



DRAWING LIST

ARCHITECTURAL DRAWINGS

- A000 COVER + DRAWING LIST
- A001 PROJECT DATA, NOTES, SYMBOLS, ABBREVIATIONS
- A010 Context Plan
- A011 Site Plan
- A013 Survey
- A015 Site Sections
- A019 Shadow Analysis
- A200 Floor Plan Basement
- A201 Floor Plan L1
- A202 Floor Plan L2
- A203 Roof Plan
- A300 Building Elevations
- A301 Building Elevations
- A400 Building Sections E-W
- A401 Building Sections E-W
- A402 Building Sections N-S
- A403 Building Sections N-S
- A404 Building Sections N-S

UBC Applied Science Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

March 31 2023

ARCHITECT	STRUCTURAL	MECHANICAL	ELECTRICAL	CIVIL	BUILDING ENVELOPE	GEOTECHNICAL	BUILDING CODE	LEED	LCA
SHAPE Architecture Suite 1462 – 1464 West 7th Avenue Vancouver, BC, V6H 1C1 Nick Sully, Partner n.sully@shapearchitecture.ca Avary Titchkosky, Project Architect a.titchkosky@shapearchitecture.ca	Fast+Epp 397 W 7th Ave #300, Vancouver, BC V5Y 1M2 Duane Palibroda, Principal dpalbroda@fastepp.com Jamie Pobre Sullivan, Senior Project Manager jpobresullivan@fastepp.com	AME 638 Smith St Suite 200, Vancouver, BC V6B 1E3 Patrick Stewart, Principal patrickstewart@amegroup.ca James Wong, Associate jameswong@amegroup.ca	PBX 131 Water St #300, Vancouver, BC V6B 4M3 David Carter, Lead david.carter@pbxeng.com Darcy Metz, Design Engineer darcy.metz@pbxeng.com	CoreGroup 8988 Fraserton Ct, Burnaby, BC V5J 5H8 Cormac Nolan, Principal cnolan@coregroupconsultants.com Scott Robbins, Engineer srobbsin@coregroupconsultants.com	Entuitive 1075 W Georgia St Suite 1020, Vancouver, BC V6E 3C9 Mike Lembke, Principal mike.lembke@entuitive.com Timothy Wong, Building Envelope Specialist timothy.wong@entuitive.com	EXP Services Inc. 3001 Wayburne Drive Suite 275 Burnaby, BC V5G 4W3 Ben Weiss, Engineer ben.weiss@exp.com Derek Chan, Engineer Derek.Chan@exp.com	LMDG 780 Beatty St, Vancouver, BC V6B 2M1 Alan Jung, Principal ajung@lmdg.com Allan Chen, Project Coordinator achen@lmdg.com	Entuitive 1075 W Georgia St Suite 1020, Vancouver, BC V6E 3C9 Jack Statham, Senior Sustainable Building Specialist jack.statham@entuitive.com	Entuitive 1075 W Georgia St Suite 1020, Vancouver, BC V6E 3C9 Emily King, Associate emily.king@entuitive.com Leanne Conrad, Senior Sustainable Building Manager leanne.conrad@entuitive.com

GENERAL NOTES

- ALL LABOUR, MATERIALS AND PRODUCTS TO COMPLY WITH REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE 2018 (BCBC 2018) AND ALL OTHER APPLICABLE CODES, STANDARDS AND BYLAWS.
- ALL FLOOR LEVEL ELEVATIONS ARE TAKEN FROM:
 - TOP OF SHEATHING,
 - TOP OF CONCRETE TOPPING, OR
 - TOP OF CONCRETE STRUCTURE
- ALL DIMENSIONS ARE MEASURED TO:
 - GRIDLINES
 - FACE OF EXTERIOR SHEATHING
 - FACE OF CONCRETE WALLS
 - CENTRE OF PARTY WALLS
 - FACE OF INTERIOR WOOD STUD
 - CENTRE OF WINDOWS
- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DOCUMENTS. IF INFORMATION APPEARS IN ONE DRAWING, CONTRACTUALLY IT SHALL BE TAKEN TO APPEAR IN ALL. TYP.
- FOR SITE SURVEY INFORMATION REFER TO TOPOGRAPHIC SURVEY PLAN OF A PORTION OF DISTRICT LOT 4805, GROUP 1, NEW WESTMINSTER DISTRICT PREPARED BY APLIN & MARTIN GEOMETRICS LAND SURVEYING LTD.
- ALL SERVICE PENETRATIONS THROUGH FIRE RATED ASSEMBLIES TO BE SEALED WITH A FIRESTOP SYSTEM WITH AN 'F' RATING EQUAL TO THAT OF THE ASSEMBLY. EXCEPT FOR SPRINKLER PIPING AND NON-COMBUSTIBLE SERVICES SERVING THESE AREAS, ALL SERVICES IN EXIT CORRIDORS AND EXIT STAIRS SHALL BE ENCLOSED IN ULC LISTED FIRE RATED ENCLOSURES WITH A RATING EQUAL TO THE ASSEMBLY PENETRATED. FOLLOW MANUFACTURERS INSTRUCTIONS FOR HORIZONTAL INSTALLATIONS.
- READ, CHECK AND COMPARE ALL DRAWINGS. NOTIFY THE ARCHITECT OF ANY/ALL DISCREPANCIES.
- VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE FABRICATION/CONSTRUCTION OF ANY COMPONENT.
- SEE WALL SCHEDULE, WALL SECTIONS AND DETAILS FOR ASSEMBLY TYPES AND INTERFACE CONDITIONS.
- PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL MOUNTED FIXTURES, MILLWORK AND DOOR STOPS.
- ALL PUBLIC AREA RAMPS AND STAIRS INCLUDING TREADS, RISERS, AND NOSING TO CONFORM TO VBBL SECTIONS - 3.4.6.1 - 3.4.6.4, 3.4.6.7 - 3.4.6.10
- ALL PUBLIC AREA HANDRAILS & GUARDS TO CONFORM TO VBBL SECTION - 3.4.6.5 & 3.4.6.6.
- ALL FLASHINGS TO BE MEMBRANE LAPPED & COUNTER FLASHED WITH CLIPS.
- ALL LOW SLOPE ROOFS TO BE MIN. 2% SLOPED TO DRAIN.
- CONTRACTOR TO ALLOW FOR FALL RESTRAINT SYSTEM AS PER WCB.
- FOR EXIT SIGNS, EMERGENCY LIGHTING, AND FIRE ALARM DEVICES, AS WELL AS LIGHTING PLANS AND FIXTURES, REFER TO ARCHITECTURAL RCPS, ELECTRICAL AND INTERIOR DESIGN DRAWINGS.
- FOR MECHANICAL DUCTING AND ACCESSORIES AND THEIR LOCATIONS, REFER TO MECHANICAL DRAWINGS.
- ELECTRICAL AND MECHANICAL FIXTURES AND DEVICES INDICATED IN THIS DRAWING ARE FOR LOCATION ONLY. REFER TO CONSULTANT DOCUMENTS FOR SPECIFICATIONS.
- CONTRACTOR TO COORDINATE ALL ELECTRICAL AND MECHANICAL SLAB PENETRATIONS WITH STRUCTURAL REQUIREMENTS PRIOR TO POURING CONCRETE. ANY DISCREPANCIES OR CONFLICTS TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL SPRINKLER LOCATIONS AS PER FIRE SUPPRESSION CONSULTANT.
- FOR INTERIOR FINISHES, REFER TO INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS.
- ALL ACCESS PANELS IN CEILINGS TO BE LOCATED AS PER PLANS. IF ADDITIONAL ACCESS PANELS ARE REQUIRED, GENERAL CONTRACTOR TO BE RESPONSIBLE FOR COORDINATING ELECTRICAL AND MECHANICAL WORK TO MEET THIS REQUIREMENT, TYP. AND CONFIRM LOCATIONS WITH ARCHITECT PRIOR TO INSTALL.
- CONTRACTOR TO COORDINATE PLUMBING LOCATIONS AND INSTALL ELEVATIONS TO ENSURE REQUIRED CLEARANCES.
- PROVIDE OVERFLOW SCUPPERS FOR ALL FLAT ROOF AND ROOF DECK AREAS, LOCATIONS AS INDICATED ON THE ELEVATION DRAWINGS.
- IN CASE OF DISCREPANCY BETWEEN MECHANICAL & ARCHITECTURAL DRAWINGS REGARDING VENT SIZES, FINISHES AND LOCATION, ARCHITECTURAL SHALL GOVERN.
- ALL EXPOSED CONCRETE TO HAVE 90 DEGREE CORNERS, NO CHAMFER.
- PAINT FINISH FOR ALL FLASHINGS AND BREAKSHAPES TO MATCH FINISH SURFACE COLOR.
- STAIR GUARDRAIL DIMENSIONS PROVIDED FOR INFORMATION ONLY. DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO FABRICATION.
- ALL GUARDS TO BE ENGINEERED BY FABRICATOR & SHOP DRAWINGS SUBMITTED FOR REVIEW & APPROVAL PRIOR TO FABRICATION.
- ALL GRADING SHOWN TO BE FINISHED GRADE. ROUGH GRADE IS TO BE KEPT 150MM DOWN FOR PLACEMENT OF TOPSOIL BY OTHERS IN THOSE AREAS WITHOUT HARD SURFACES U.N.O. REFER TO CIVIL & LANDSCAPE DRAWINGS.
- GRADE TO DESIGN SPOT ELEVATIONS INDICATED. ALL GROUND PLANES AND SWALES TO BE SMOOTH AND TRUE PROVIDING POSITIVE DRAINAGE AND PREVENT ANY PONDING OF WATER. GRADE AT BUILDING TO BE SLOPED AWAY AT A MINIMUM SLOPE OF 2%. REFER TO CIVIL & LANDSCAPE DRAWINGS.
- CONTRACTOR TO COORDINATE ANY CITY OF VANCOUVER REQUIRED UPGRADES OR OFF-SITE WORK.
- CONTRACTOR TO COORDINATE ANY WORK OF OWNER SUPPLIED ITEMS AND/ OR INSTALLATION WORK BY CONTRACTOR OUTSIDE THE GENERAL CONTRACT.
- 3D IMAGES PROVIDED FOR REFERENCE ONLY, DO NOT BUILD FROM 3D IMAGES PROVIDED.

ABBREVIATIONS

ANNO.	DESCRIPTION
A.F.F	ABOVE FINISHED FLOOR
A.P.	ACCESS PANEL
ADJ.	ADJUSTABLE
ALUM.	ALUMINUM
ANOD.	ANODIZED
ARC.	ARCHITECTURAL
B/B	BACK TO BACK
B/S	BOTH SIDES
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BTM.	BOTTOM
C.B.	CATCH BASIN
C.G.	CORNER GUARD
C.I.P.	CAST IN PLACE
C.J.	CONTROL JOINT
C.O.	CONCRETE OPENING
CW	COMPLETE WITH
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CPT.	CARPET
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
E.J.	EXPANSION JOINT
E/S	EACH SIDE
EL.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXP.	EXPOSED
FLOOR DRAIN	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FINISHED FLOOR
FG	FIBREGLASS
FIN.	FINISH
FLR.	FLOOR
FPR	FIRE PROTECTION RATING
FR GL.	FROSTED GLASS
FRR	FIRE RESISTANCE RATING
G.B.	GYPSUM BOARD
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLASS
H.B.	HOSE BIBB
H.S.S.	HOLLOW STEEL SECTION
HOR.	HORIZONTAL
ID.	INSIDE DIAMETER
INSUL.	INSULATION
LG.	LONG
LOC.	LOCATION
M.O.	MASONRY OPENING
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MTL.	METAL
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
N/A	NOT APPLICABLE
NO.	NUMBER
O.C.	ON CENTRE
O.D.	OVERFLOW DRAIN
O.H.	OVERHEAD
OPNG	OPENING
OPP.	OPPOSITE
P.LAM	PLASTIC LAMINATE
P.T.	PRESSURE TREATED
PC	POWDER COAT
PL.	PLATE
PLY.	PLYWOOD
PTD.	PAINTED
R.B.	RUBBER BASE
R.C.B.	RUBBER COVE BASE
R.D.	ROOF DRAIN
R.O.	ROUGH OPENING
R.W.L.	RAIN WATER LEADER
REINF.	REINFORCED
REQ.	REQUIRED
REV.	REVERSE
RM	Room
S.A.M.	SELF ADHESIVE AIR/VAPOUR BARRIER MEMBRANE
S.S.	STAINLESS STEEL
SECT.	SECTION
SHGC	SOLAR HEAT GAIN COEFFICIENT = G VALUE
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
STR.	STRUCTURAL
T.O.	TOP OF
TYP.	TYPICAL
U.N.O	UNLESS NOTED OTHERWISE
US	UNDERSIDE
VERT.	VERTICAL
VIN	VINYL
W/	WITH
W/O	WITHOUT
z	CHECKERED PLATE

SYMBOLS LEGEND

VIEW TITLE	VIEW NAME	VIEW SCALE	REF: 1/A101
VIEW TITLE	1	View Scale	Ref: 1/A101
GRID LINE	0		
ELEVATION DATUM	Level #	000.00m	
BUILDING ELEVATION	#	A101	#
INTERIOR ELEVATION	#	A101	#
VIEW REFERENCE	1	A101	1 / A101
BUILDING SECTION	1	A101	
WALL SECTION	1	A101	
ENLARGED PLAN / SECTION DETAIL	1	A101	
DETAIL CALLOUT	1	A101	

AREA TAG	NAME	NAME
CEILING TAG	1t	150m2
CURTAIN PANEL TAG	GLP	
DETAIL ITEM	TYPE NAME	
DOOR TAG	D-##-##	
FLOOR TAG	F1.a	
FLOOR FINISH TAG	FF#	
KEYNOTE TAG	?	
MATERIAL TAG	?	
CASEWORK TAG	1t	
PARKING TAG	1t	
PLUMBING FIXTURE TAG	22	
REVISION TAG	99	
ROOF TAG	R1.a	
ROOM TAG	NAME	NAME
	R#01	R#01
		150 m2
SPECIALTY EQUIPMENT TAG	22	
STAIR TAG	20 R @180mm	STAIR #1
WALL TAG	EW1.1	
WINDOW TAG	WX	
SPOT ELEVATION - EXISTING	+	
SPOT ELEVATION - TARGET	+	
CENTRE LINE	CL	

SHAPE Architecture Inc.

1462 WEST 7th AVENUE
VANCOUVER, BC CANADA
V6H 1C1

TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
WEB: www.shapearchitecture.ca

COPYRIGHT RESERVED. THIS DRAWING AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF SHAPE ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THEIR WRITTEN CONSENT.

STAMP



NOTES

NO	DESCRIPTION
1	Issued for Development Permit

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

PROJECT STATISTICS

SITE DATA

LEGAL DESCRIPTION: UBC Applied Science Digital Design Studio

CIVIC ADDRESS: 2360 East Mall, Vancouver, BC V6T 1Z3

ZONING

EXISTING ZONING: N/A
PROPOSED ZONING: N/A

MAXIMUM FSR

SITE AREA: 500m²

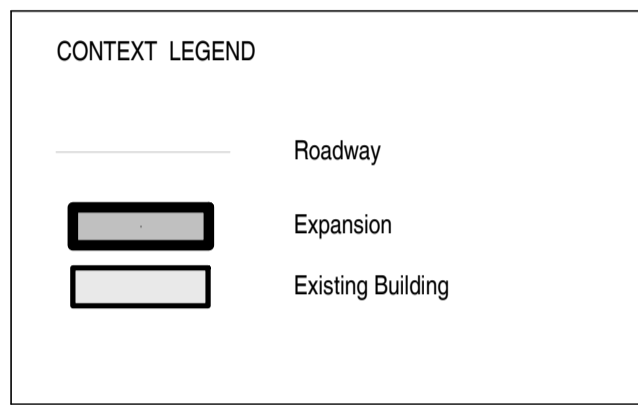
PROJECT DATA

PERMITTED: [] PROPOSED: []

BUILDING HEIGHT: 12.2m



- General Notes**
- For site survey information refer to topographic survey plan of District lot 4805, group 1, New Westminster District except portions in Plan 9301, statutory right of way ex-plan 20570, part subdivided by plan BCP309 and part subdivided by plan BCP30252 by Aglin & Martin Geomatics land surveying LTD on October 14, 2022
 - UBC CHBE will remain open for the duration of construction. Contractor to coordinate construction phasing plan with owner to minimize disruptions to existing operations.
 - Contractor to provide a minimum of 48 hours notice to owner in advance of any service interruptions.
 - Refer to civil drawings for full extent of off-site removals and improvements.
 - All off-site civil work to meet UBC Engineering standards and requirements.
 - All temporary site works to be removed and decommissioned following transition to permanent service connections.



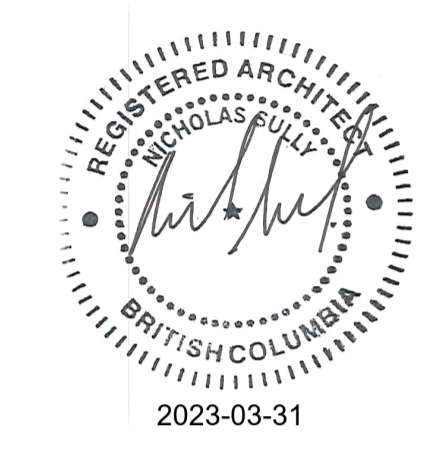
Legal Address
DL 4805 Group 1 NWD

Civic Address
2360 East Mall, Vancouver, BC V6T 1Z3

SHAPE Architecture Inc.

1462 WEST 7th AVENUE VANCOUVER, BC CANADA V6H 1C1
 TEL: (604) 687-4457
 EMAIL: info@shapearchitecture.ca
 WEB: www.shapearchitecture.ca

STAMP



NOTES

NO	DESCRIPTION
----	-------------

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

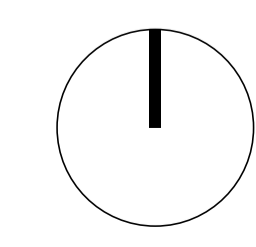
UBC Applied Science Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Context Plan

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	As indicated
JOB NUMBER	2209



STAMP



- ### General Notes
- For site survey information refer to topographic survey plan of District lot 4805, group 1, New Westminster District except portions in Plan 9301, statutory right of way ex-plan 20570, part subdivided by plan BCP3009 and part subdivided by plan BCP30252 by Apin & Martin Geomatics land surveying LTD on October 14, 2022.
 - UBC CHBE will remain open for the duration of construction. Contractor to coordinate construction phasing plan with owner to minimize disruptions to existing operations.
 - Contractor to provide a minimum of 48 hours notice to owner in advance of any service interruptions.
 - Refer to civil drawings for full extent of off-site removals and improvements.
 - All off-site civil work to meet UBC Engineering standards and requirements.
 - All temporary site works to be removed and decommissioned following transition to permanent service connections.

- ### Site Legend
- Proposed Building
 - Existing Building
 - Property Line
 - Setback Line
 - SRW Line
 - Scope Boundary Line
 - FF Access Route
 - Overhead Line
 - Sub-grade Services
 - At Grade Services
 - Landscape Lines
 - Building Entrance
 - Existing Trees
 - Street Lights
 - Fire Hydrant
 - Unobstructed distance from fire hydrant to FDC
 - FDC
 - Siamese Connection
 - Existing Grade Spot Elevation
 - Building Grade Spot Elevation

NOTES

NO	DESCRIPTION
----	-------------

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

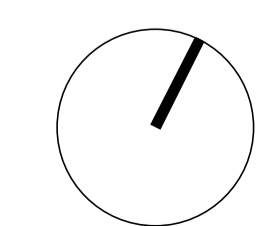
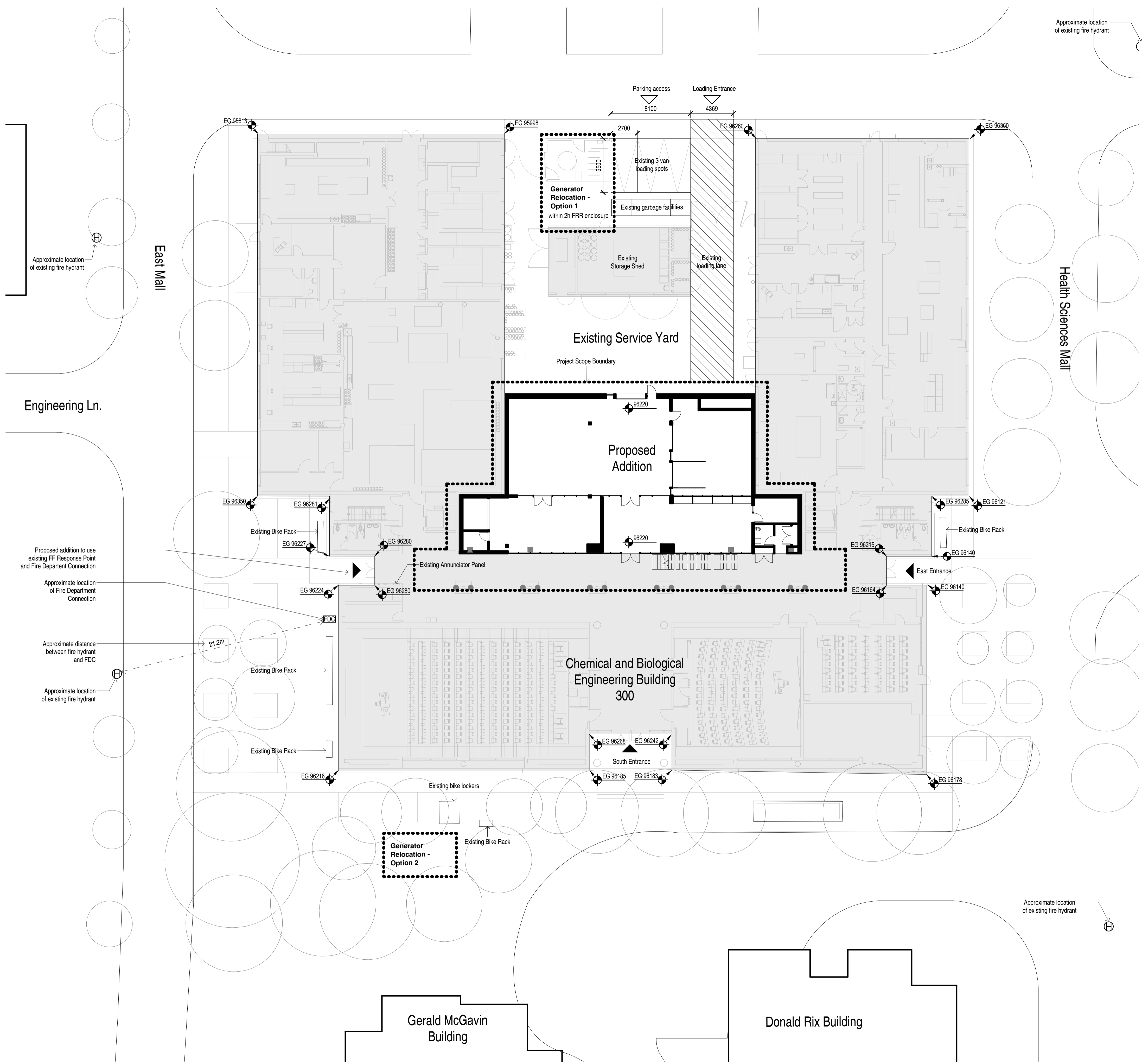
UBC Applied Science Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Site Plan

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	As indicated
JOB NUMBER	2209



STAMP



NOTES

NO	DESCRIPTION
----	-------------

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

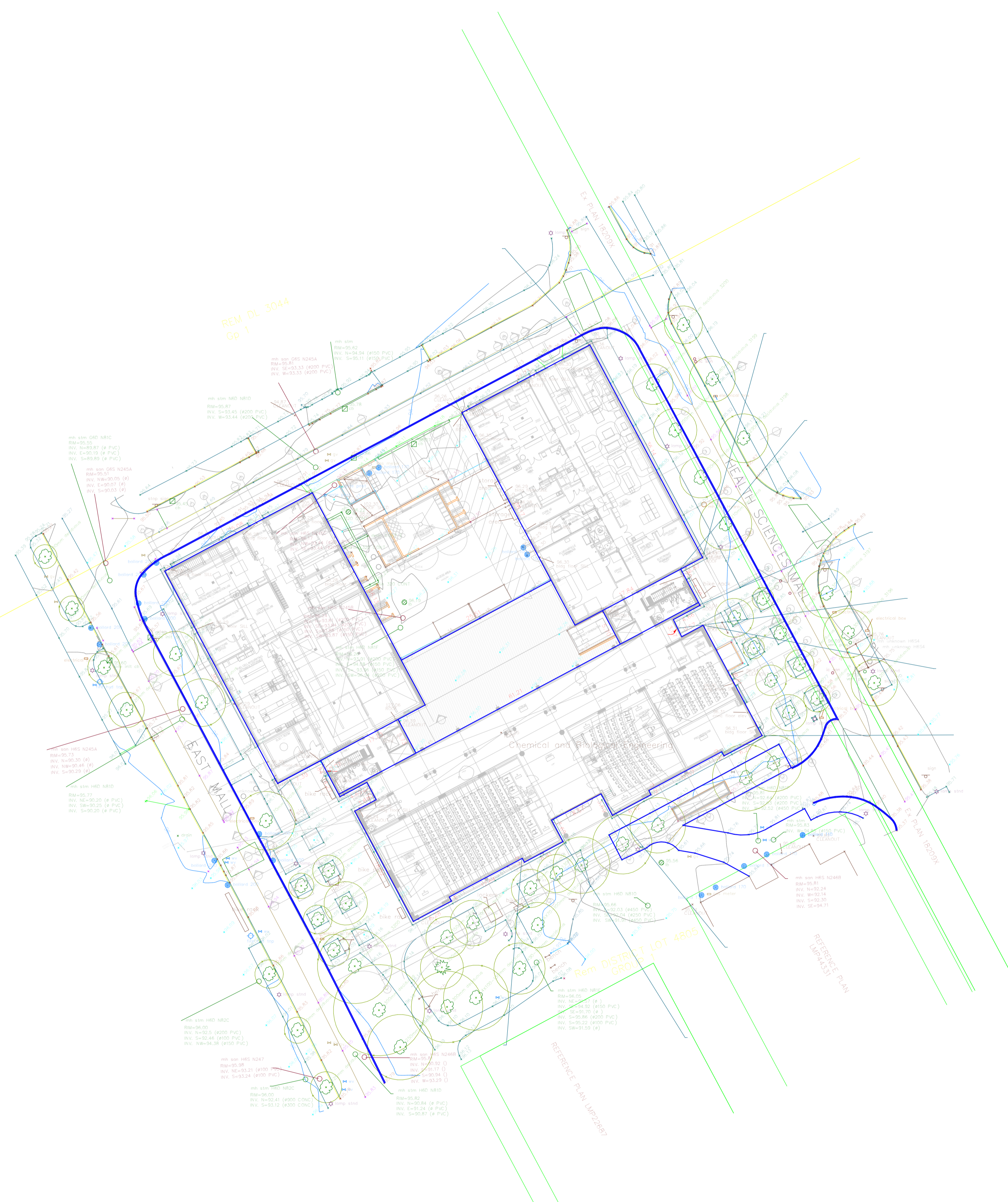
UBC Applied Science Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Survey

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	1 : 400
JOB NUMBER	2209

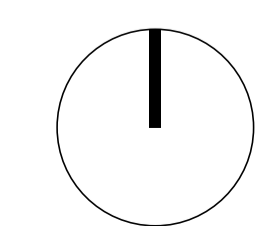


CAD Use Disclaimer

The information contained within this CAD file is proprietary in nature and may only be used for the intended purpose for the current project. Due to the intellectual nature of the electronic data contained and the liability of the originator to control the use, shape architecture inc. disclaims any responsibility for any consequences arising from the use of this data. It is the sole responsibility of the user to check the validity of all CAD information as AutoCAD may make amendments to this data without prior or subsequent notice to any user. The user must assume all data and liabilities resulting from the use of this data and shall rely on relevant hard copy drawings issued by the office. All drawing information contained herein may be reproduced, sold, distributed or utilized in any form without express written permission.

If the user disagrees with the contents of this disclaimer, they must immediately advise this firm their receipt, view of this digital information and their acceptance of these conditions.

Division Datum is based on Mount St-Hill with Reduced Elevations 53.831 m. The drawing is in UTM north-east metric 5 units. Please refer to the PDF version of this drawing for the coordinate system and conversion information.

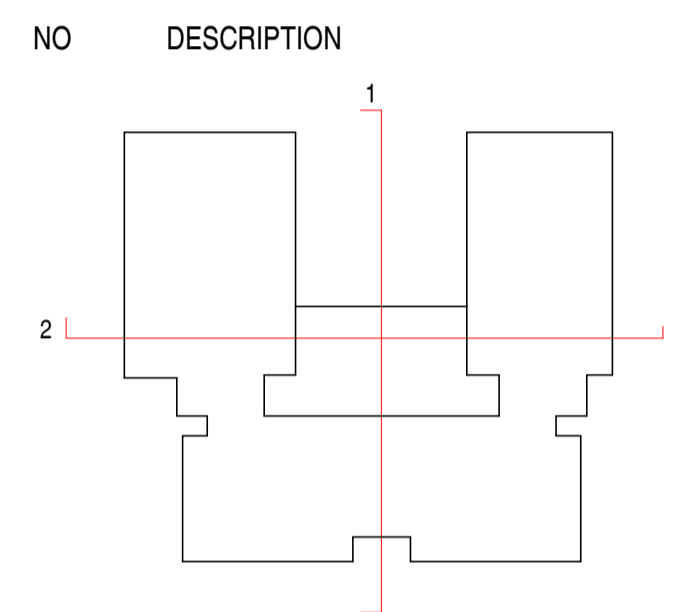


A013

STAMP

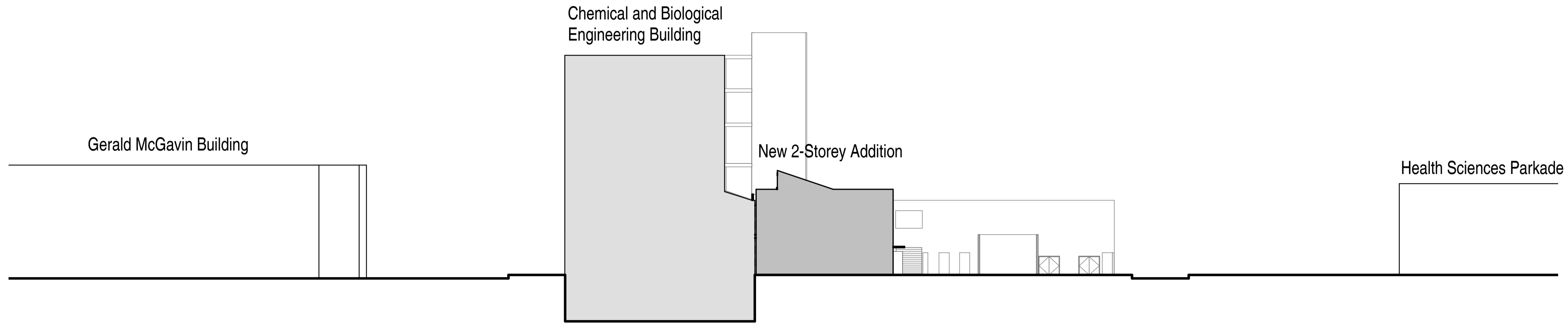


NOTES

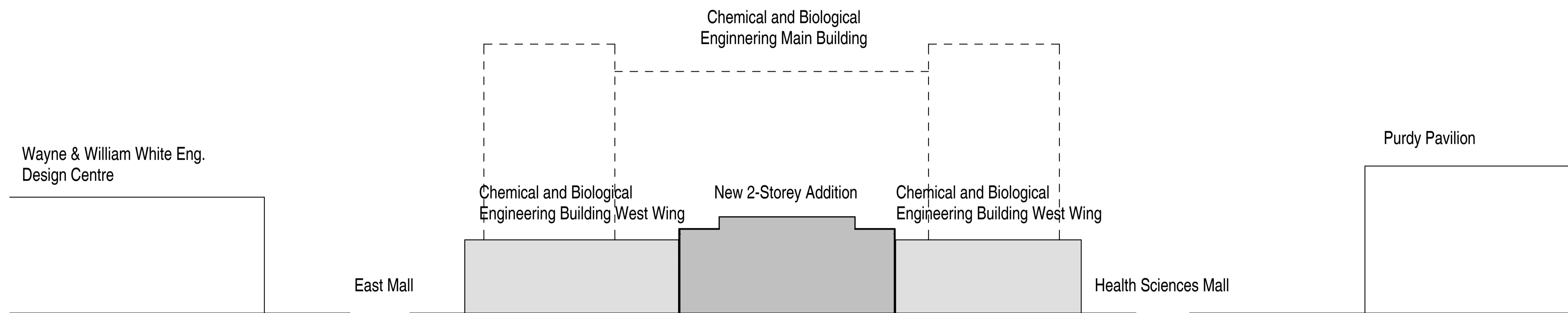


REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331



1 Site Section - NS
1 : 300



2 Site Section - EW
1 : 300

UBC Applied Science
Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Site Sections

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	1 : 300
JOB NUMBER	2209

STAMP



NOTES

NO	DESCRIPTION
----	-------------

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

UBC Applied Science Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

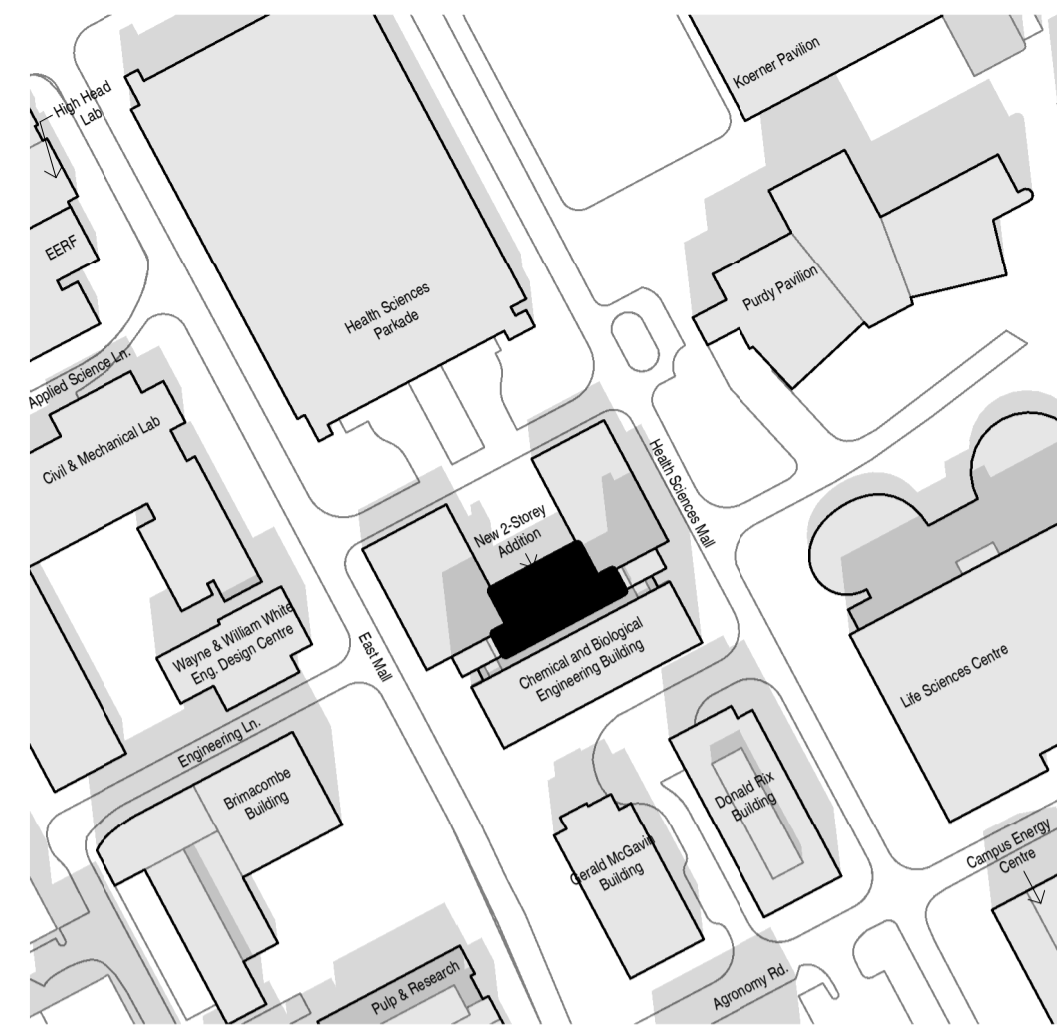
Issued for Development Permit

Shadow Analysis

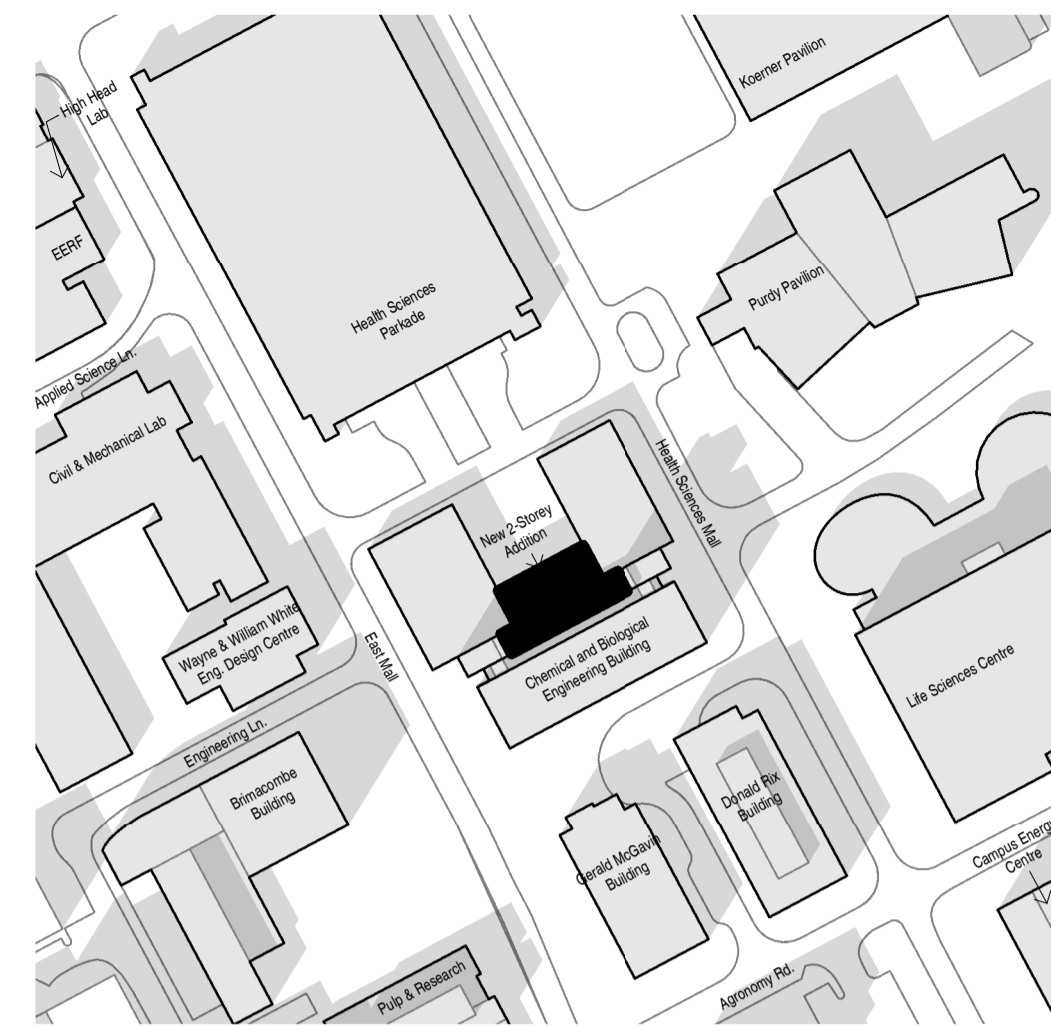
DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	1 : 2000
JOB NUMBER	2209



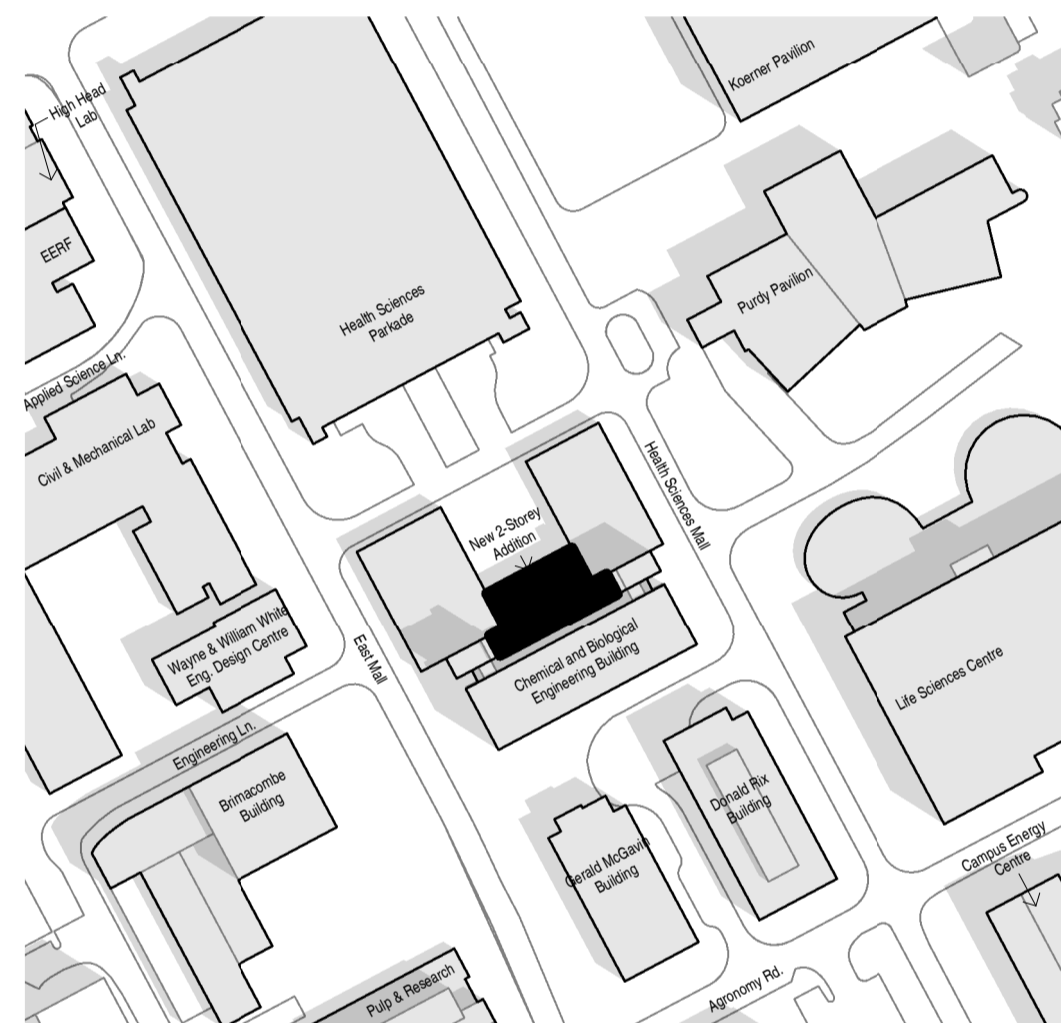
1 Equinox @ 10am
1 : 2000



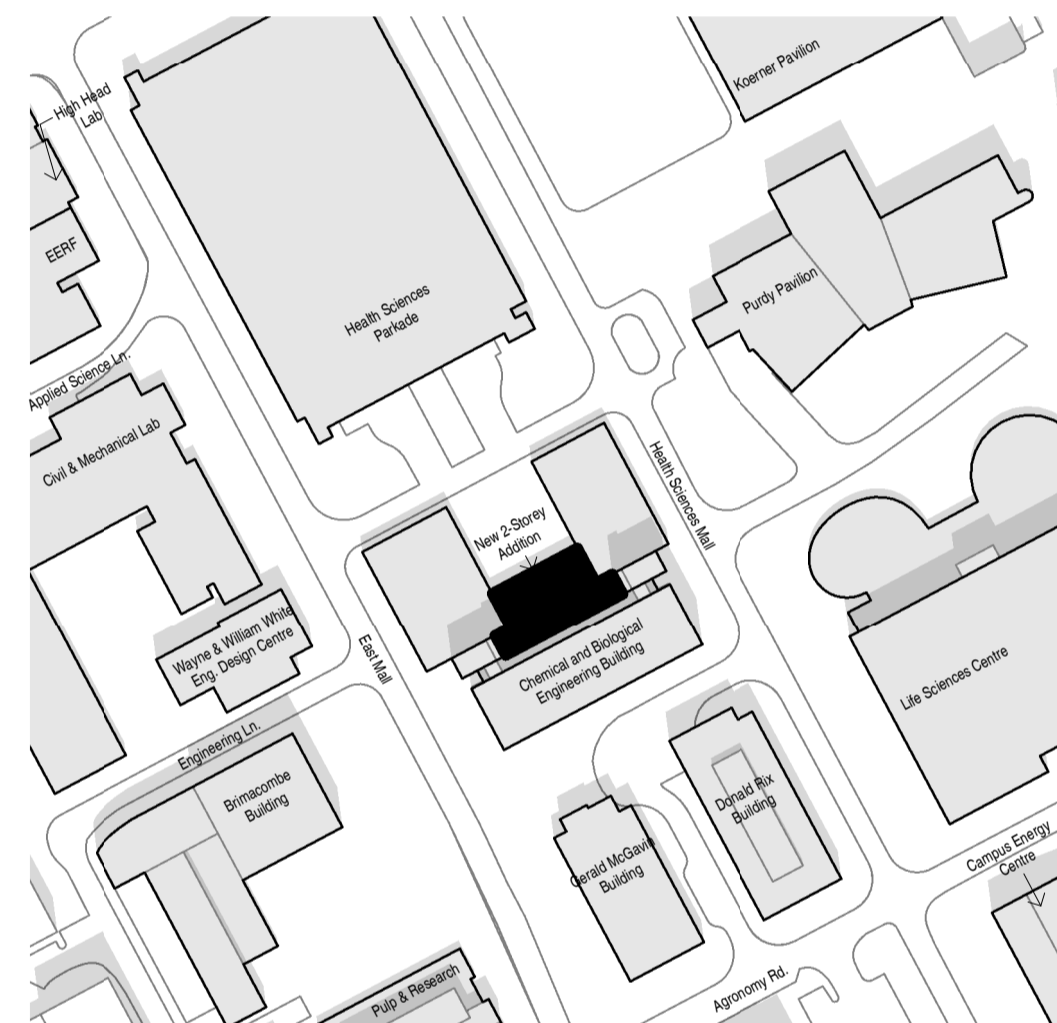
2 Equinox @ 12pm
1 : 2000



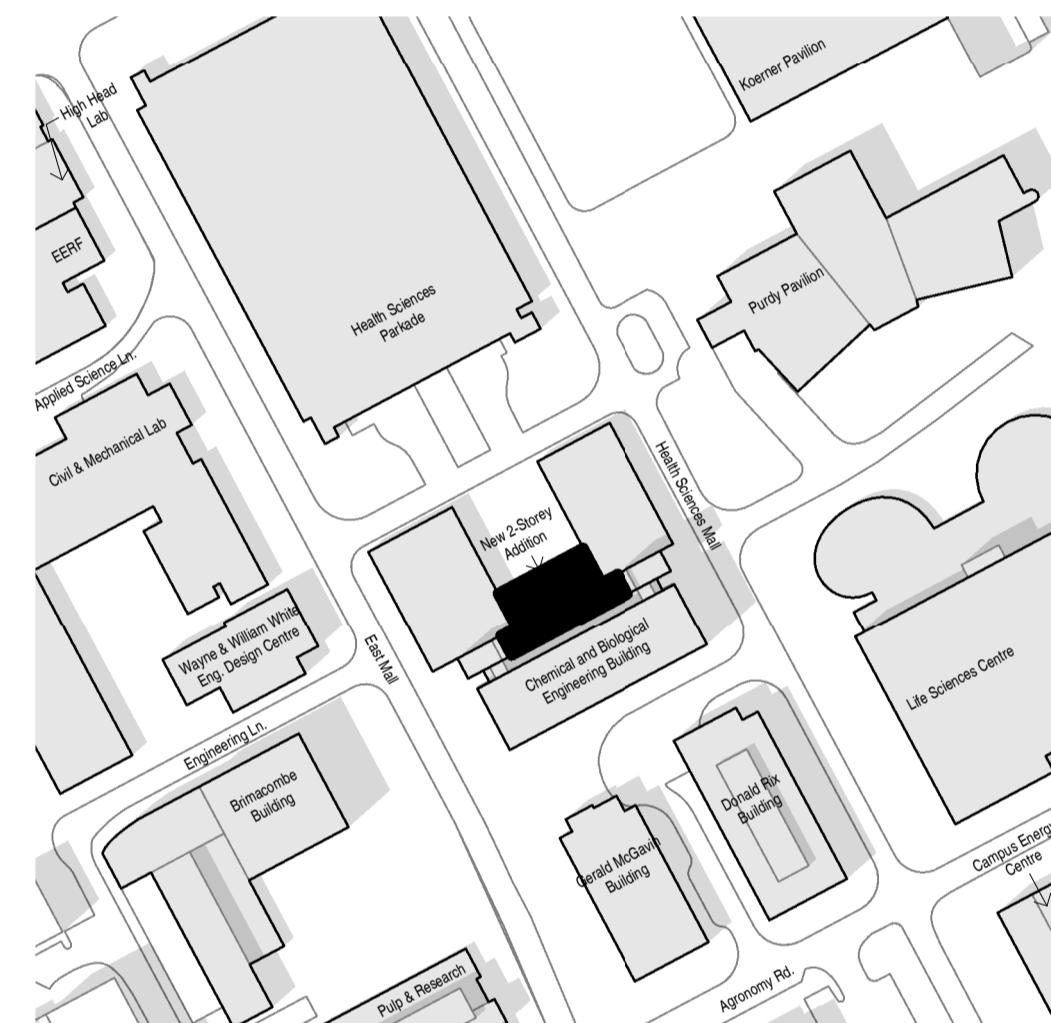
3 Equinox @ 2pm
1 : 2000



4 Summer Solstice @ 10am
1 : 2000



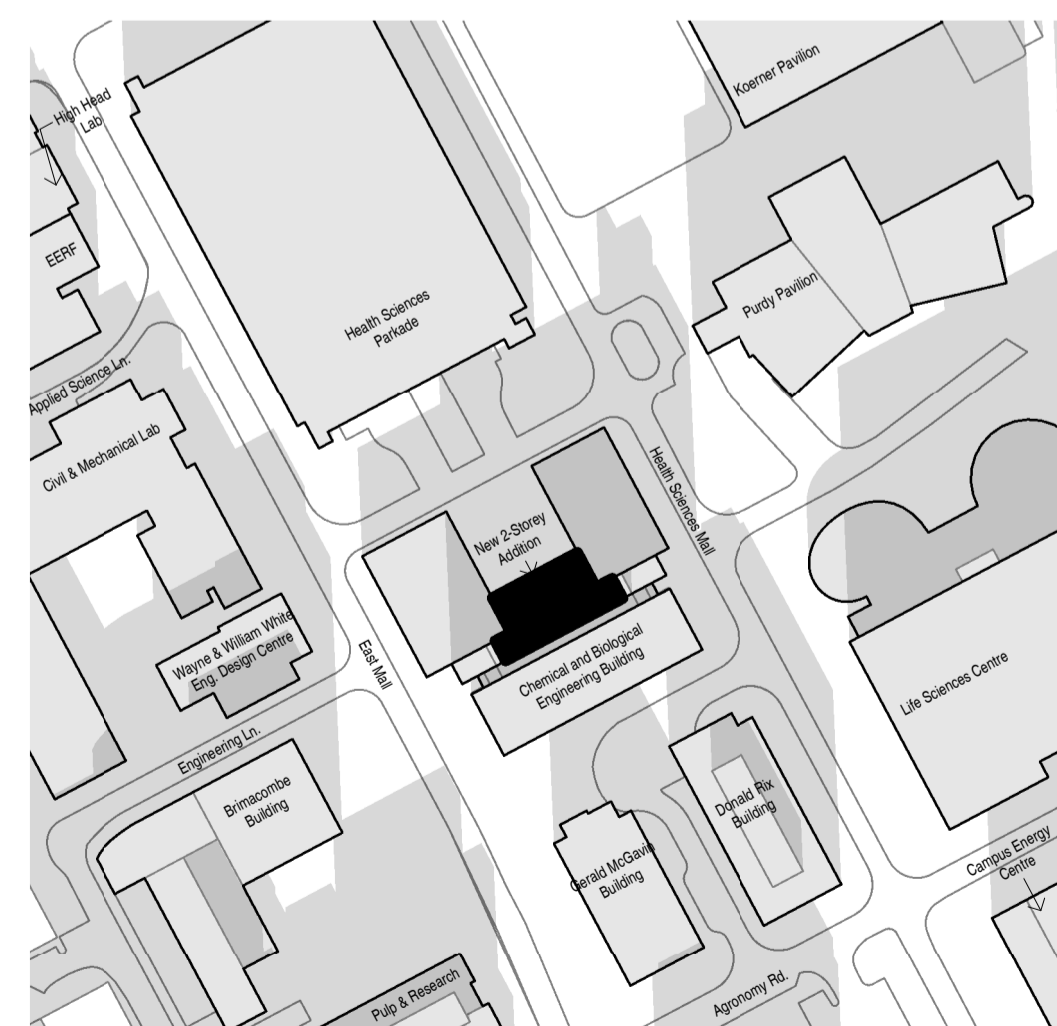
5 Summer Solstice @ 12pm
1 : 2000



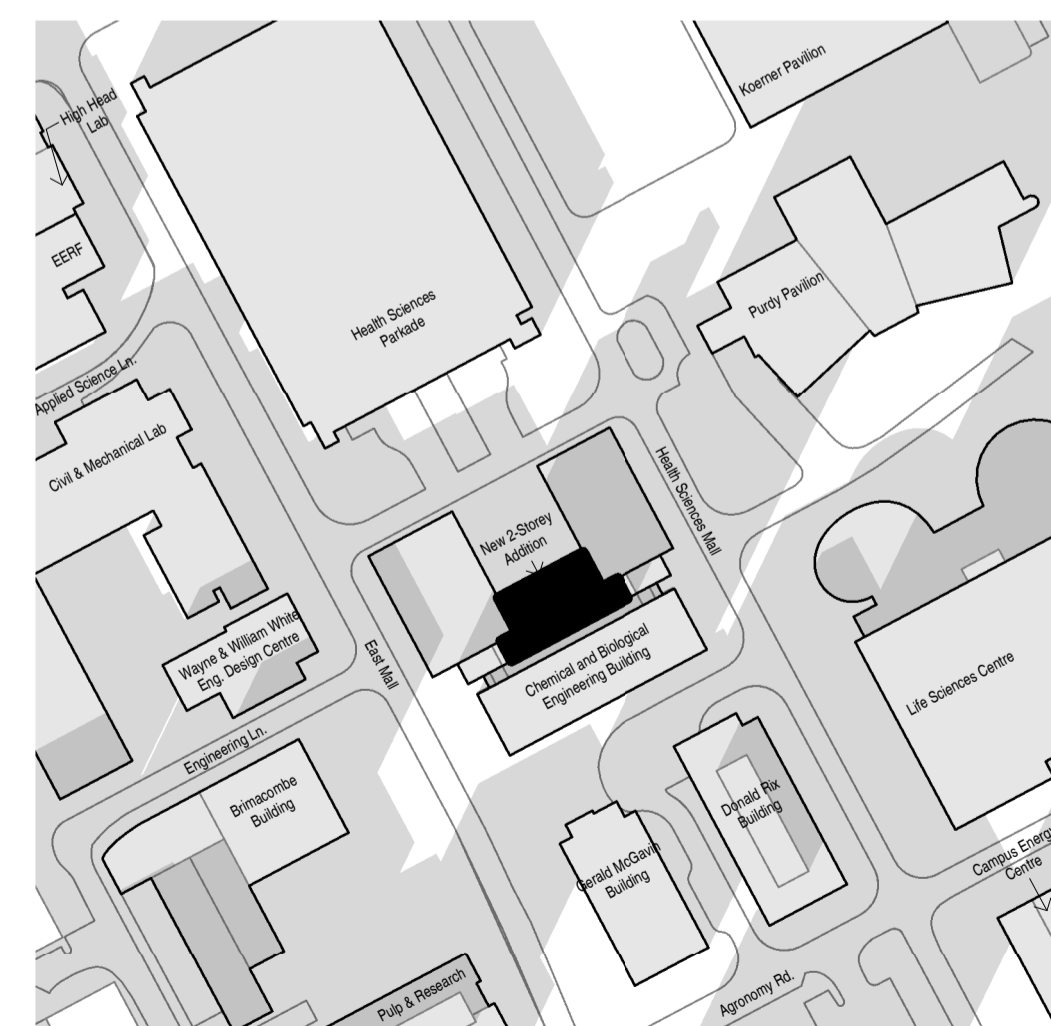
6 Summer Solstice @ 2pm
1 : 2000



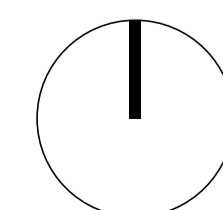
7 Winter Solstice @ 10am
1 : 2000



8 Winter Solstice @ 12pm
1 : 2000

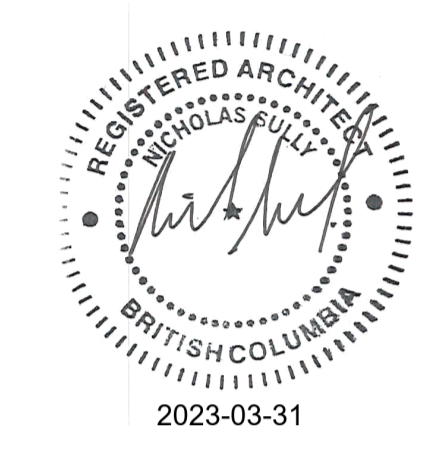


9 Winter Solstice @ 2pm
1 : 2000



A019

STAMP



NOTES

NO	DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

**UBC Applied Science
Digital Design Studio**

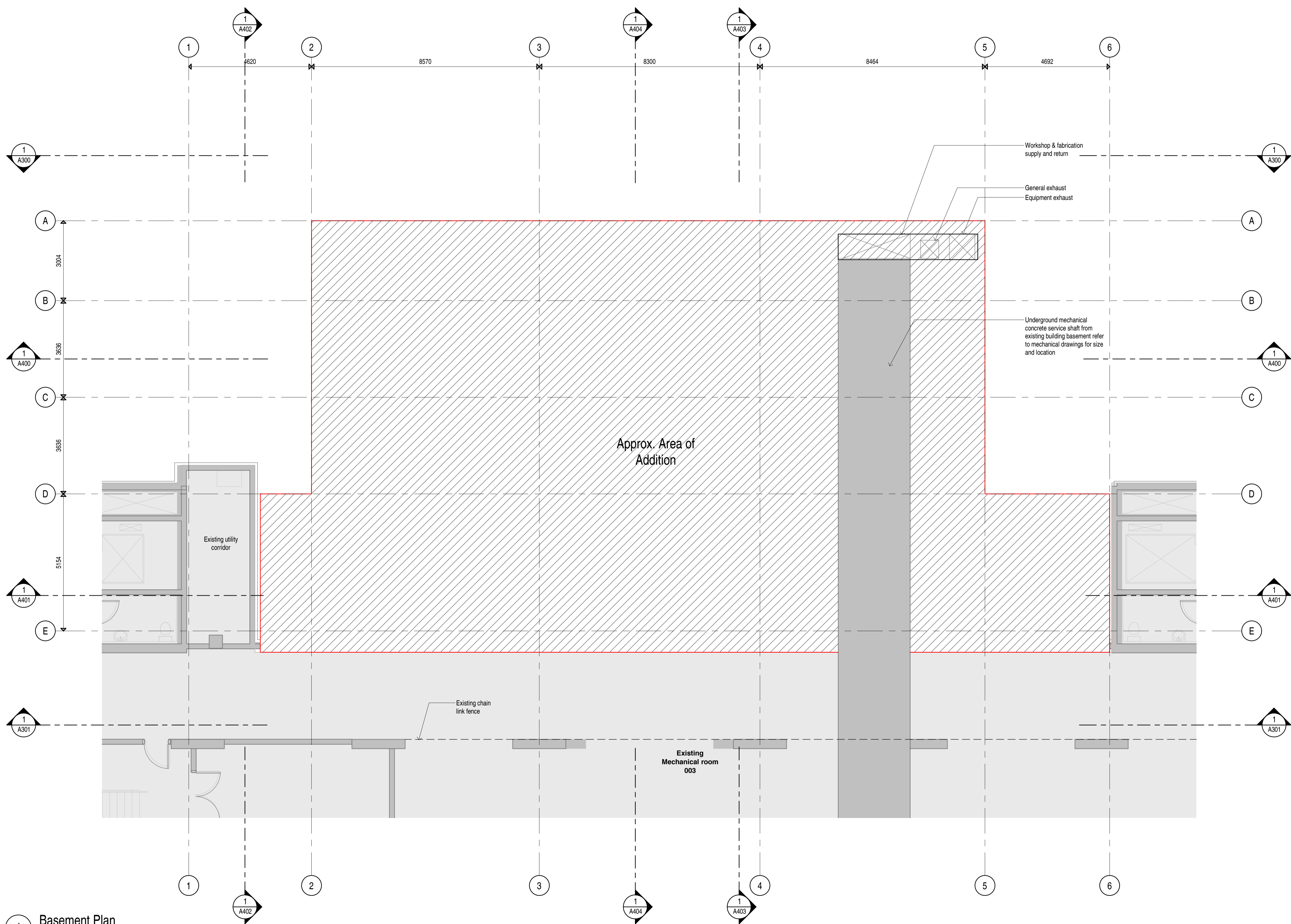
2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Floor Plan Basement

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	As indicated
JOB NUMBER	2209

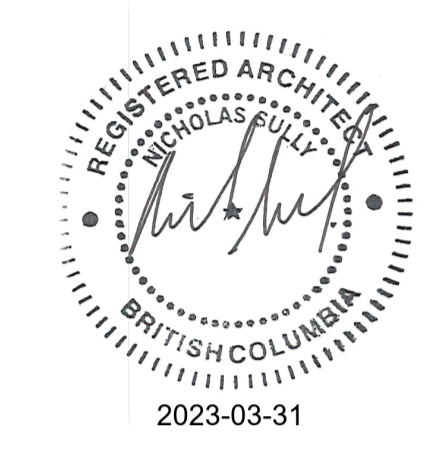
- General Notes - Floor Plan**
- Refer to wall schedule and wall sections and details for exterior wall stud types.
 - All washroom to meet accessibility standards outlined in the BCBC 2018.
 - Grab bars shall confirm to BCBC 2018 Articles 3.7.2.8 and 3.7.2.10.
 - Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have waterresistant solid backing.
 - Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC Equipment, diffusers, grilles, and plumbing. Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all, ceiling and floor assemblies.
 - All elevator slab openings, door openings, pit size, and elevator mechanical room to be confirmed by elevator contractor.
 - All skylights to be tempered and laminated safety glass.
 - All flashings to be counter-clipped.
 - All roofing to comply with RCABC warranty requirements as specified.
 - Design, supply and install fall restraint anchors to facilitate maintenance work on roof to Worksafe BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
 - For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connections with floor slabs above and below.
 - Provide shims and engineered supports for glazing components as req'd.
 - Provide engineered lateral bracing for all bulkheads as req'd.
 - Provide Fire-Resistant spray product to Structural Steel elements as required with reference to the Code report regarding Fire Resistance Rating Requirements.



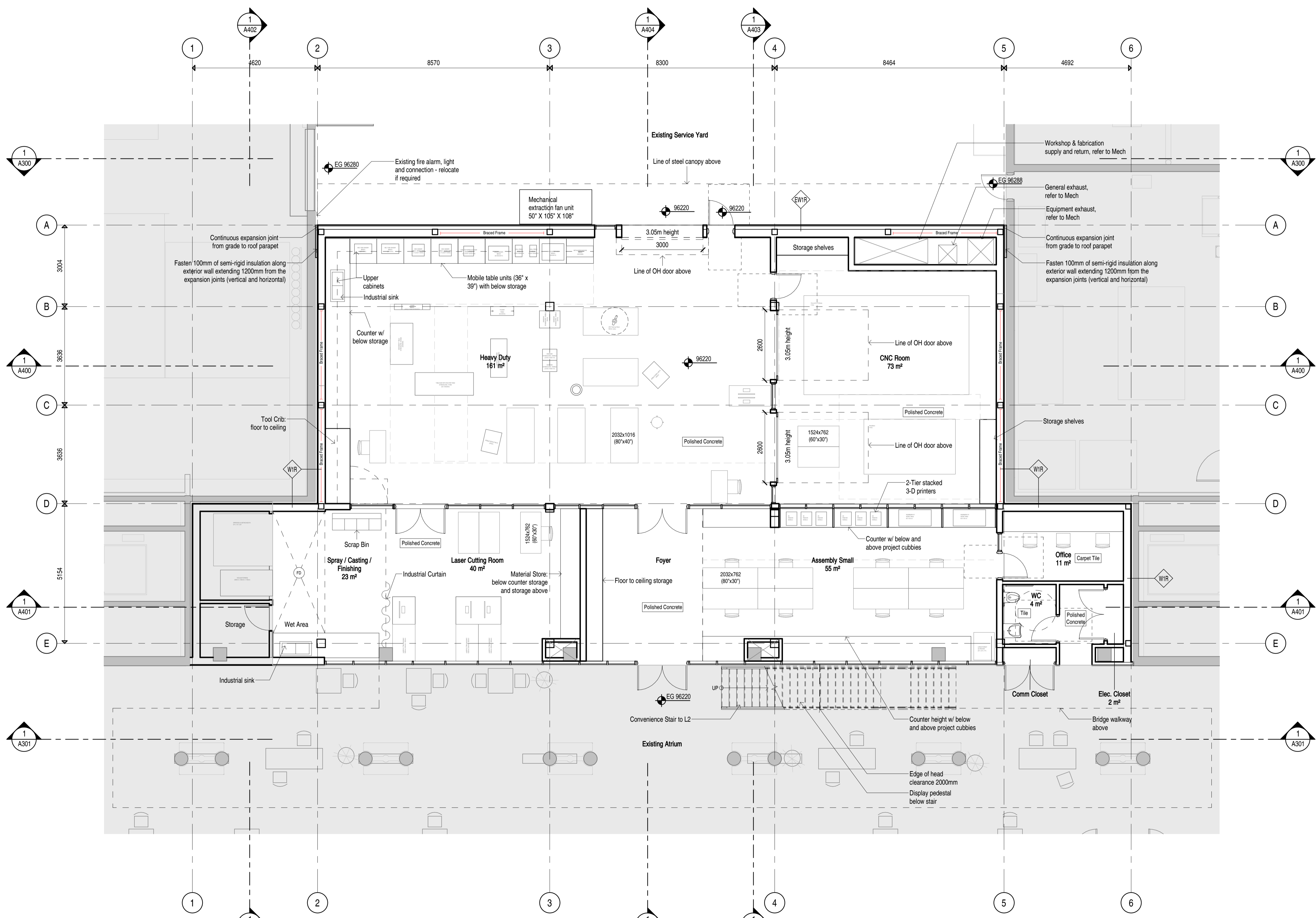
1 Basement Plan
1:75

A200

STAMP



- ### General Notes - Floor Plan
- Refer to wall schedule and wall sections and details for exterior wall stud types.
 - All washroom to meet accessibility standards outlined in the BCBC 2018.
 - Grab bars shall confirm to BCBC 2018 Articles 3.7.2.8 and 3.7.2.10.
 - Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have waterresistant solid backing.
 - Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC Equipment, and to Mechanical for all HVAC Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all ceiling and floor assemblies.
 - All elevator slab openings, door openings, pit size, and elevator mechanical room to be confirmed by elevator contractor.
 - All skylights to be tempered and laminated safety glass.
 - All flashings to be counter-clipped.
 - All roofing to comply with RCABC warranty requirements as specified.
 - Design, supply and install fall restraint anchors to facilitate maintenance work on roof to Worksafe BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
 - For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connections with floor slabs above and below.
 - Provide shims and engineered supports for glazing components as req'd.
 - Provide engineered lateral bracing for all bulkheads as req'd.
 - Provide Fire-Resistant spray product to Structural Steel elements as required with reference to the Code report regarding Fire Resistance Rating Requirements.



NOTES

NO	DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

UBC Applied Science Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

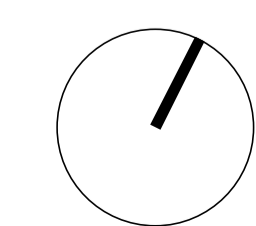
Issued for Development Permit

Floor Plan L1

DATE: March 31 2023
DRAWN BY: WF
CHECKED BY: AT/NS
SCALE: As indicated

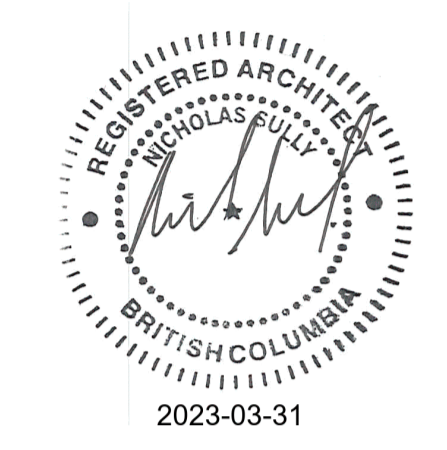
JOB NUMBER: 2209

1 Level 1 Floor Plan
1:75

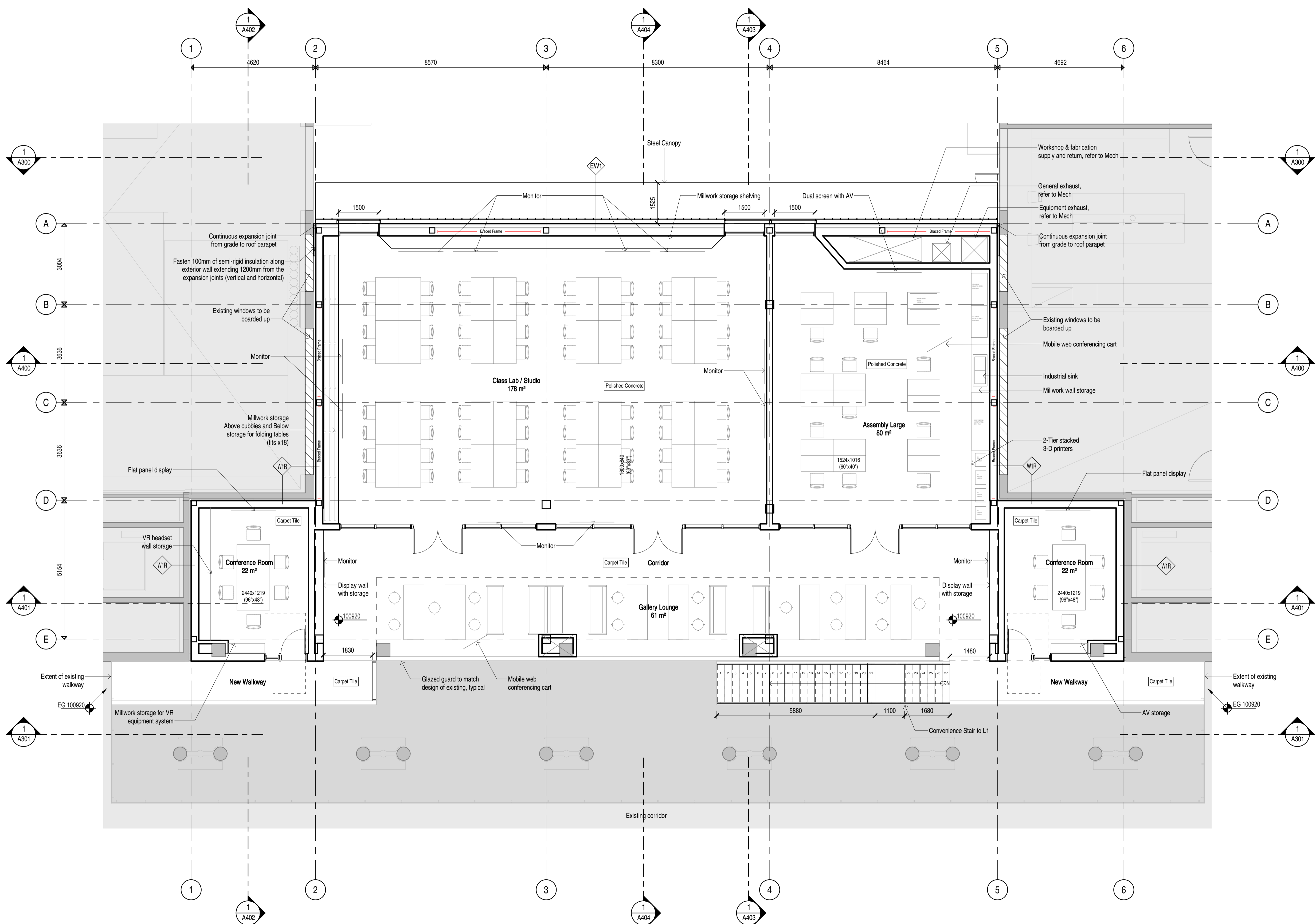


A201

STAMP



- General Notes - Floor Plan**
- Refer to wall schedule and wall sections and details for exterior wall stud types.
 - All washroom to meet accessibility standards outlined in the BCBC 2018.
 - Grab bars shall confirm to BCBC 2018 Articles 3.7.2.8 and 3.7.2.10.
 - Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have waterresistant solid backing.
 - Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC Equipment, diffusers, grilles, and plumbing. Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all, ceiling and floor assemblies.
 - All elevator slab openings, door openings, pit size, and elevator mechanical room to be confirmed by elevator contractor.
 - All skylights to be tempered and laminated safety glass.
 - All flashings to be counter-clipped.
 - All roofing to comply with RCABC warranty requirements as specified.
 - Design, supply and install fall restraint anchors to facilitate maintenance work on roof to Worksafe BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
 - For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connections with floor slabs above and below.
 - Provide shims and engineered supports for glazing components as req'd.
 - Provide engineered lateral bracing for all bulkheads as req'd.
 - Provide Fire-Resistant spray product to Structural Steel elements as required with reference to the Code report regarding Fire Resistance Rating Requirements.



NOTES

NO	DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

UBC Applied Science Digital Design Studio

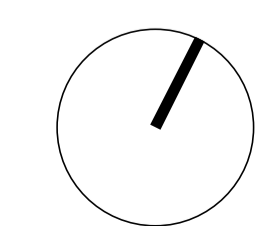
2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Floor Plan L2

DATE: March 31 2023
DRAWN BY: WF
CHECKED BY: AT/NS
SCALE: As indicated
JOB NUMBER: 2209

1 Level 2 Floor Plan
1:75



A202

STAMP



NOTES

NO	DESCRIPTION
----	-------------

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

UBC Applied Science
Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

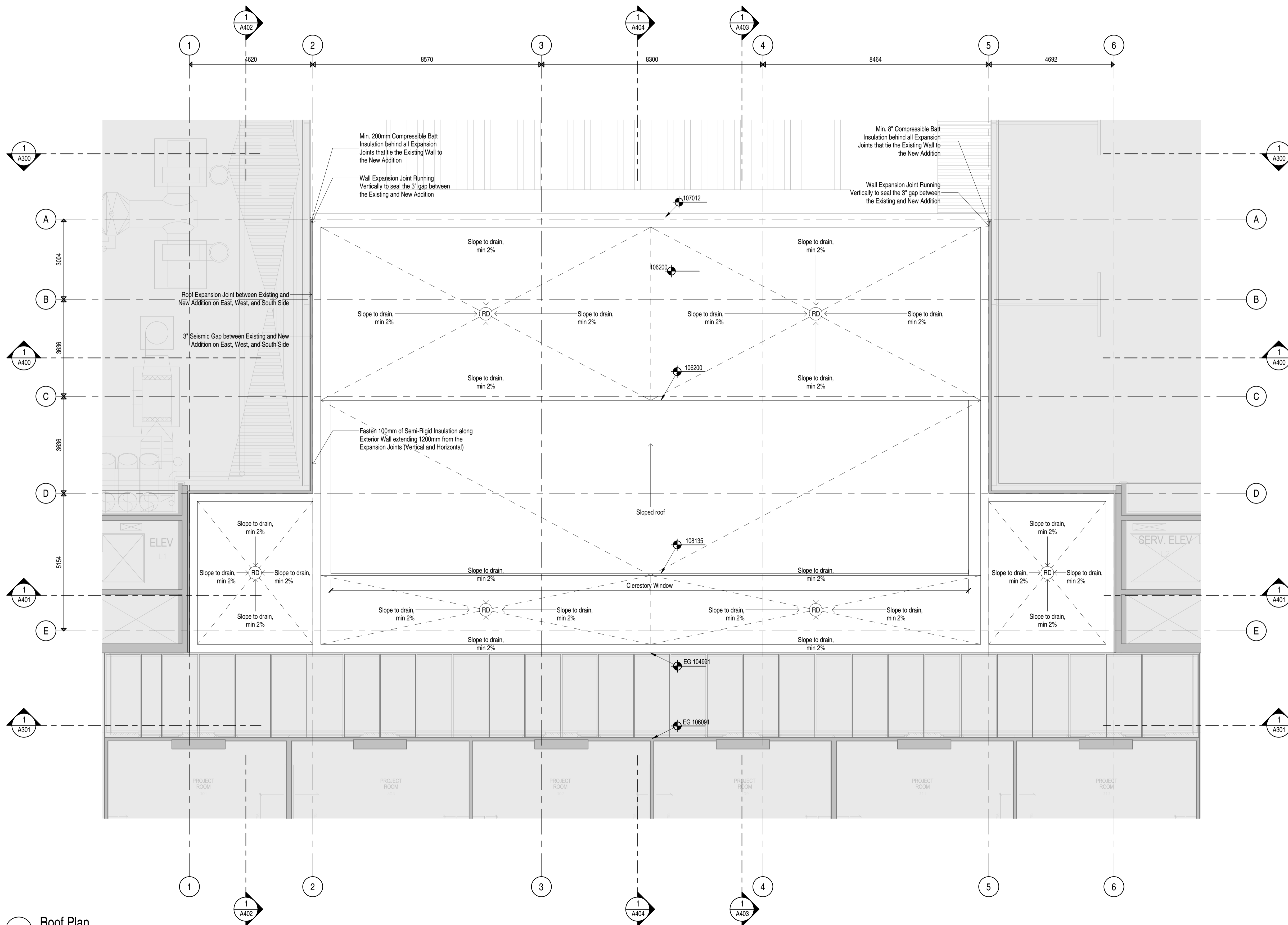
Issued for Development Permit

Roof Plan

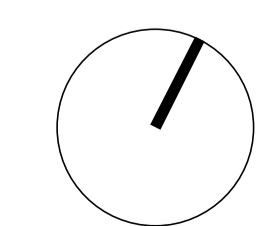
DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	As indicated
JOB NUMBER	2209

General Notes - Floor Plan

- Refer to wall schedule and wall sections and details for exterior wall stud types.
- All washroom to meet accessibility standards outlined in the BCBC 2018.
- Grab bars shall confirm to BCBC 2018 Articles 3.7.2.8 and 3.7.2.10.
- Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have waterresistant solid backing.
- Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC Equipment, diffusers, grilles, and plumbing. Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all, ceiling and floor assemblies.
- All elevator slab openings, door openings, pit size, and elevator mechanical room to be confirmed by elevator contractor.
- All skylights to be tempered and laminated safety glass.
- All flashings to be counter-clipped.
- All roofing to comply with RCABC warranty requirements as specified.
- Design, supply and install fall restraint anchors to facilitate maintenance work on roof to Worksafe BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
- For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connections with floor slabs above and below.
- Provide shims and engineered supports for glazing components as req'd.
- Provide engineered lateral bracing for all bulkheads as req'd.
- Provide Fire-Resistant spray product to Structural Steel elements as required with reference to the Code report regarding Fire Resistance Rating Requirements.



1 Roof Plan
1:75



A203

STAMP



General Notes - Elevation

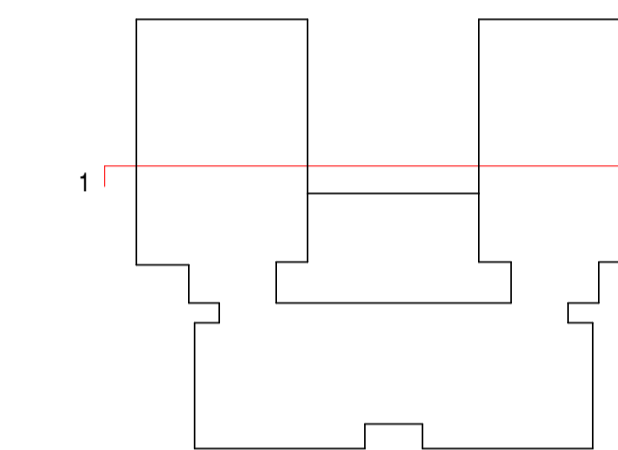
- In case of discrepancy between MECH. and ARCH. regarding Louvre sizes, ARCH shall govern
- Paint finish for all flashing, break shapes and metal cladding panels to be from custom colour range
-

Exterior Elevation Legend

- (M01) Drywall
- (M02) Glass
- (M03) Glass with frit
- (M04) Architectural concrete
- (M05) Aluminum louvres
- (M06) Standing seam metal
- (M07) Plywood sheathing
- (M08) Metal Panel
- (M09) Spandrel panel with shadow box

NOTES

NO DESCRIPTION



REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

UBC Applied Science Digital Design Studio

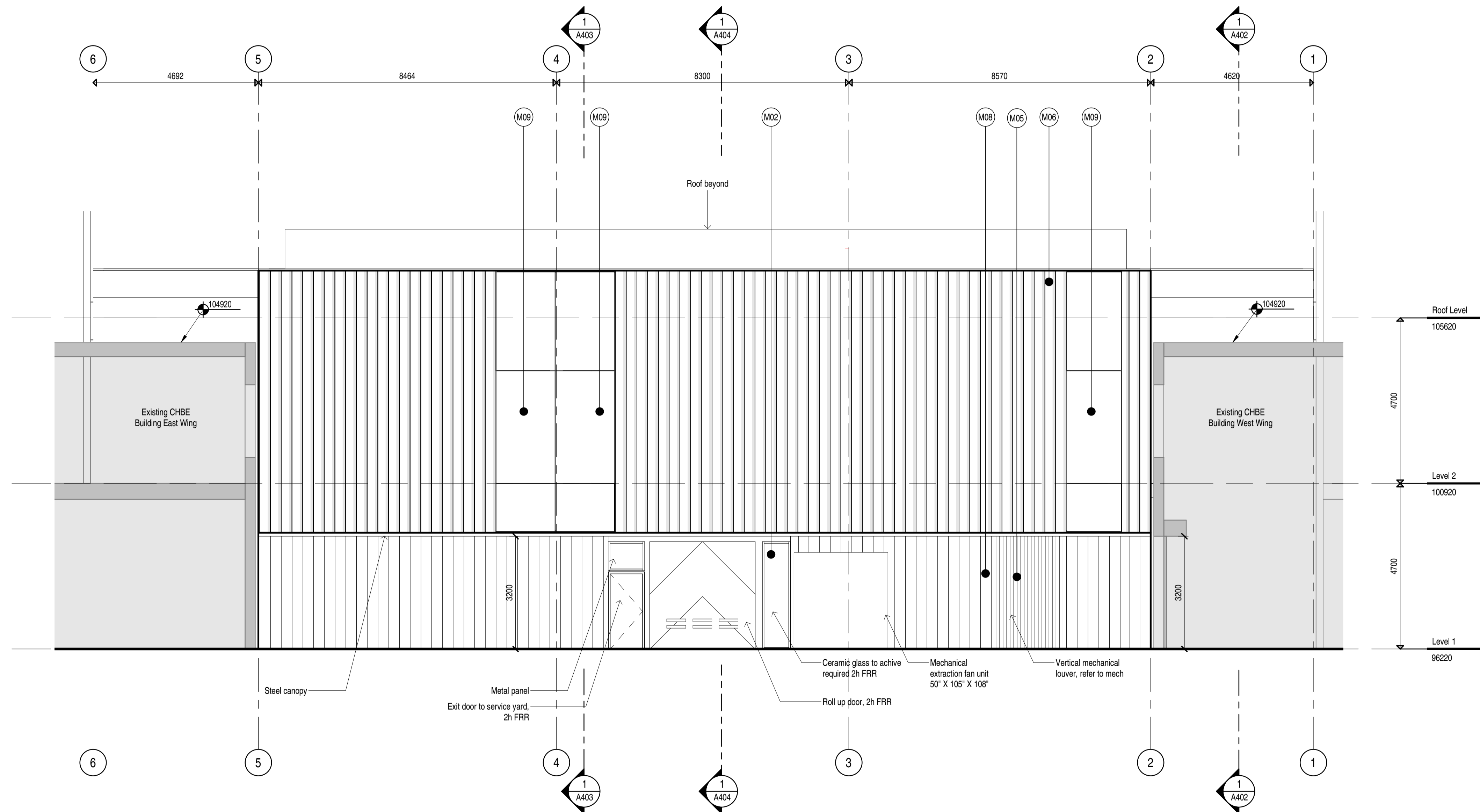
2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Building Elevations

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	As indicated

JOB NUMBER 2209



1 Building Elevation North
1 : 75

STAMP



General Notes - Elevation

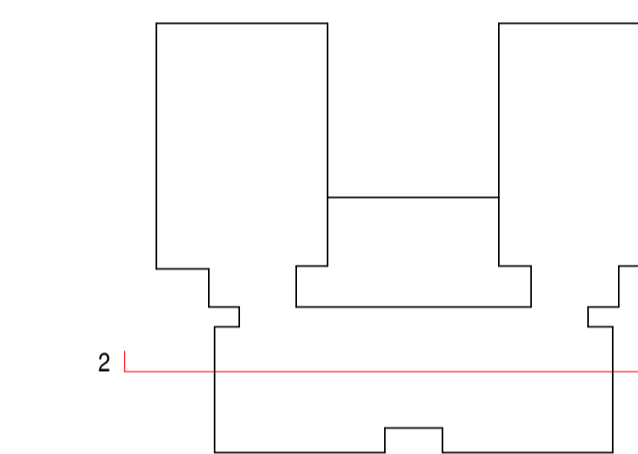
- In case of discrepancy between MECH. and ARCH. regarding Louvre sizes, ARCH shall govern
- Paint finish for all flashing, break shapes and metal cladding panels to be from custom colour range
-

Exterior Elevation Legend

- (M01) Drywall
- (M02) Glass
- (M03) Glass with frit
- (M04) Architectural concrete
- (M05) Aluminum louvres
- (M06) Standing seam metal
- (M07) Plywood sheathing
- (M08) Metal Panel
- (M09) Spandrel panel with shadow box

NOTES

NO DESCRIPTION



REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

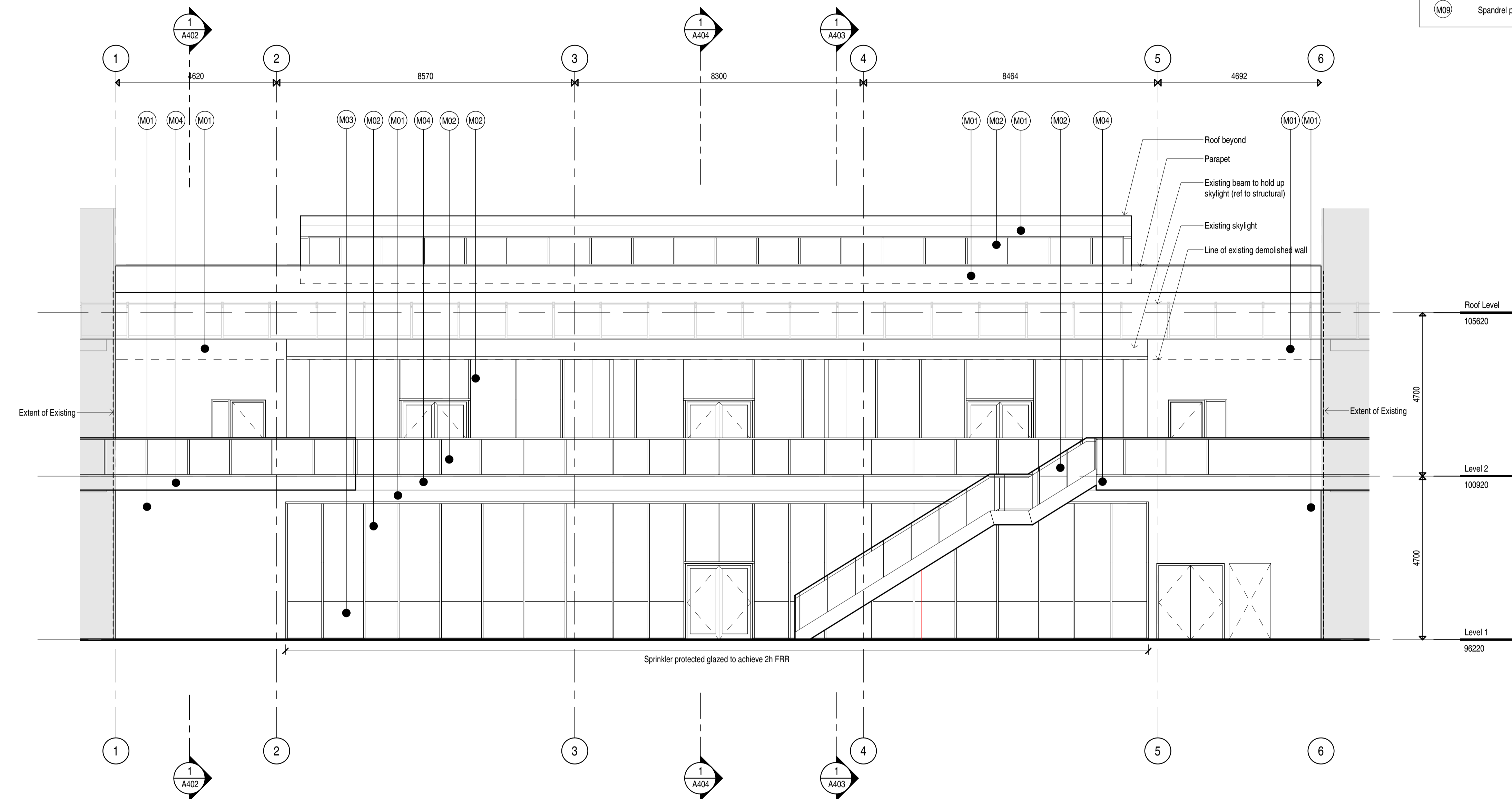
**UBC Applied Science
Digital Design Studio**

2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Building Elevations

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	As indicated
JOB NUMBER	2209

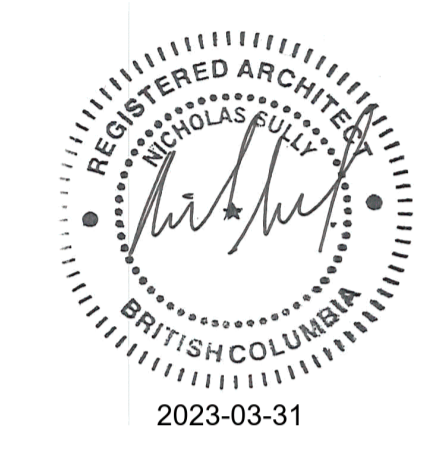


1 Interior Elevation
1:75

General Notes - Section

- In case of:
-

STAMP



NOTES

NO	DESCRIPTION
1	

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

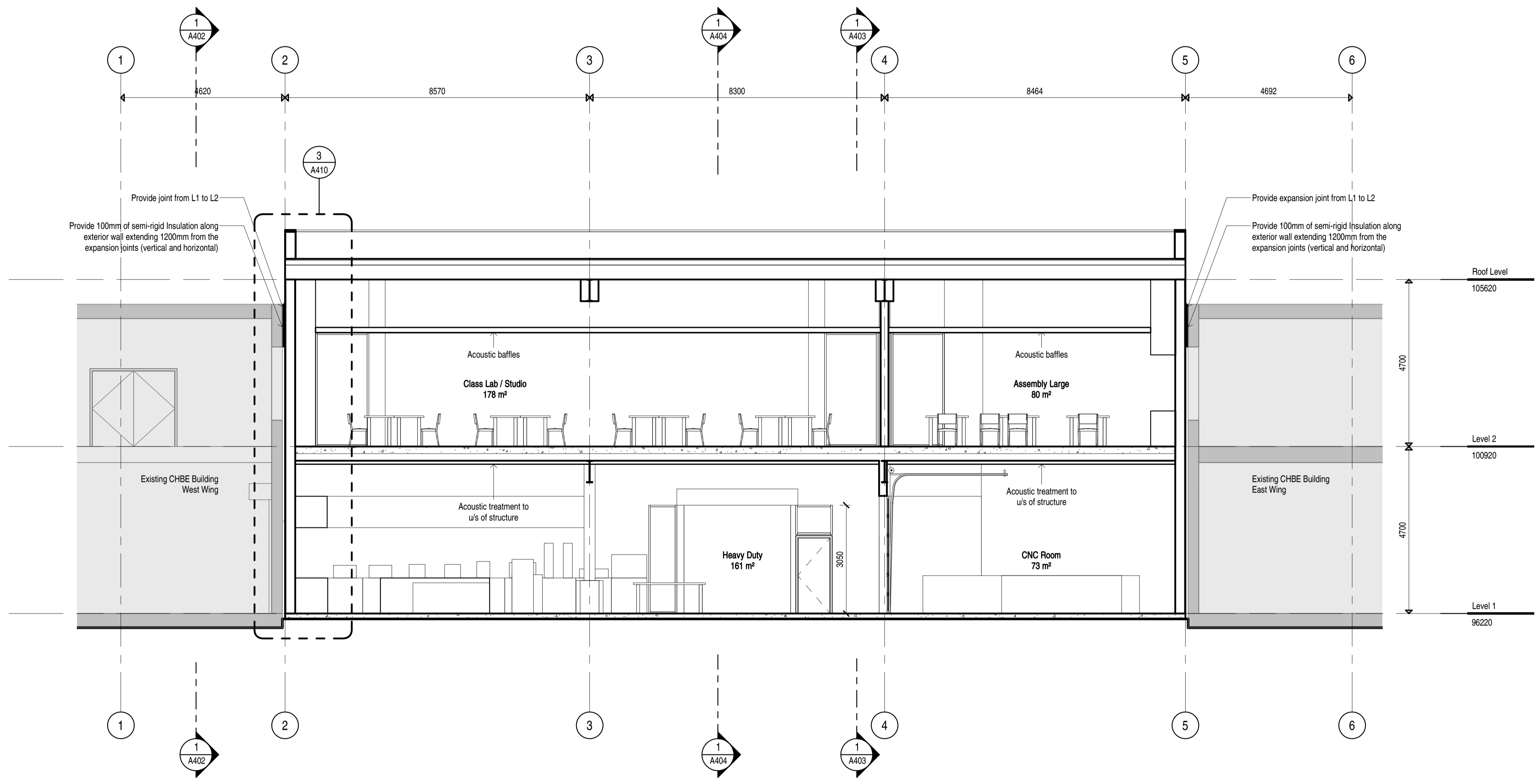
UBC Applied Science Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Building Sections E-W

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	As indicated
JOB NUMBER	2209

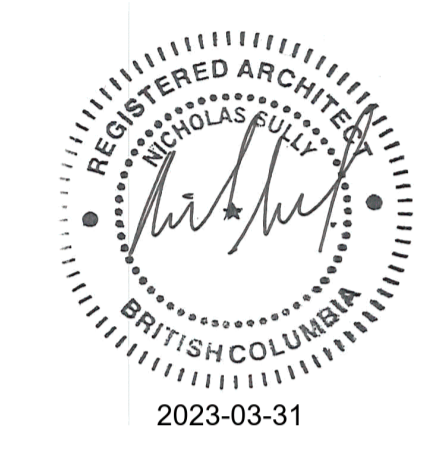


1 Building Section Through Class Lab / Studios and Heavy Duty + CNC
1 : 75

General Notes - Section

- In case of:
-

STAMP



NOTES

NO	DESCRIPTION
1	Issued for Development Permit

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	230331

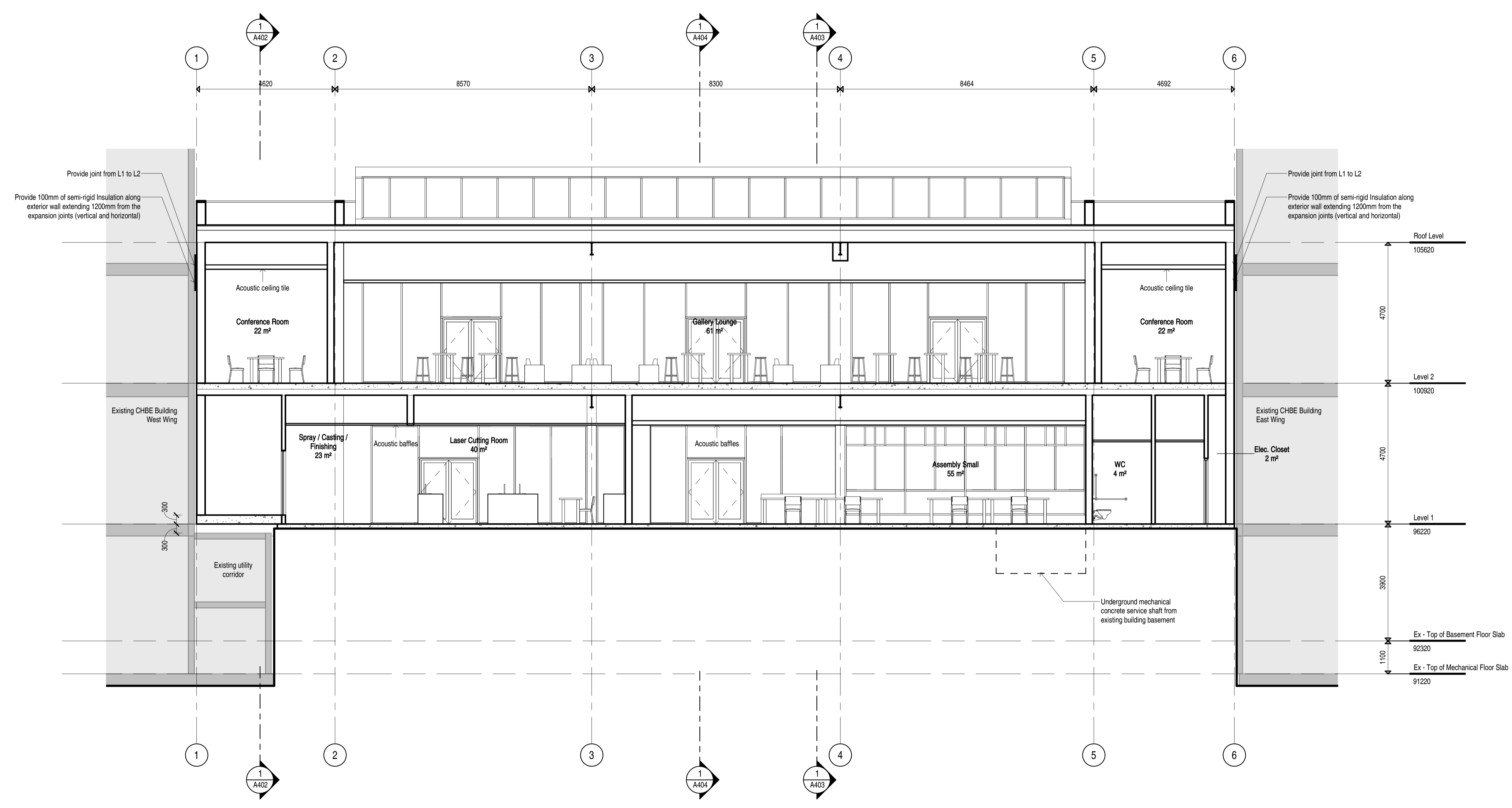
UBC Applied Science Digital Design Studio

2360 East Mall, Vancouver, BC V6T 1Z3

Issued for Development Permit

Building Sections E-W

DATE	March 31 2023
DRAWN BY	WF
CHECKED BY	AT/NS
SCALE	As indicated
JOB NUMBER	2209



1 Building Section Through Lounge Gallery and Laser Cutting + Assembly Small
1 : 75

