:5



3 /A825 operable window & aluminum spandrel panel at floor slab - typical where applicable
1:5



4 /A200 parapet and guardrail at roof - L13
1:5

legend

- 1 curtain wall vision glass
- 2 curtain wall spandrel panel
- 3 concrete
- 4 gypsum board
- 5 prefinished anodized aluminum flashing
- 6 sealant (c/w backer rod where applicable)
- 7 plywood (pressure treated when exterior)
- 8 prefinished metal flashing
- 9 miscellaneous metal
- 10 thermally broken aluminum glazing system
- 11 metal brake shape
- 12 expansion joint assembly
- 13 self-adhered membrane: air and vapour barrier
- 14 semi-rigid insulation
- 15 curtain wall frame anchor
- 16 asphalt-impregnated board
- 17 louvere
- 18 termination bar
- 19 precast concrete pavers
- 20 granular fill
- 21 linear metal grille
- 22 waterstop
- 23 mineral wool batt insulation
- 24 compressible neoprene gasket
- 25 aluminum louver
- 26 galvanized steel guardrail
- 27 metal brake shape
- 28 roller shade
- 29 self-adhered membrane: air and vapour barrier
- 30 2-ply SBS roofing membrane
- 31 rigid insulation
- 32 vertical z-bar
- 33 roof drain
- 34 concrete faced insulated wall panel
- 35 linear metal grille

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issues

10 Mar 2020 Issued for AUDP/DRC Response2
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Technology
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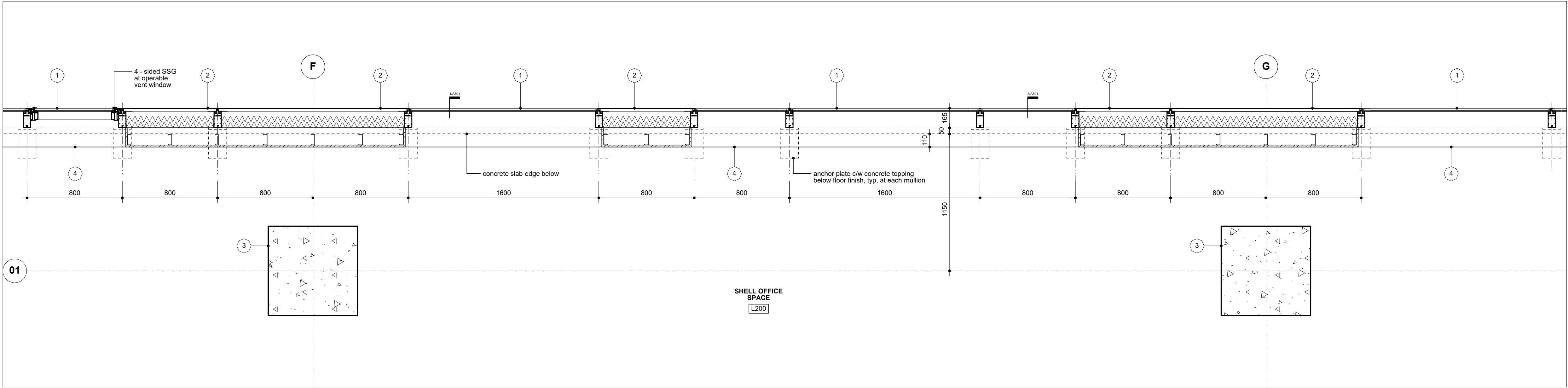
UBC Properties Trust
2425 Health Sciences Mall

scale	date
as noted	01 Feb 2022
project code	status
TEF4	DP Amendment
drawn	checked
SV	RA / GA

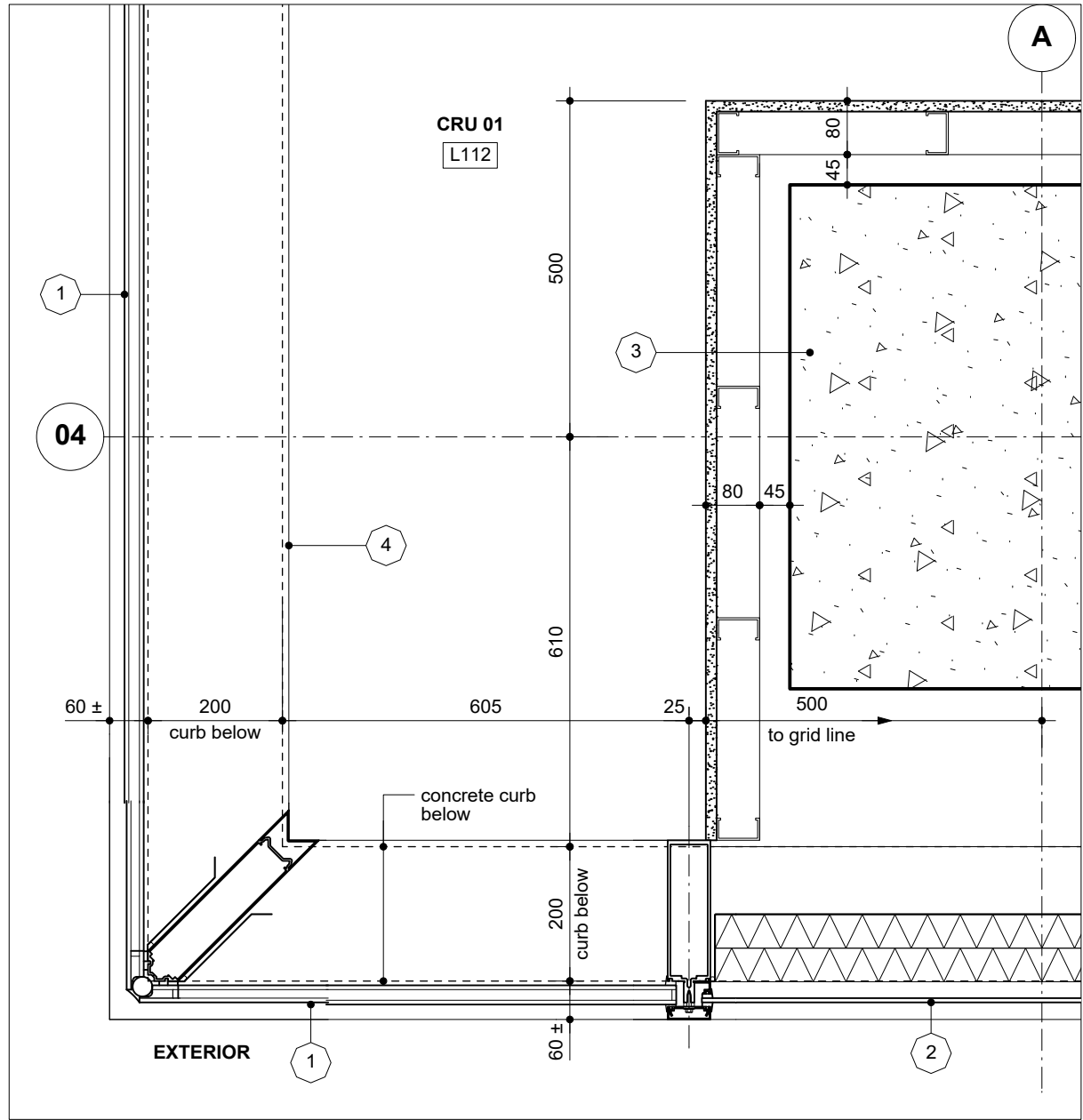
Wall Sections

drawing number

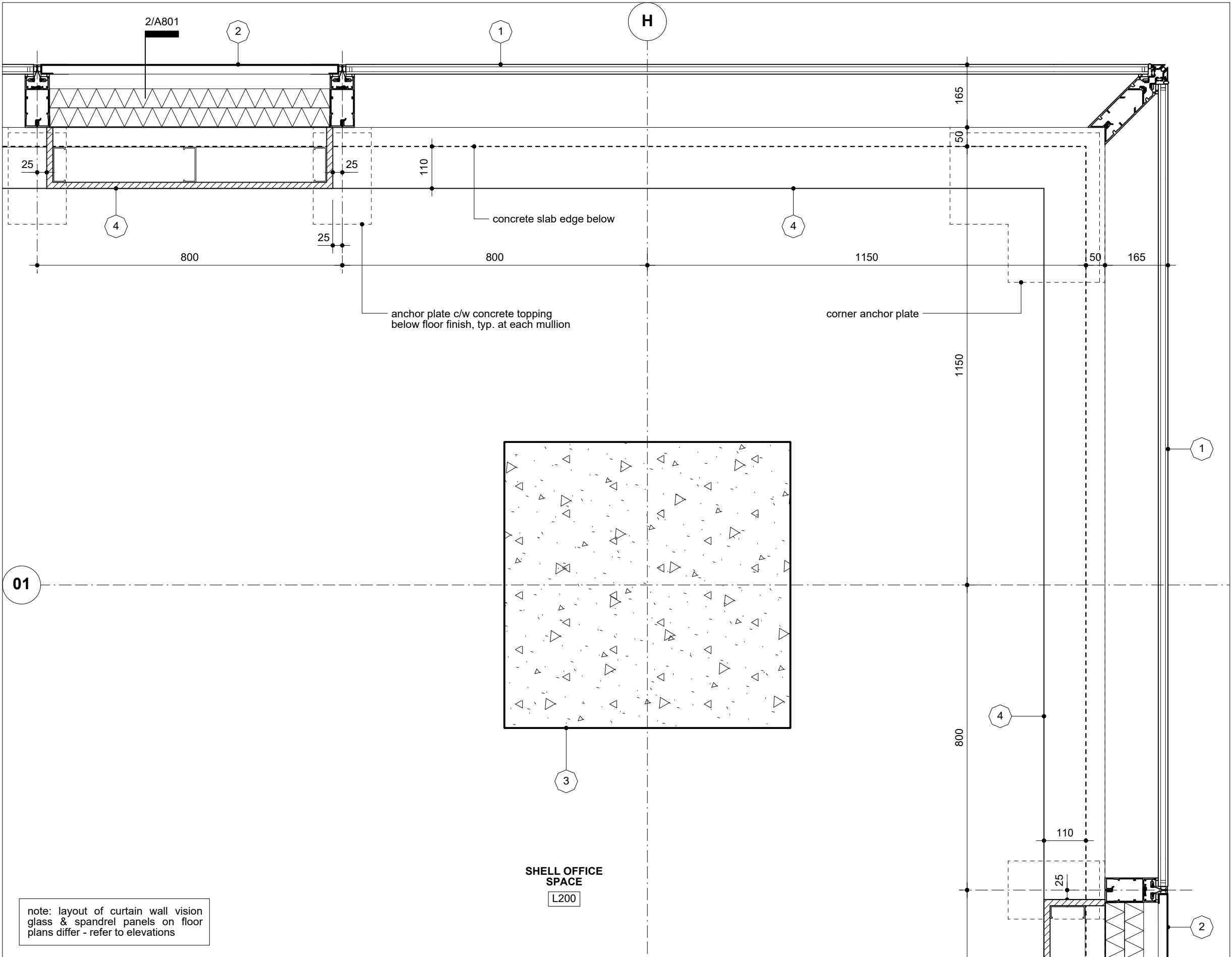
A801



1 /A102 curtain wall, typ. L2-L12
1 : 20



2 /A101 L1 corner window jamb detail
1 : 5



3 /A102 curtain wall at corner, typ. L2-L12
1 : 10

legend

- curtain wall vision glass
- curtain wall spandrel panel
- concrete
- gypsum board
- prefinished anodized aluminum flashing
- sealant (c/w backer rod where applicable)
- plywood (pressure treated when exterior)
- prefinished metal flashing
- miscellaneous metal
- thermally broken aluminum glazing system
- metal brake shape
- expansion joint assembly
- self-adhered membrane: air and vapour barrier
- semi-rigid insulation
- curtain wall frame anchor
- asphalt-impregnated board
- louvere
- termination bar
- precast concrete pavers
- granular fill
- linear metal grille
- waterstop
- mineral wool batt insulation
- compressible neoprene gasket
- aluminum louver
- galvanized steel guardrail
- metal brake shape
- roller shade
- self-adhered membrane: air and vapour barrier
- 2-ply SBS roofing membrane
- rigid insulation
- vertical z-bar
- roof drain
- concrete faced insulated wall panel
- linear metal grille

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issues

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drawn	checked
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Plan Details

drawing number

A825