



**Development Permit Application**  
**UBC Sauder School of Business Expansion**

**29 June 2023**

## Project Team

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## Drawing List

**Architectural**  
 (24 sheets)

A001 Project Data  
 A002 Gross Floor Area Plans  
 A003 Shadow Analysis  
 A004 Photographs

A010 Context Plan  
 A011 Composite Site Plan

A101 Level 1 Floor Plan  
 A102 Level 2 Floor Plan  
 A103 Level 3 Floor Plan  
 A104 Level 4 Floor Plan  
 A105 Level 5 Floor Plan  
 A106 Level 6 Floor Plan  
 A107 Level 7 Floor Plan  
 A108 Level 8 Floor Plan  
 A109 Level 9 Floor Plan  
 A110 Level 10 Floor Plan  
 A111 Level 11 Floor Plan  
 A121 Roof Plan

A202 East West Building Section  
 A211 North South Building Sections

A301 Elevation - West  
 A302 Elevation - South  
 A303 Elevation - East  
 A304 Elevation - North

**Landscape**  
 (8 sheets)

L1.0 Landscape Key Plan Level 1  
 L1.1 Landscape Key Plan Level 2  
 L1.2 Tree Management Plan  
 L2.0 Landscape Grading Plan  
 L3.0 Planting Plan  
 L4.0 Landscape Sections  
 L4.1 Landscape Sections  
 L5.0 Landscape Precedent Images

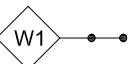
**Civil**  
 (2 sheets)


C01 Utility Key Plan  
 RWM01 Rainwater Management Calculation


**Electrical**  
 (1 sheet)


E1.01 Lighting Site Plan


## Architectural Symbols

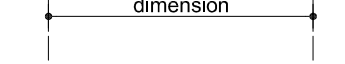
Assembly 


Cling height 


Detail ref. 


Section ref. 

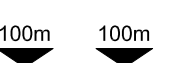
Gridlines 


Gridlines 


Int. elev. ref. 

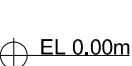
Keynote 

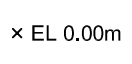
Elev. ref. 

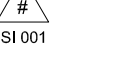
Elev. marker 


Room tag 


Window tag 

Door tag 

Proposed grade elev 

Existing grade elev 

Rev. triangle 

Slope 

## Variations Requested

The following variations from the UBC Vancouver Campus Plan Design Guidelines are requested:

**3.1.1.4 Simple Rectilinear Massing** — Simple, rectilinear plan forms and massing consistent with the campus grid and modernist precedents shall apply to façades fronting on major corridors.

**Rationale for variance**  
 Although a strong guideline for the campus as a whole, the International Style embodies certain qualities that contrast directly with Sauder's own values and possibly also changing values within the broader university. In its later execution, many business buildings executed in the international style became synonymous with 'corporate architecture' – buildings that were intended to signify their membership in the prevailing corporate thinking of the time. One of Sauder's goals for the Expansion is to express its distinctiveness from prevailing corporate norms –in-effect to defy traditional-held expectations.

From an architectural perspective, a design that contrasts with the 'simple, rectilinear plan forms and massing consistent with the (campus) grid' represents a strong departure from the prevailing hegemony, and allows the school to express its connection to the diverse set of places and people it serves. The curvilinear plan forms and massing of the design achieve a sensuousness that are intended to achieve this expression. This strategy also enhances the campus by expanding the modernist vocabulary within the general framework of the existing guidelines.

From a formal point of view, the building form and massing is a response to the needs of the functional program and the various constraints of the project site. In this case, the massing strategy employs two forms commonly associated with podium design – a lower bar form and a taller tower form. In this case though, the podium and tower have shared uses and as such are expressed more fluidly.

**3.1.2. Campus Core Materials Palette** —To strengthen campus legibility and historical character, buildings constructed in the campus core are to respect and build on the campus' legacy of international style buildings. Primary materials associated with this movement include light coloured brick, cast-in-place concrete and significant glazing. Secondary layers of material and detailing are important opportunities to introduce additional colour and vitality.

**Rationale for variance**  
 The guidelines specify white brick as the primary cladding for all buildings facing major campus corridors, which the Sauder Expansion does. It also specifies a series of required secondary materials' including soft wood, metal and natural coloured concrete.

Through the course of design, glazed white brick was deemed to be an unsuitable material for the cladding due to the form of the building, weight of the material and cost. However, it was determined that the building could still achieve many of the goals of the Campus Core design guidelines by instead elevating one of the 'required secondary materials' to be the primary material, namely metal. It should also be noted that metal cladding is considered a primary cladding materials for the neighbouring Forest Edge District, which borders the Sauder Expansion.

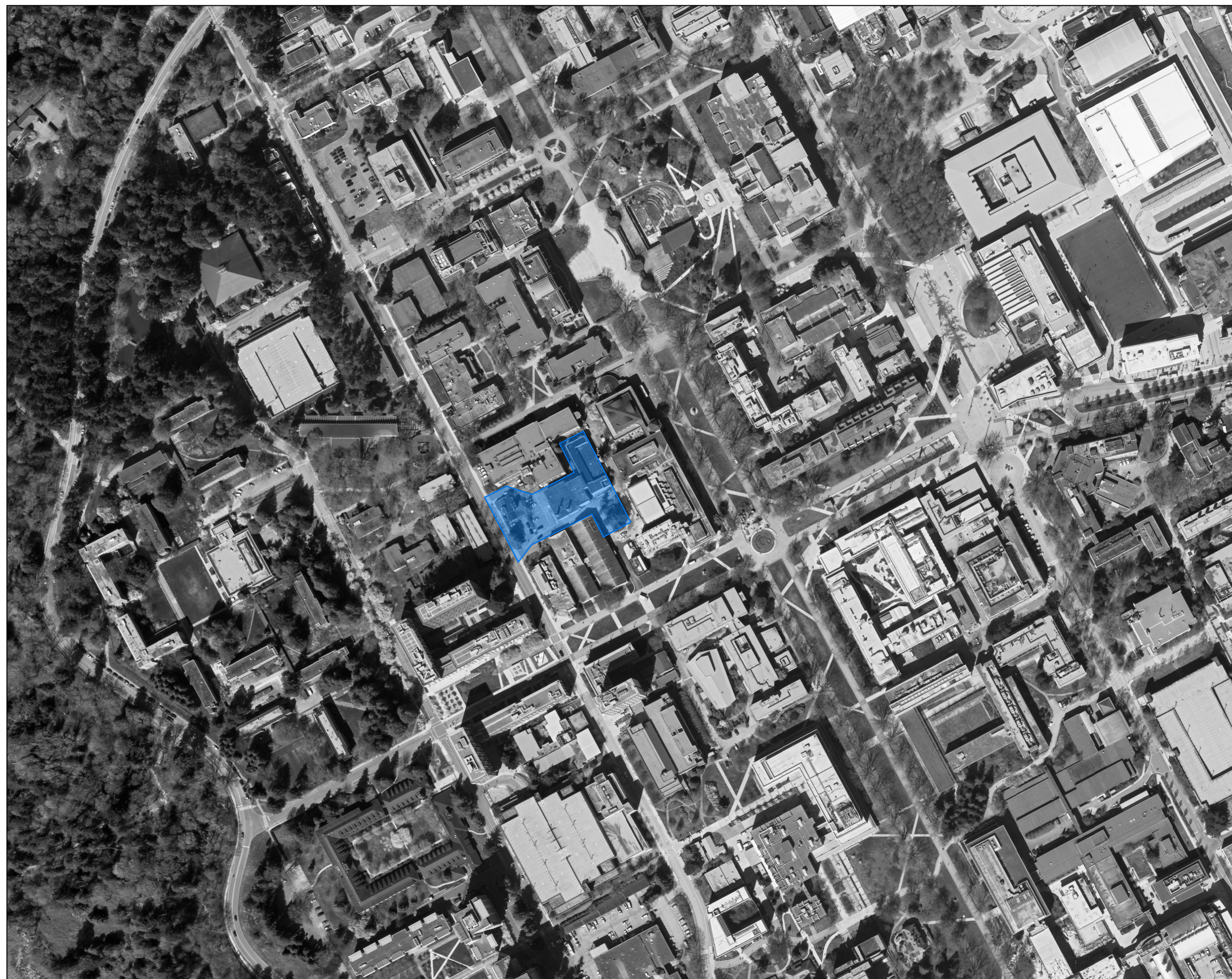
Considering the large south-facing expanse of the tower, one of the primary goals of the cladding was that it have a dynamic quality that could register change through the course of various environmental conditions. In this respect, metal has many virtues. Firstly, it is a light material, easy to install and can be manipulated using various common industrial bending and rolling techniques. Secondly, there are numerous types of metal cladding materials, each that can be modified to vary in terms of surface quality (polished, brushed, perforated, etc). And finally, each metal can be treated with a range of finishes to enhance colour, reflectivity, life span, etc.

The challenge facing the design team was to develop a light, dynamic, metal cladding system that also met the key objectives of the Campus Core design guidelines. Seeking nuanced effects that could achieve such a dynamic range, the team turned to nature – or more specifically to the qualities of a shell. The mantle (interior surface) of an oyster shell is made of protein and minerals produced by the host as it grows over the course of its life. Much like tree rings, the mantle of most shells retains a history of its growth through rings or layers, which tend to get rougher at the outer edges. Another merit of the oyster shell mantle is that it is generally white.

From the design team's perspective, this quality of a luminous, white surface that can accommodate a variety of nuanced and subtle shifts in colour, tone and texture is its primary virtue – and one that echoes the goals of the design guidelines. The resulting strategy involves an articulated metal skin composed of variously scaled and sized triangular forms that maximize the interplay of light, shadow, refraction and hue within the larger unified field. The particular surface characteristics and relationships between the triangular components will be varied to ensure the effects are not prescriptive.

The design team then used a 'weave' strategy to integrate this dynamic surface into building elevations with windows, fins, openings and other apertures. The weave strategy allows for the glazing and cladding to form a more dynamic relationship based on program requirements and building orientation. The result is a highly textured surface, reflecting Sauder's goal to distance themselves from the corporate culture associated with 'slick office buildings'.

## Location Plan



## Project Data

**Project name** UBC Sauder School of Business Expansion

**Address** University of British Columbia, 2040 West Mall, Vancouver, BC

**Client** UBC Properties Trust

**Project status** Development Permit

**Total site area** 4,972 m<sup>2</sup>

**Building footprint area** 2,364 m<sup>2</sup>

**Total site coverage** 47.5%

**Proposed uses** Group A2 (Assembly), Group D (Office), Group D (Retail)

**Gross Floor Area by Use**

Group A2 (Assembly)	11,336 m <sup>2</sup>
Group D (Office)	1,253 m <sup>2</sup>
Group D (Retail)	162 m <sup>2</sup>
Mechanical	757 m <sup>2</sup>
<b>Total Gross Floor Area</b>	<b>13,508 m<sup>2</sup></b>

**Gross Floor Area by Floor**

Level 01	1,671 m <sup>2</sup>
Level 02	1,237 m <sup>2</sup>
Level 03	1,789 m <sup>2</sup>
Level 04	1,253 m <sup>2</sup>
Level 05	1,255 m <sup>2</sup>
Level 06	1,220 m <sup>2</sup>
Level 07	1,213 m <sup>2</sup>
Level 08	1,220 m <sup>2</sup>
Level 09	1,244 m <sup>2</sup>
Level 10	1,076 m <sup>2</sup>
Level 11	330 m <sup>2</sup>
<b>Total Gross Floor Area</b>	<b>13,508 m<sup>2</sup></b>

**Building Height**

permitted	53 m
proposed	51.7 m @ West Plaza

**Setbacks**

Front Yard (west):	N/A
Rear Yard (east):	N/A
Side Yard (north):	N/A
Side Yard (south):	N/A

**Parking spaces** 9

**Accessible parking spaces** 4

**Loading spaces** 1

**Bicycle parking spaces**

	permitted	proposed
Class 1	0.4 to 0.8 spaces / 100 m <sup>2</sup> of GFA - 54 to 108 spaces	32
Class 2	4 spaces / 100 m <sup>2</sup> of GFA - 540 spaces	36

**Number of Dwelling Units** 0

**Floor Space Ratio** N/A

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### ISSUES

29 Jun 2023 Issued for Development Permit

## Patkau + Acton Ostry Architects

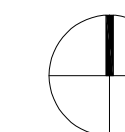
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SIGNED & SEALED  
DRAWINGS TO FOLLOW

## UBC Sauder School of Business Expansion

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
-	29 June 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



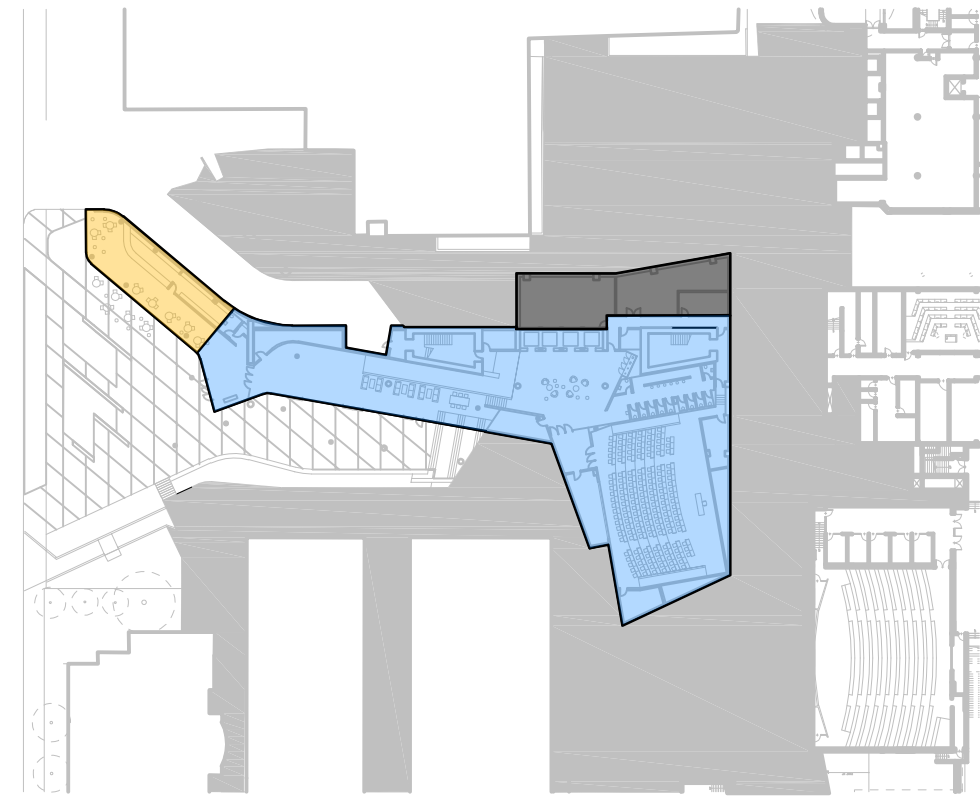
## Project Information

drawing number

A001

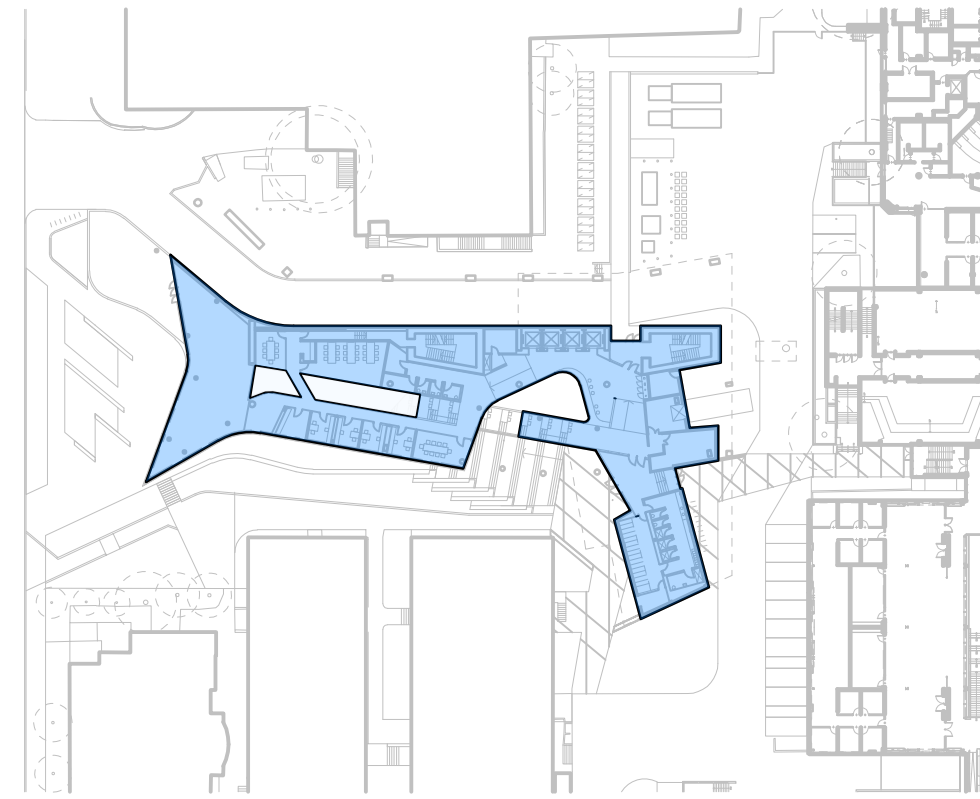
**Issues**

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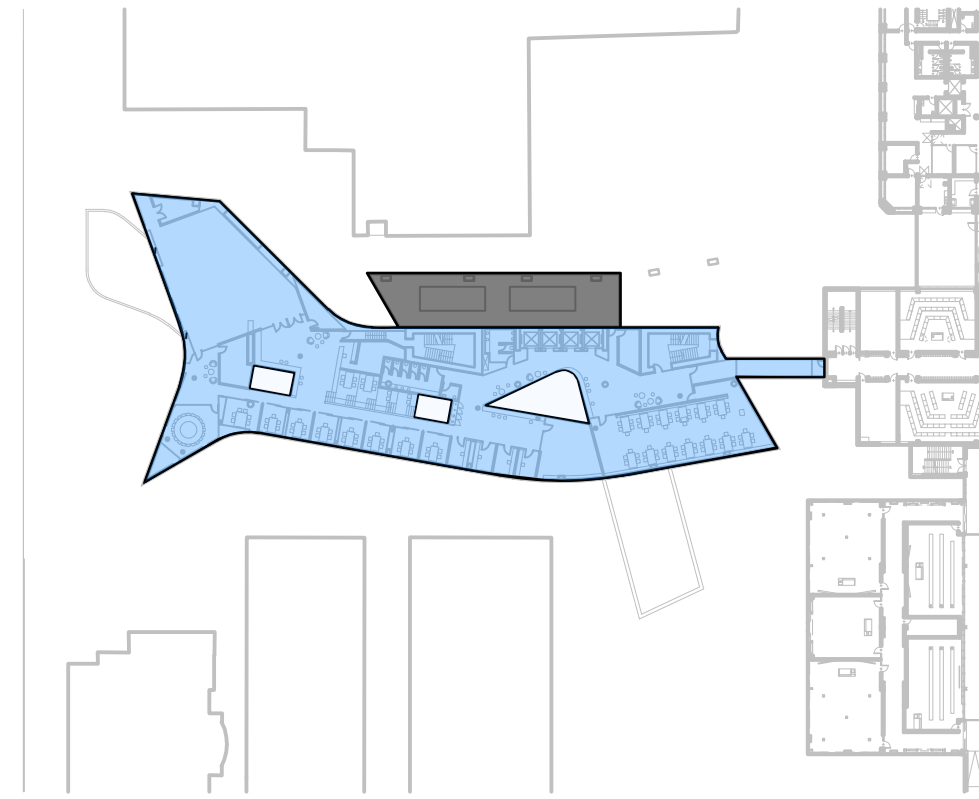
**Level 1 Floor Plan**

Group A2 (Assembly) Area: 1,310 m<sup>2</sup>  
 Group D (Retail) Area: 162 m<sup>2</sup>  
 Mechanical Area: 199 m<sup>2</sup>  
**Total Gross Floor Area: 1,671 m<sup>2</sup>**



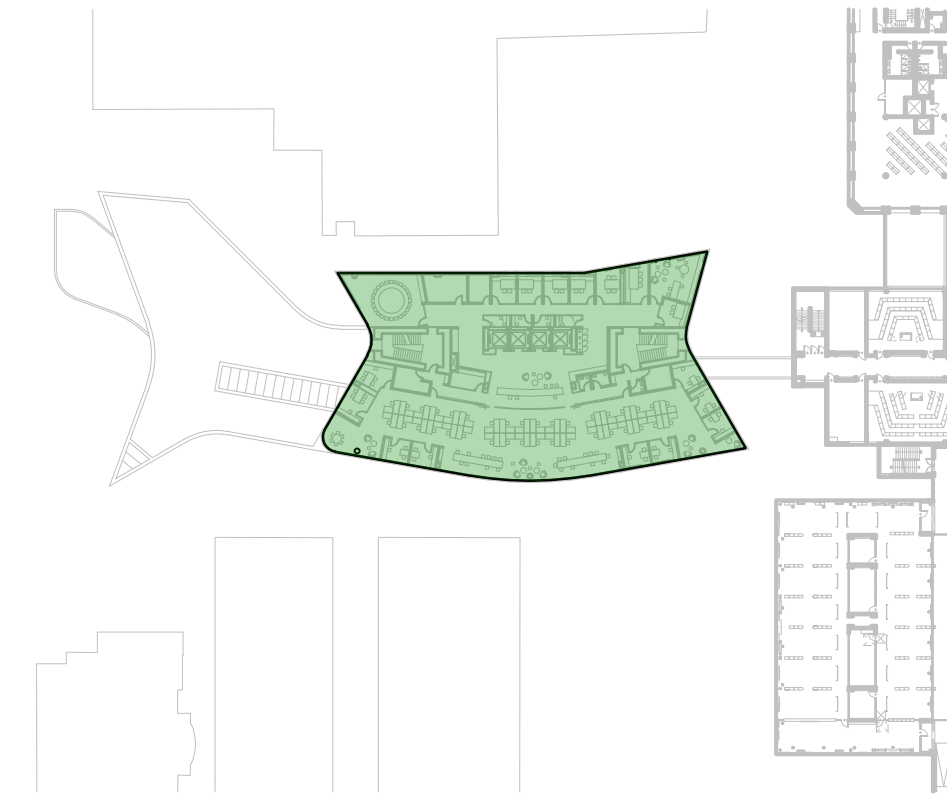
**Level 2 Floor Plan**

Group A2 (Assembly) Area: 1,237 m<sup>2</sup>  
**Total Gross Floor Area: 1,237 m<sup>2</sup>**



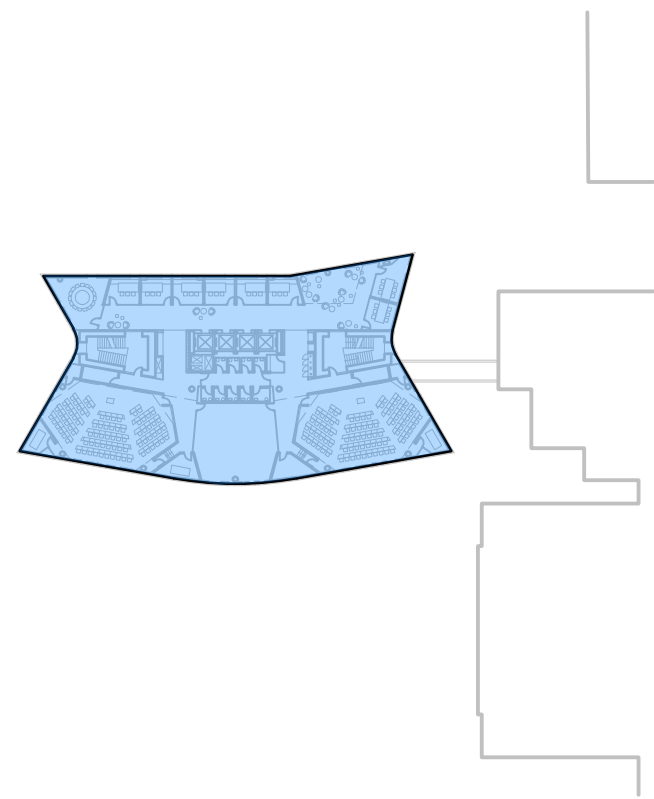
**Level 3 Floor Plan**

Group A2 (Assembly) Area: 1,561 m<sup>2</sup>  
 Mechanical Area: 228 m<sup>2</sup>  
**Total Gross Floor Area: 1,789 m<sup>2</sup>**



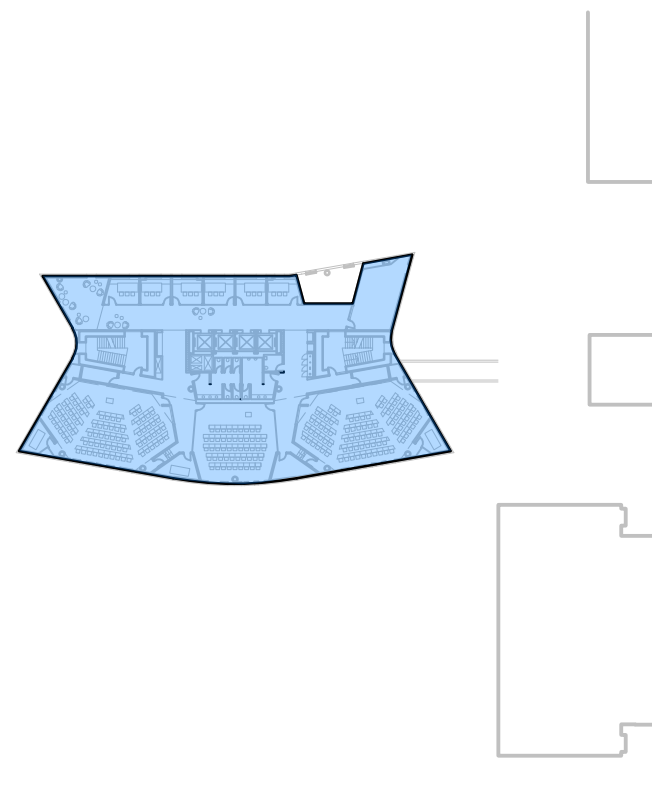
**Level 4 Floor Plan**

Group D (Office) Area: 1,253 m<sup>2</sup>  
**Total Gross Floor Area: 1,253 m<sup>2</sup>**



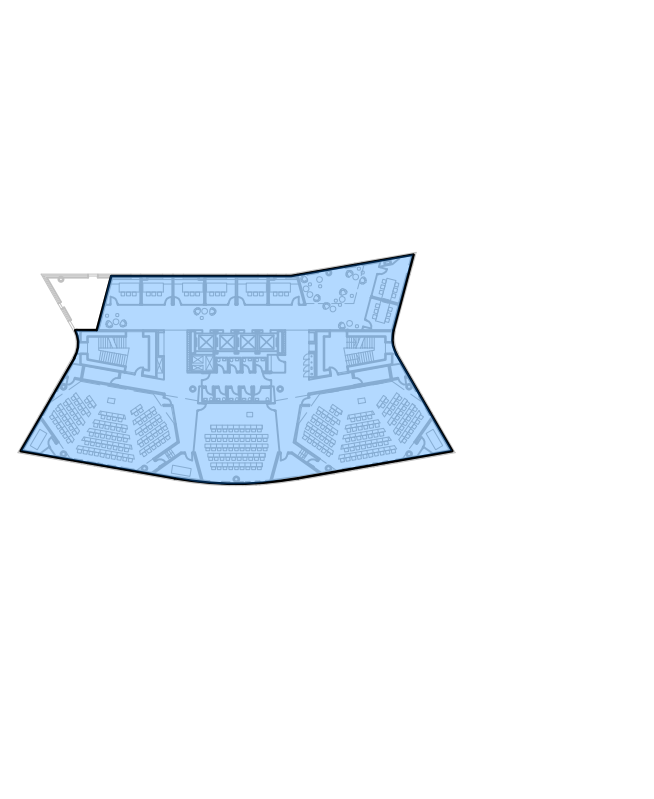
**Level 5 Floor Plan**

Group A2 (Assembly) Area: 1,255 m<sup>2</sup>  
**Total Gross Floor Area: 1,255 m<sup>2</sup>**



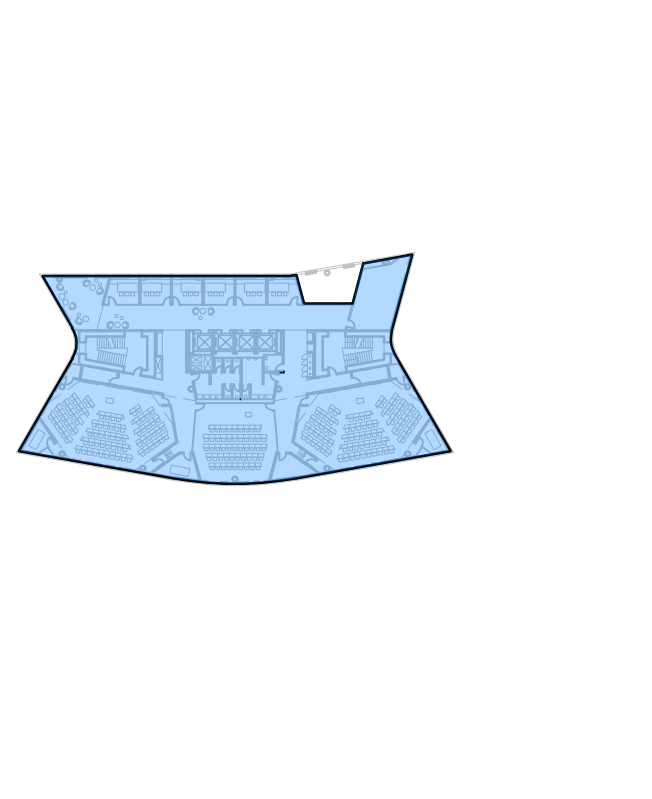
**Level 6 Floor Plan**

Group A2 (Assembly) Area: 1,220 m<sup>2</sup>  
**Total Gross Floor Area: 1,220 m<sup>2</sup>**



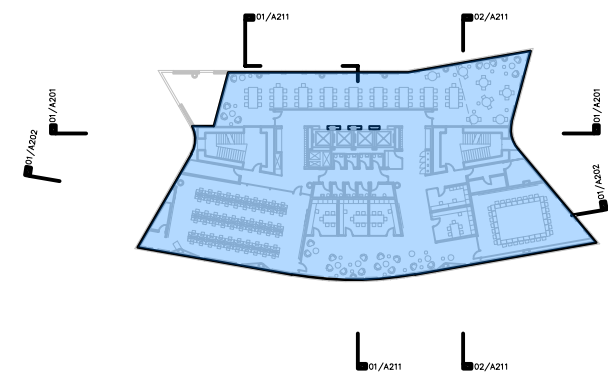
**Level 7 Floor Plan**

Group A2 (Assembly) Area: 1,213 m<sup>2</sup>  
**Total Gross Floor Area: 1,213 m<sup>2</sup>**



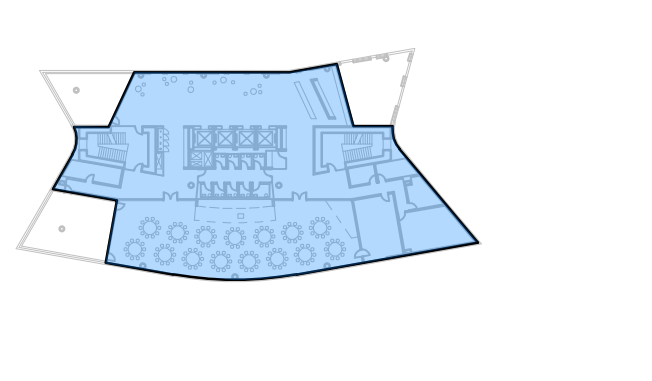
**Level 8 Floor Plan**

Group A2 (Assembly) Area: 1,220 m<sup>2</sup>  
**Total Gross Floor Area: 1,220 m<sup>2</sup>**



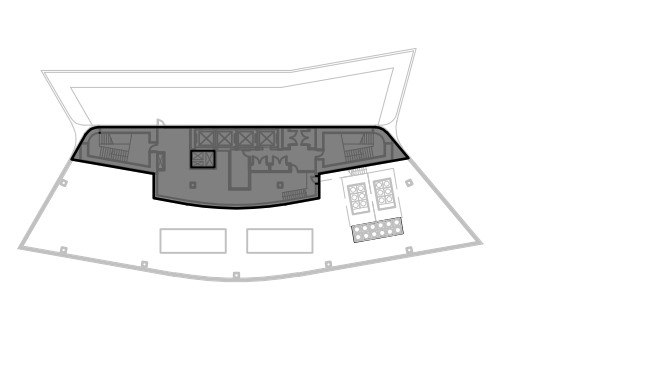
**Level 9 Floor Plan**

Group A2 (Assembly) Area: 1,244 m<sup>2</sup>  
**Total Gross Floor Area: 1,244 m<sup>2</sup>**



**Level 10 Floor Plan**

Group A2 (Assembly) Area: 1,076 m<sup>2</sup>  
**Total Gross Floor Area: 1,076 m<sup>2</sup>**



**Level 11 Floor Plan**

Mechanical Area: 330 m<sup>2</sup>  
**Total Gross Floor Area: 330 m<sup>2</sup>**

**Legend**

- Group A2 (Assembly)
- Group D (Office)
- Group D (Retail)
- Mechanical

**Patkau + Acton Ostry Architects**

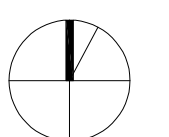
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DRAWINGS TO FOLLOW

**UBC Sauder School of Business Expansion**

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:1000	29 June 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP

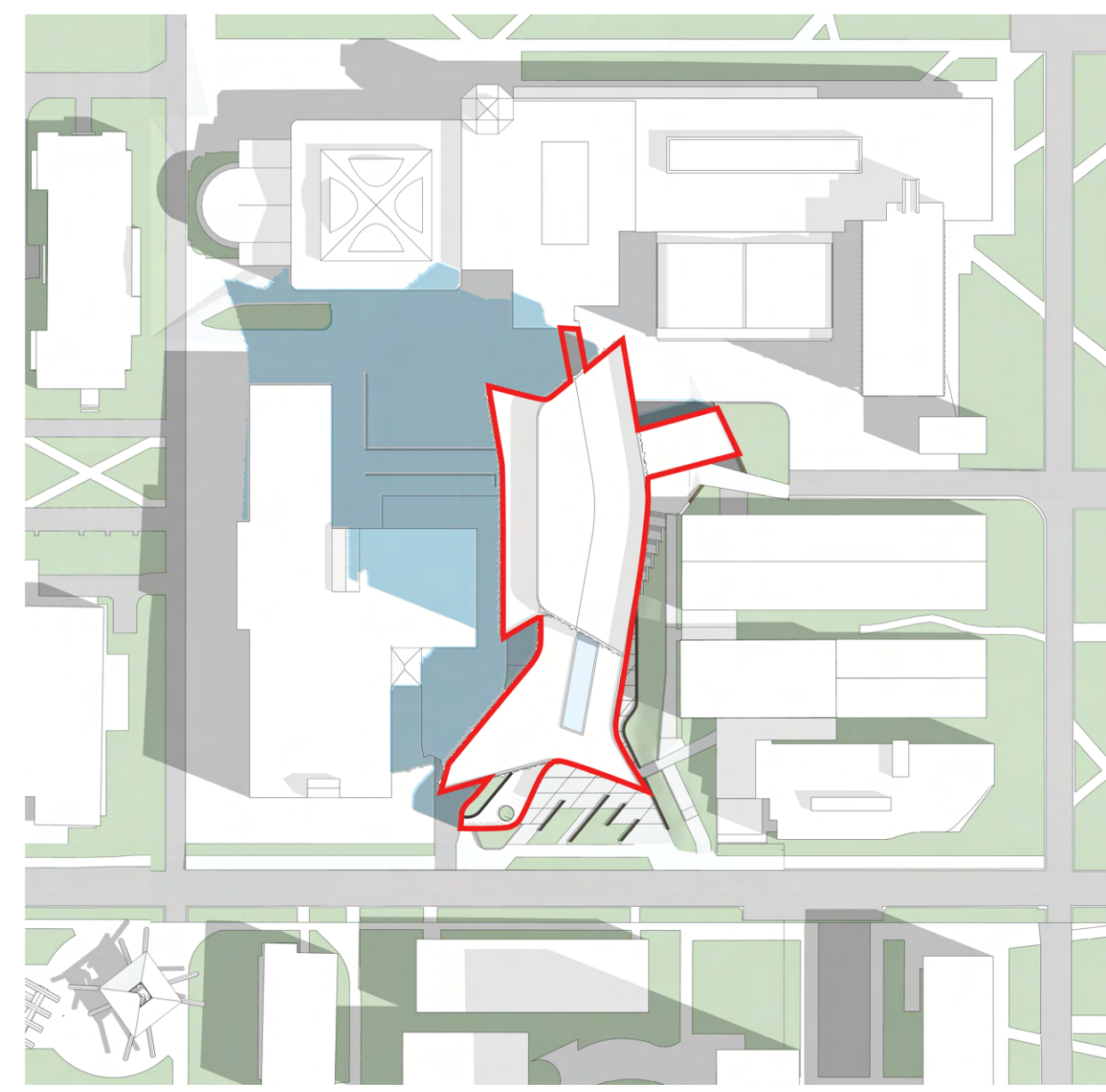


**Gross Floor Area Plans**

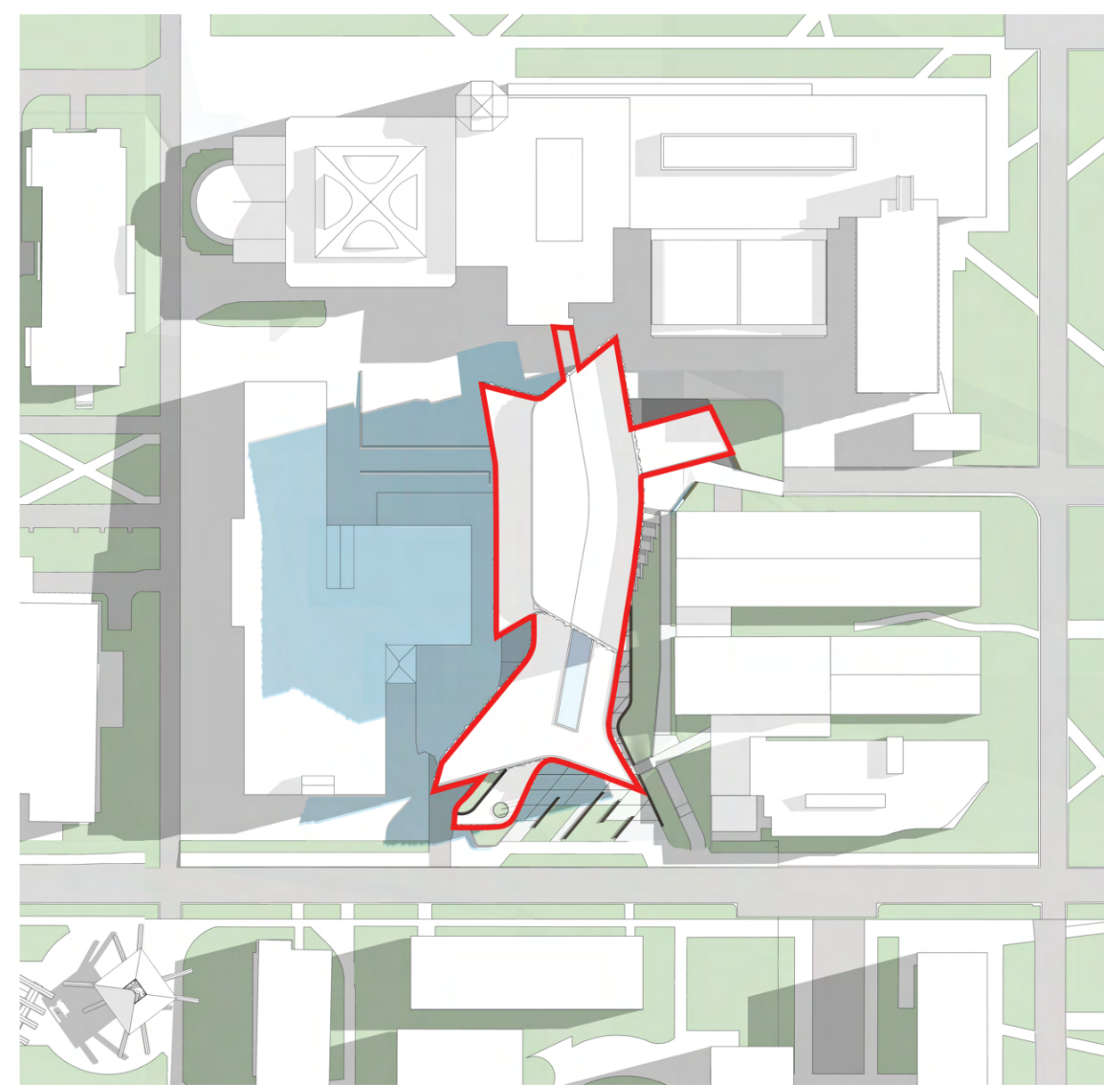
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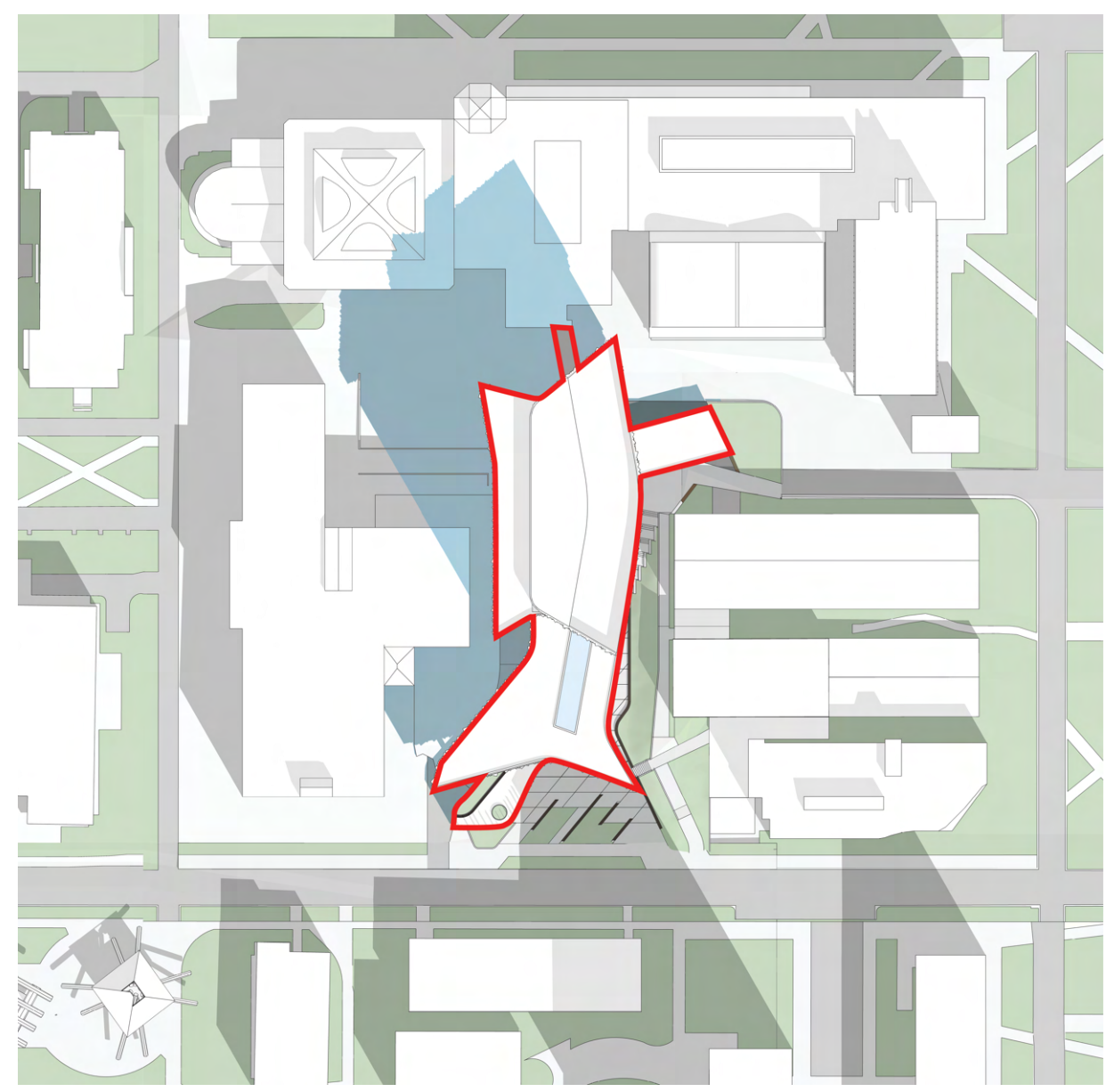
**issues**  
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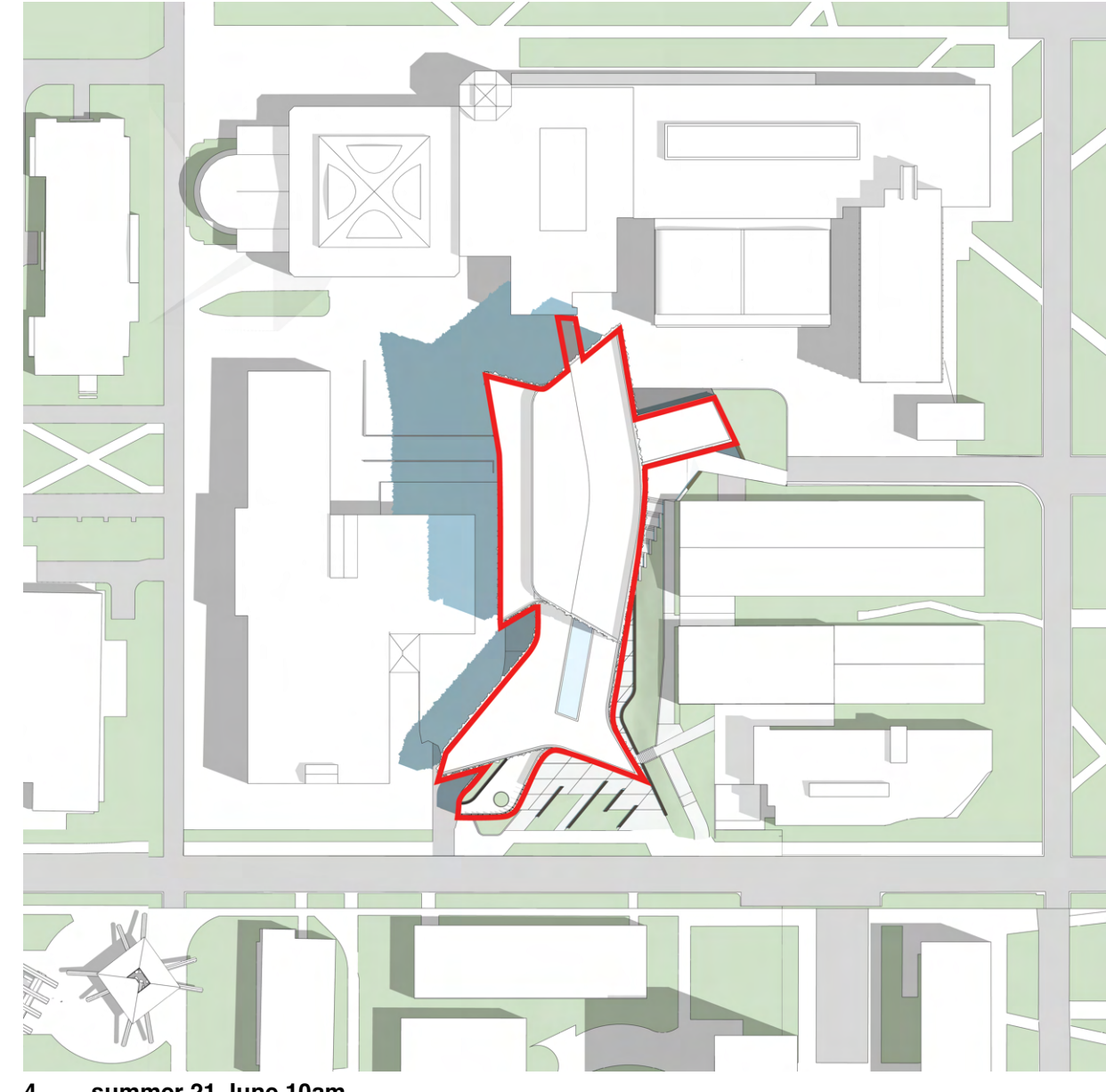
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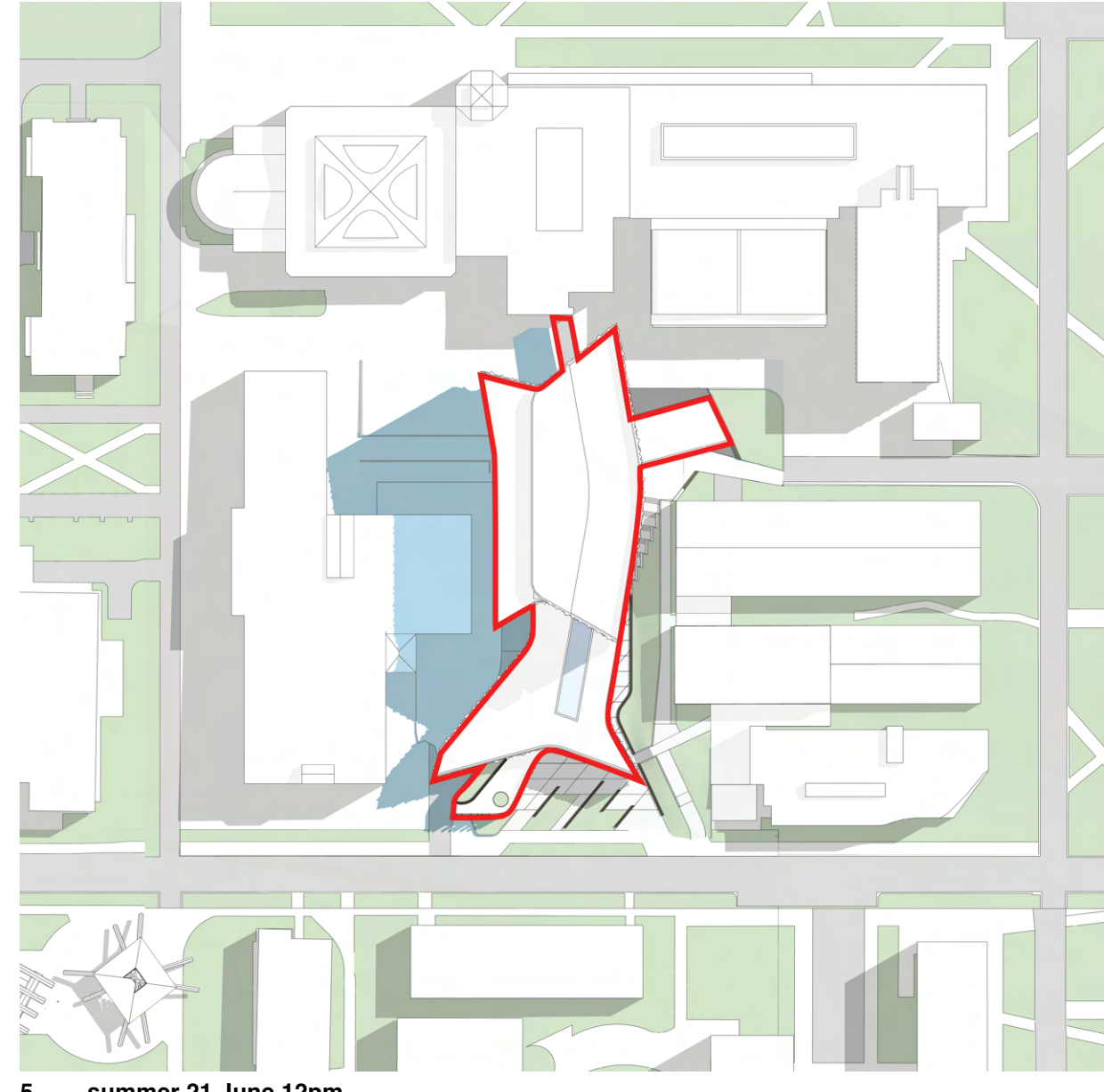
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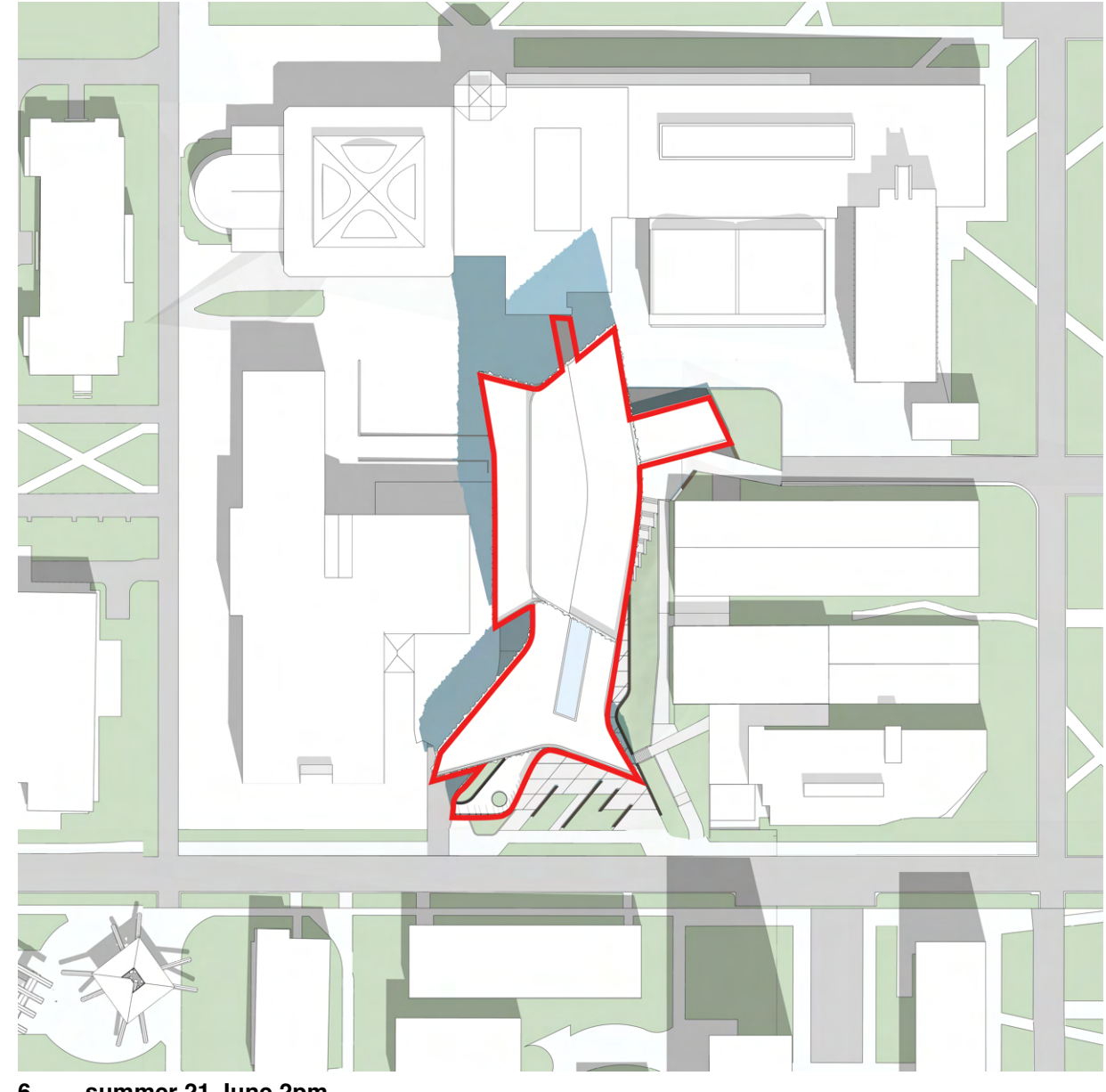
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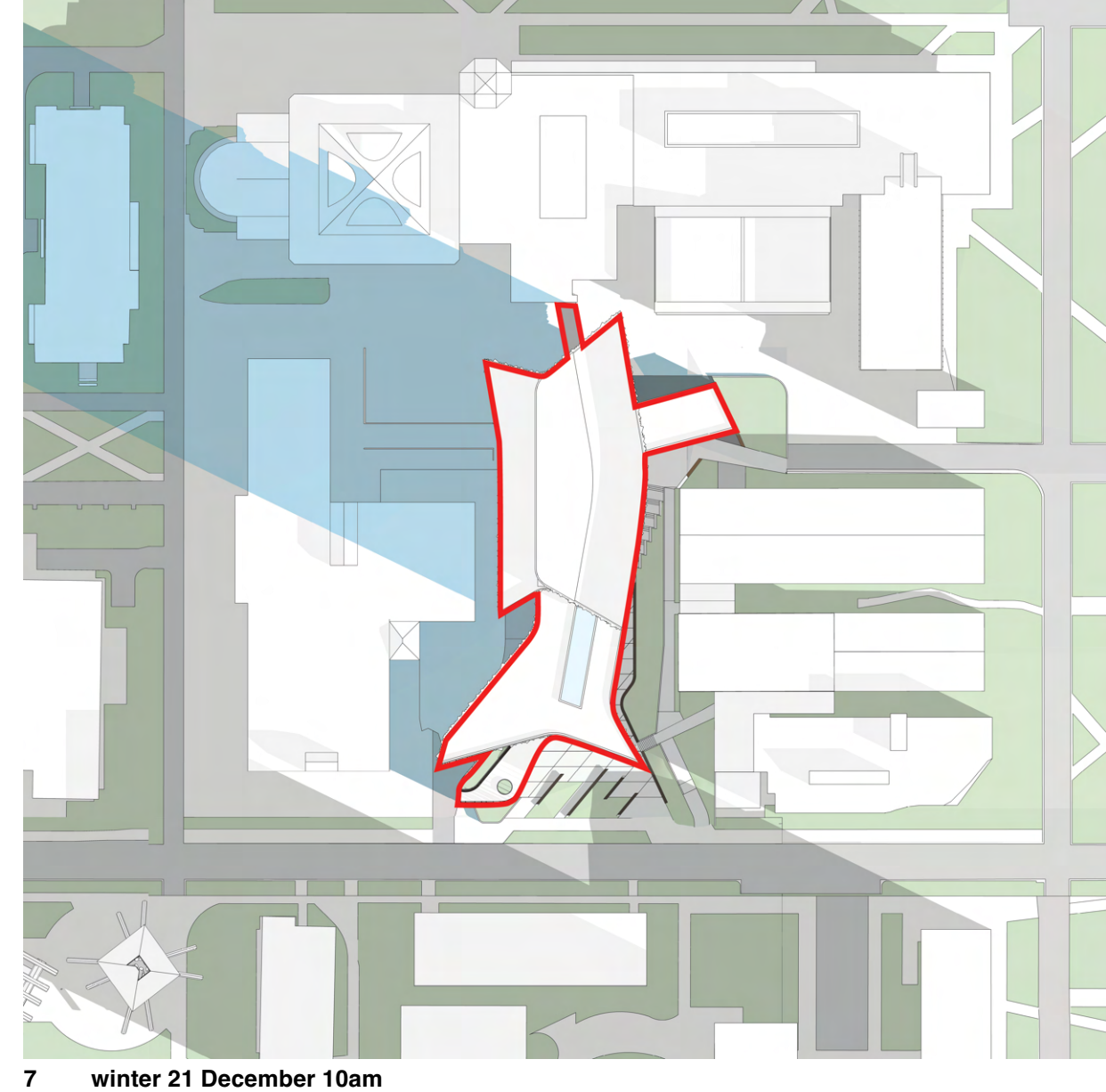
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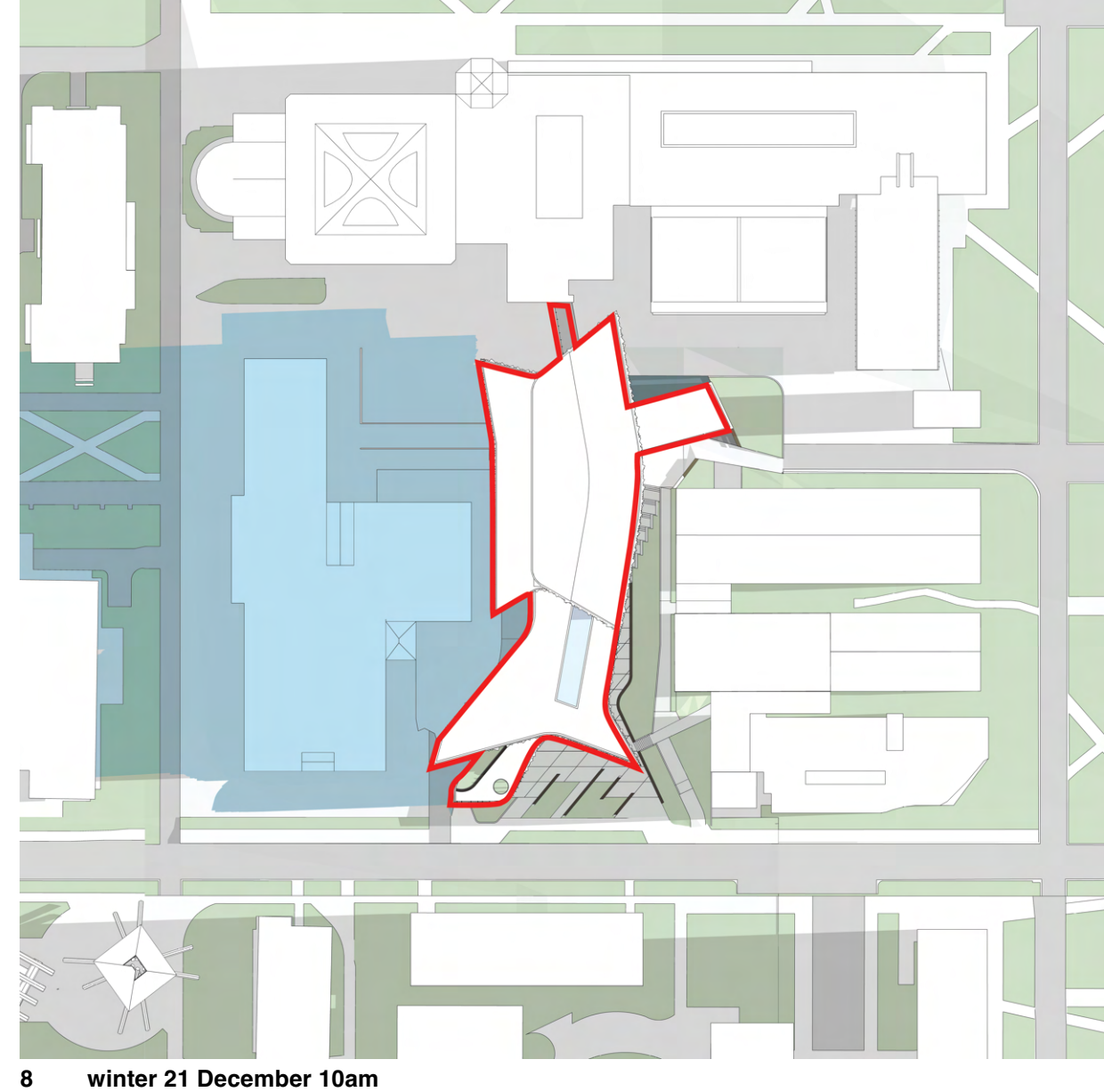
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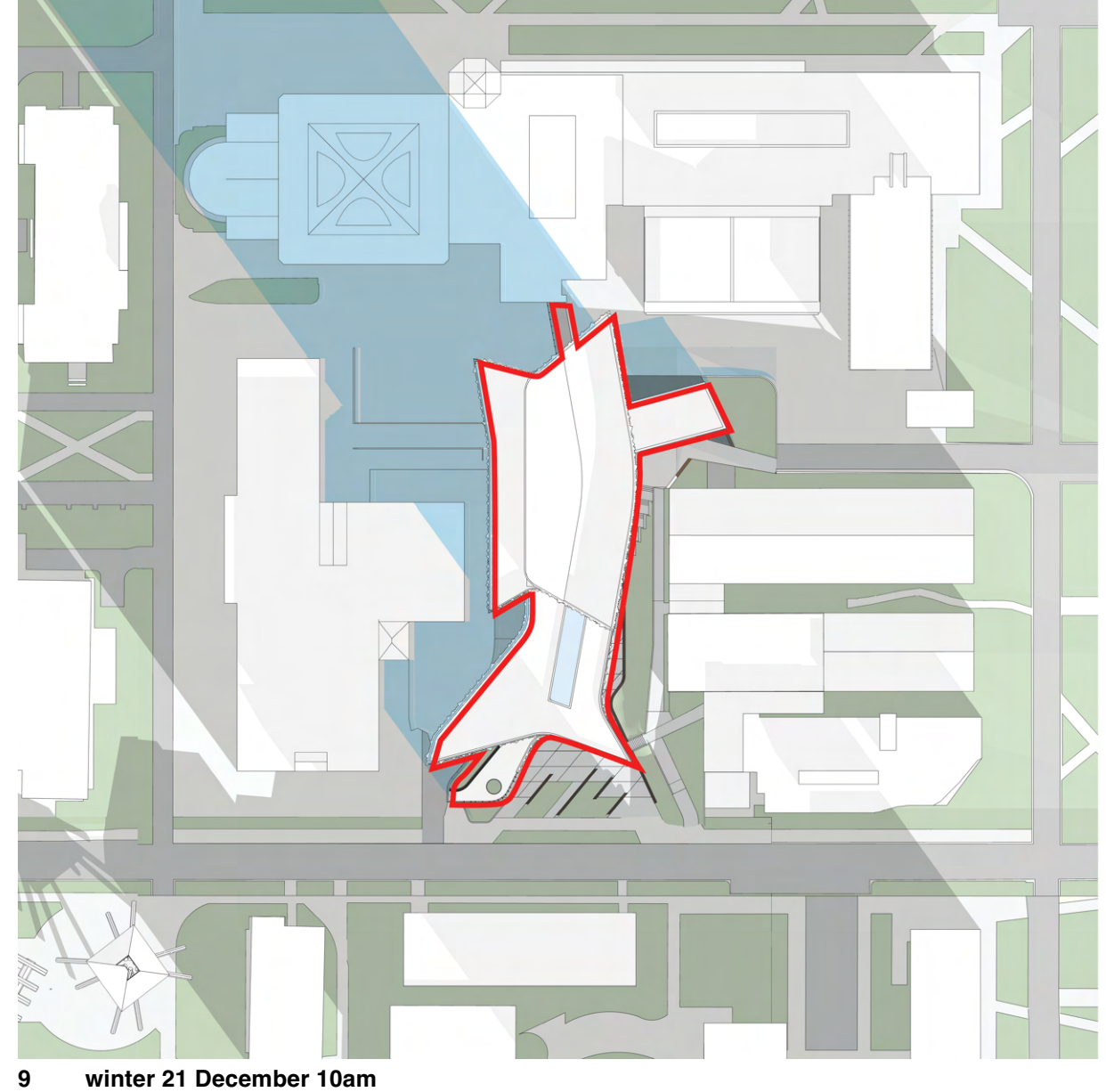
6 summer 21 June 2pm  
1:50



7 winter 21 December 10am  
NTS



8 winter 21 December 10am  
NTS



9 winter 21 December 10am  
NTS

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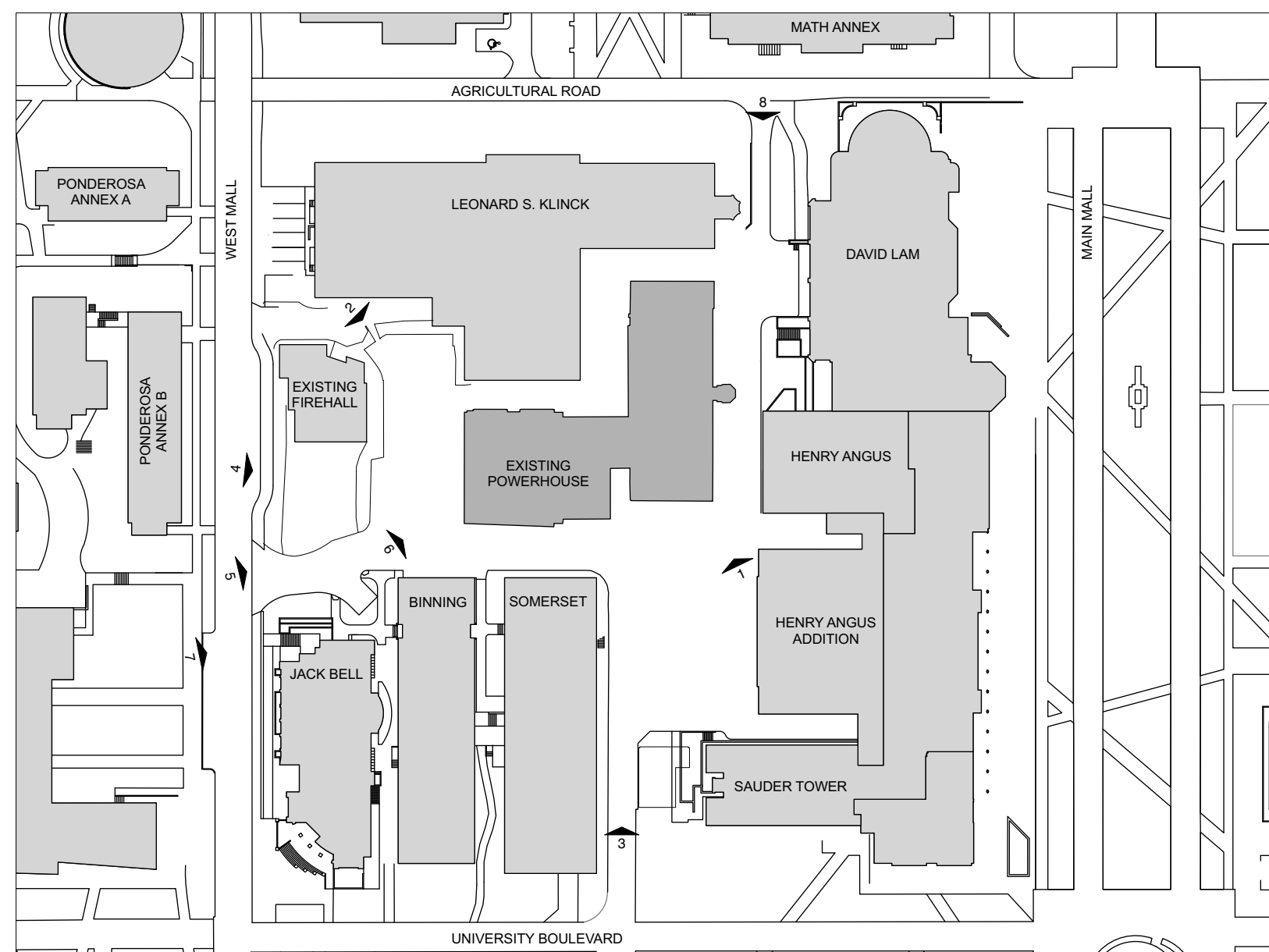
**UBC Sauder School of Business Expansion**

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
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PHX	DD
drawn	checked
SK/GA	AP/GB

**Shadow Analysis**

drawing number  
**A003**



1 site context key plan  
1:1200



2 view of site looking north west from service lane



3 view of site looking east from Klinck loading bay



4 view of site looking north west from University Boulevard



5 view of site looking north east from West Mall



6 view of site looking north east from West Mall



7 view of site looking north east from existing parking lot



8 view of site looking north east from Ponderosa Commons



9 view of site looking south east from Agricultural Road

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2040 West Mall, Vancouver BC

scale	date
-	29 June 2023
project code	status
PHX	DD
drawn	checked
SK/GA	AP/GB

**Site Photographs**

drawing number  
**A004**



**Patkau + Acton Ostry Architects**

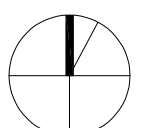
<b>Patkau Architects</b> 1564 W 6 Avenue Vancouver BC Canada V6J 1R2 t 604.683.7633 f 604.683.7634 info@patkau.ca	<b>Acton Ostry Architects</b> 111 E 8 Avenue Vancouver BC Canada V5T 1R8 t 604.739.3344 f 604.739.3355 info@actonostry.ca
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DRAWINGS TO FOLLOW

**UBC Sauder School of Business Expansion**

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:500	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



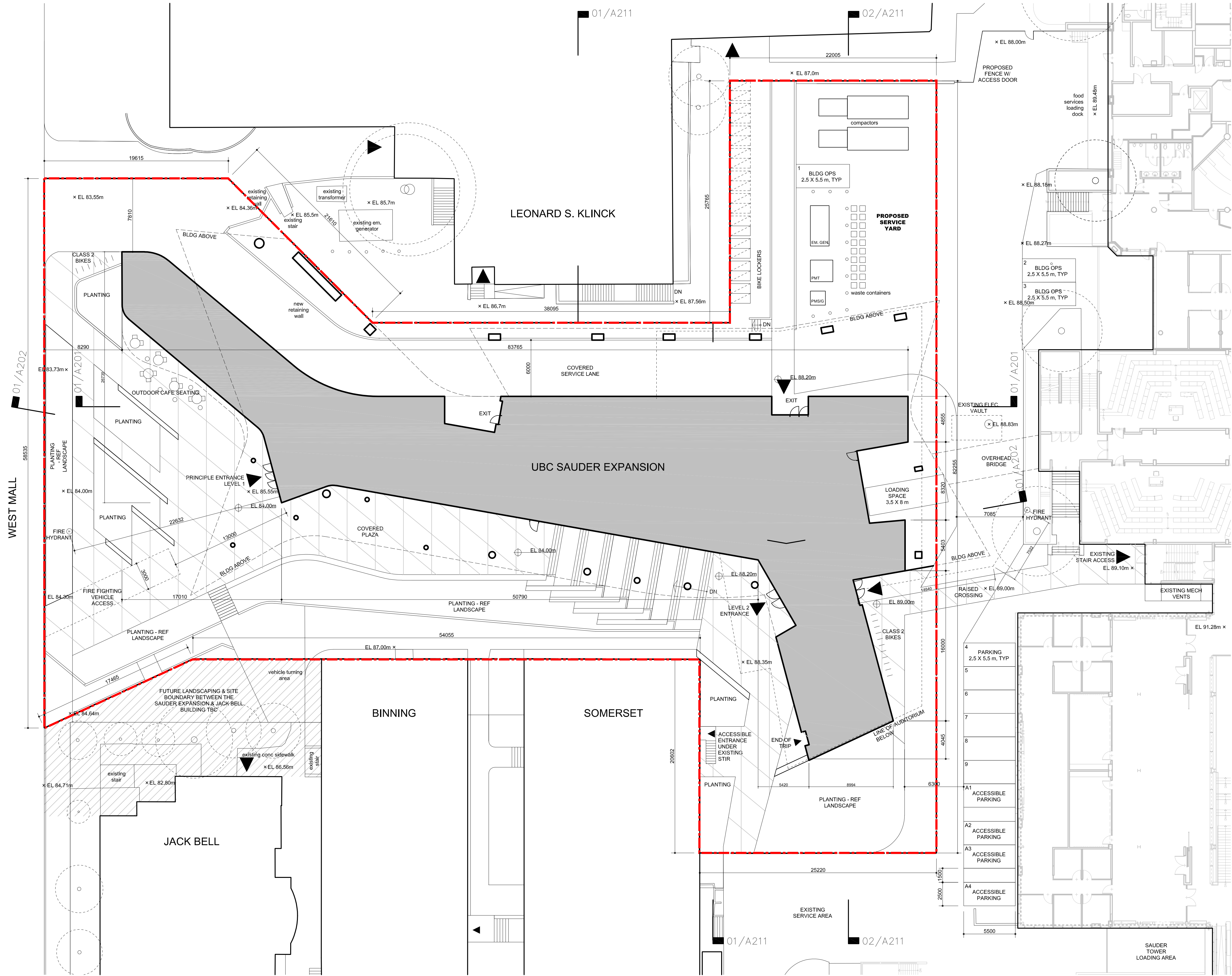
**Context Plan**

drawing number  
**A010**

01/A211 02/A211

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**issues**  
19 May 2023 Issued for Schematic Design  
29 Jun 2023 Issued for Development Permit



**Patkau + Acton Ostry Architects**

**Patkau Architects**  
1564 W 6 Avenue  
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Canada V6J 1R2  
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f 604.683.7634  
info@patkau.ca

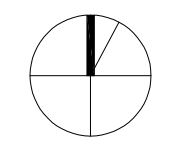
**Acton Ostry Architects**  
111 E 8 Avenue  
Vancouver BC  
Canada V5T 1R8  
t 604.739.3344  
f 604.739.3355  
info@actonostry.ca

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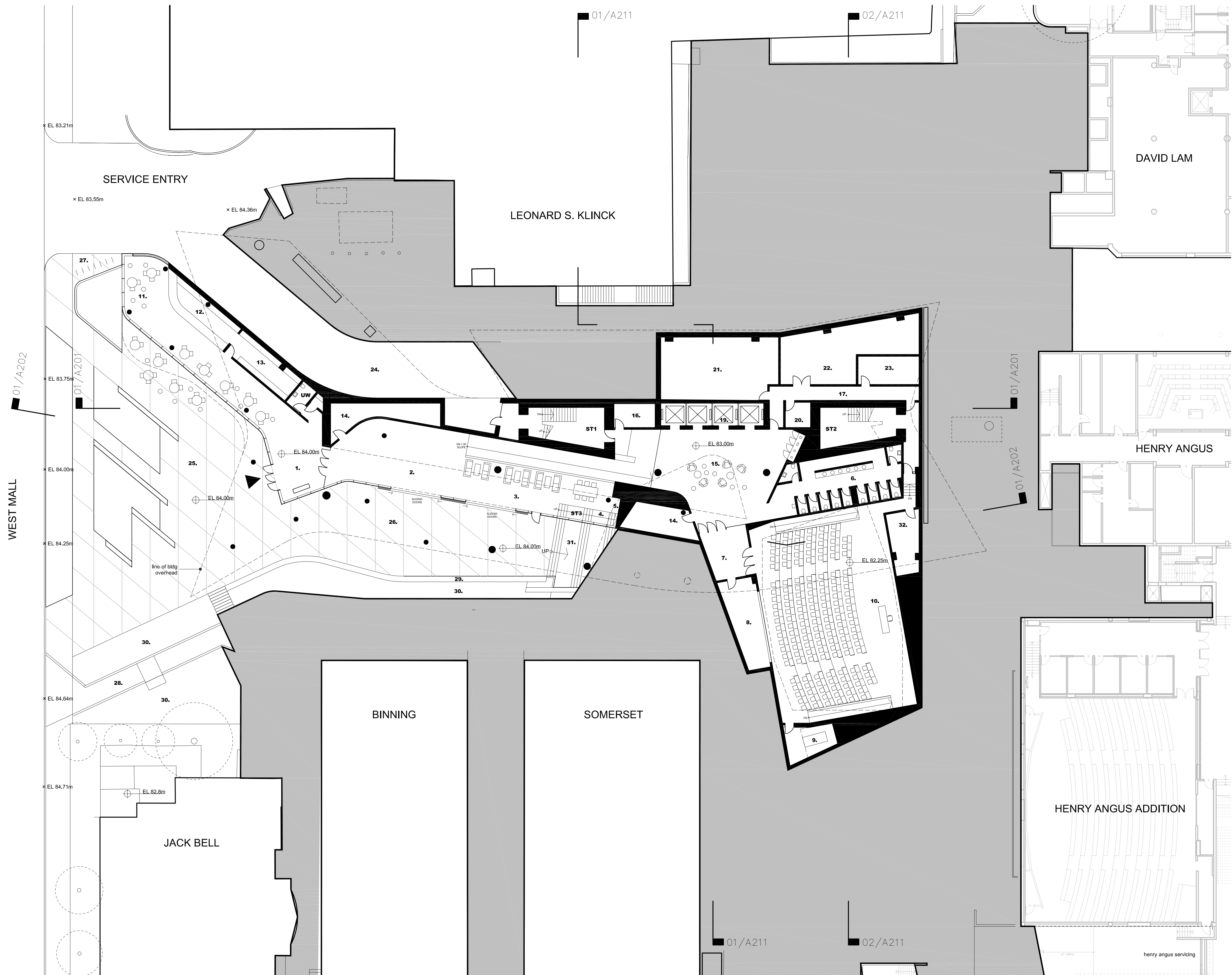
**UBC Sauder School of Business Expansion**

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



**Composite Site Plan**  
drawing number  
**A011**



- KEY**
1. ENTRANCE LOBBY
  2. EVENT SPACE
  3. INFORMAL LEARNING
  4. CONVENIENCE STAIR
  5. INFORMAL LEARNING TERRACE
  6. WASHROOMS
  7. AUDITORIUM VESTIBULE
  8. AUDITORIUM CONTROL ROOM
  9. MECHANICAL SHAFT
  10. AUDITORIUM (150 SEATS)
  11. CAFE SEATING
  12. CAFE SERVERY
  13. FOOD PREP
  14. EVENT SPACE STORAGE
  15. LOBBY SEATING
  16. CUSTODIAL
  17. CORRIDOR
  18. NOT USED
  19. PASSENGER ELEVATOR
  20. SERVICE RM
  21. MECHANICAL RM
  22. MAIN ELECTRICAL RM
  23. MAIN COMMONS RM
  24. COVERED SERVICE LANE
  25. WEST PLAZA
  26. CENTRAL PLAZA
  27. CLASS 2 BIKE PARKING (14 SPACES)
  28. PEDESTRIAN / SERVICE VEHICLE CONNECTION
  29. CONTINUOUS BENCH
  30. SLOPED LANDSCAPING
  31. EXTERIOR STAIR
  32. STORAGE
- issues**
- 19 May 2023 Issued for Schematic Design  
29 Jun 2023 Issued for Development Permit

**Patkau + Acton Ostry Architects**

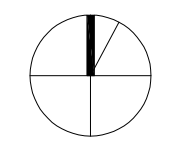
<b>Patkau Architects</b> 1564 W 6 Avenue Vancouver BC Canada V6J 1R2 t 604.683.7633 f 604.683.7634 info@patkau.ca	<b>Acton Ostry Architects</b> 111 E 8 Avenue Vancouver BC Canada V5T 1R8 t 604.739.3344 f 604.739.3355 info@actonostry.ca
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**UBC Sauder School of Business Expansion**

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



**Level 1 Floor Plan**  
drawing number  
**A101**



01/A211

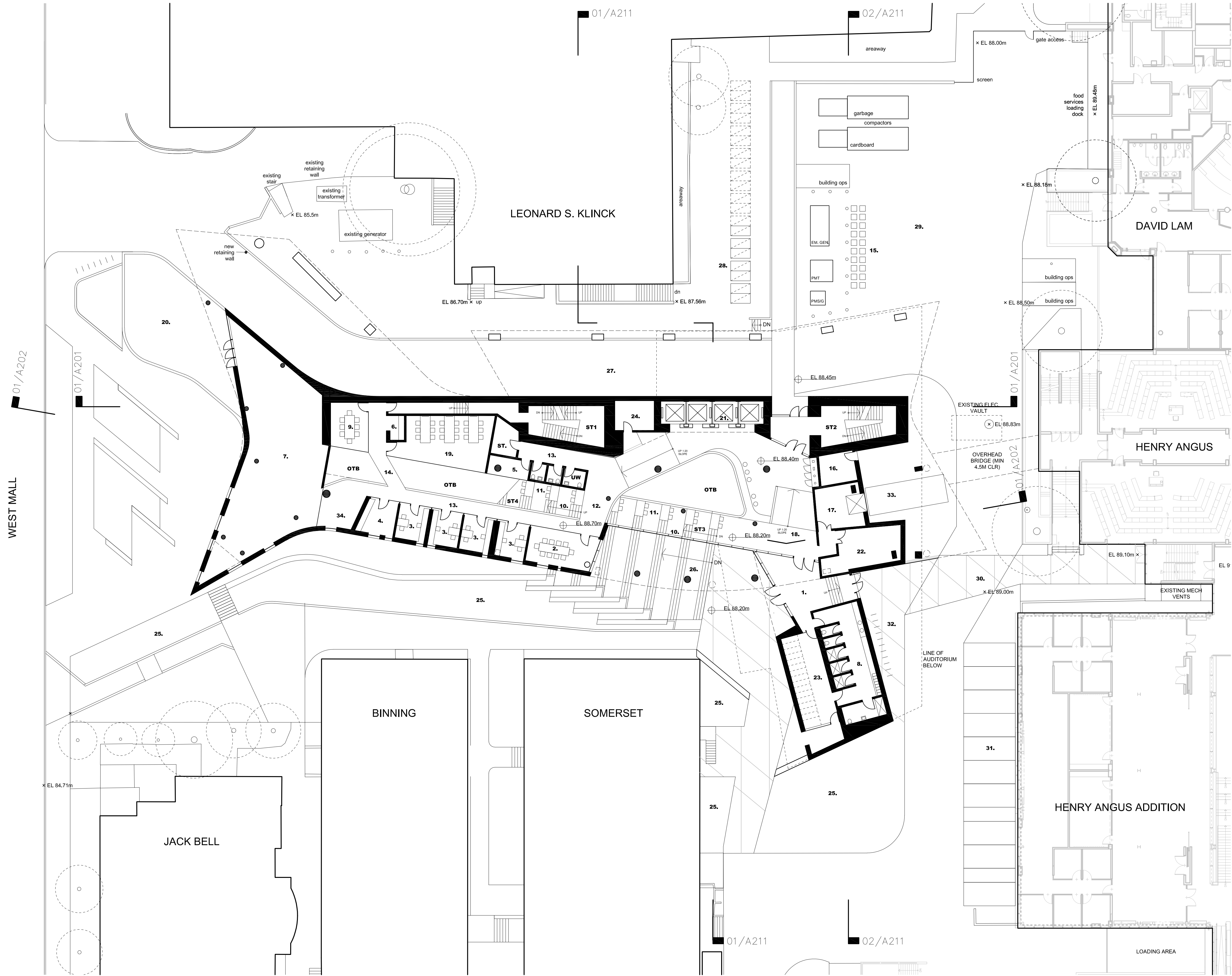
02/A211

KEY

1. VESTIBULE
2. RBC MEETING /
3. RBC OFFICE
4. MULTI-FAITH RM
5. FAMILY RM
6. COPY RM
7. IBC
8. END OF TRIP
9. CLIMATE MULTIMEDIA RM
10. CONVENIENCE STAIR
11. INFORMAL LEARNING TERRACE
12. RBC RECEPTION
13. CORRIDOR
14. BRIDGE
15. WASTE HOLDING
16. ELECTRICAL ROOM
17. SERVICE ENTRY
18. LOBBY
19. CLIMATE LAB
20. IBC OUTDOOR TERRACE
21. PASSENGER ELEVATORS
22. CENTRAL CUSTODIAL
23. INDOOR BIKE STORAGE (32 BIKES)
24. COMMS RM
25. LANDSCAPING (REF LANDSCAPE DWGS)
26. EXTERIOR STAIR
27. COVERED SERVICE LANE
28. EXISTING BIKE STORAGE LOCKERS (14 BIKES)
29. SERVICE YARD
30. RAISED CROSSING
31. CAR PARKING
32. CLASS 2 BIKE PARKING (22 SPACES)
33. SERVICE / LOADING AREA
34. IBC LOUNGE

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**issues**  
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 29 Jun 2023 Issued for Development Permit



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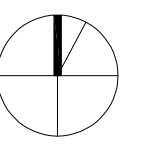
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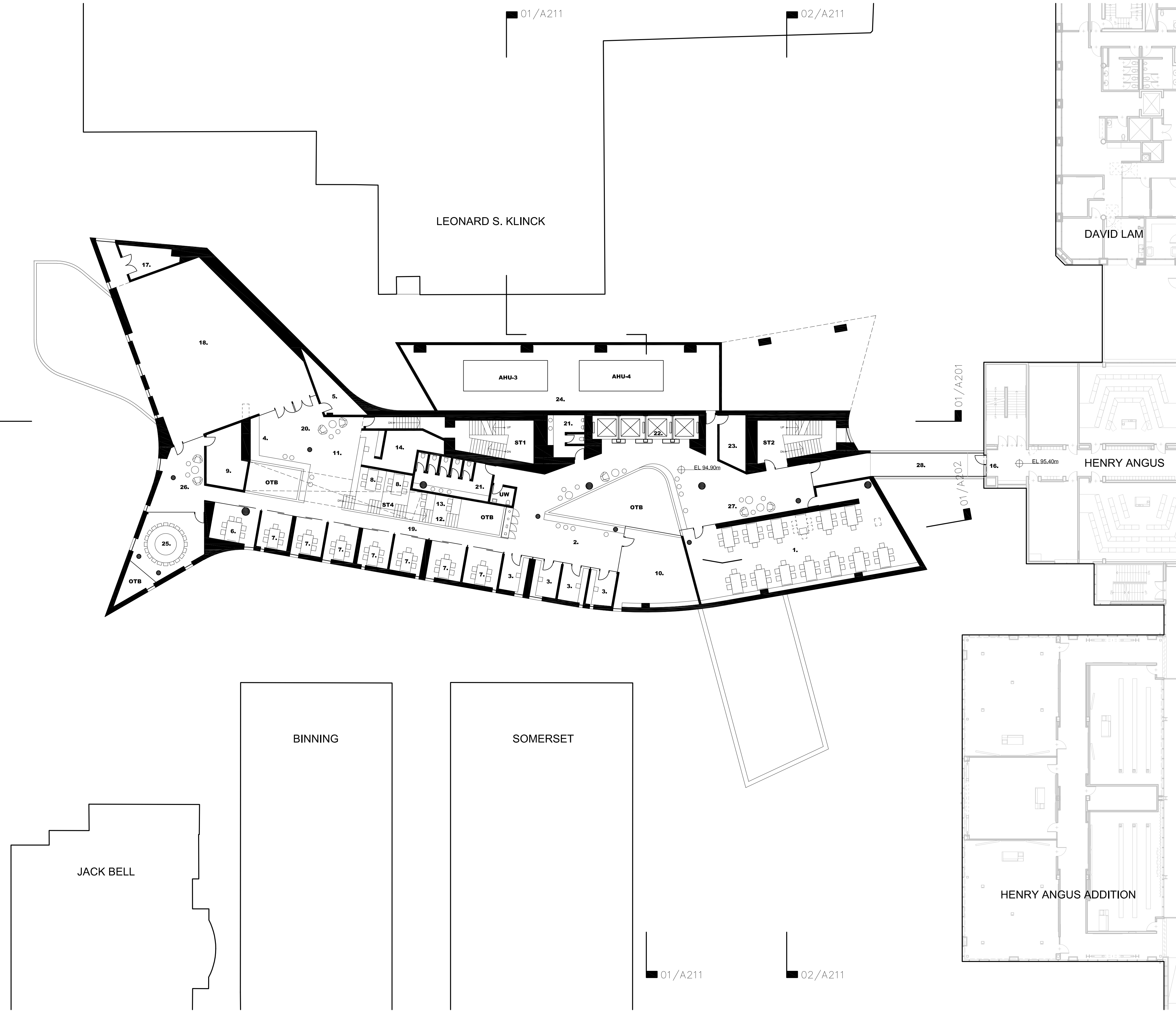
**UBC Sauder School of Business Expansion**

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



**Level 2 Floor Plan**  
drawing number  
**A102**



KEY

1. RHL LEARNING LAB (60 SEATS)
2. IEC RECEPTION
3. IEC OFFICE
4. COPY SPACE
5. CUSTODIAL
6. CDL BREAKOUT RM (6 SEATS)
7. CDL BREAKOUT RM (5 SEATS)
8. CDL BREAKOUT SPACE (4 SEATS)
9. CDL CATERING KITCHEN
10. CDL COLLISION LAB
11. CDL RECEPTION
12. CONVENIENCE STAIR
13. INFORMAL LEARNING TERRACE
14. CDL COAT STORAGE
15. ENCLOSED BRIDGE
16. HENRY ANGUS ENTRY
17. CDL STORAGE
18. CREATIVE DESTRUCTION LAB
19. CORRIDOR
20. CDL LOUNGE
21. WASHROOM
22. PASSENGER ELEVATORS
23. ELECTRICAL RM
24. MECHANICAL ROOF ENCLOSURE
25. SHARED MEETING ROOM
26. SEATING AREA
27. INFORMAL LEARNING AREA
28. BRIDGE

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**issues**  
 19 May 2023 Issued for Schematic Design  
 29 Jun 2023 Issued for Development Permit

**Patkau + Acton Ostry Architects**

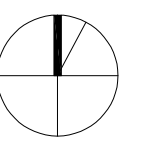
<b>Patkau Architects</b> 1564 W 6 Avenue Vancouver BC Canada V6J 1R2 t 604.683.7633 f 604.683.7634 info@patkau.ca	<b>Acton Ostry Architects</b> 111 E 8 Avenue Vancouver BC Canada V5T 1R8 t 604.739.3344 f 604.739.3355 info@actonostry.ca
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DRAWINGS TO FOLLOW

**UBC Sauder School of Business Expansion**

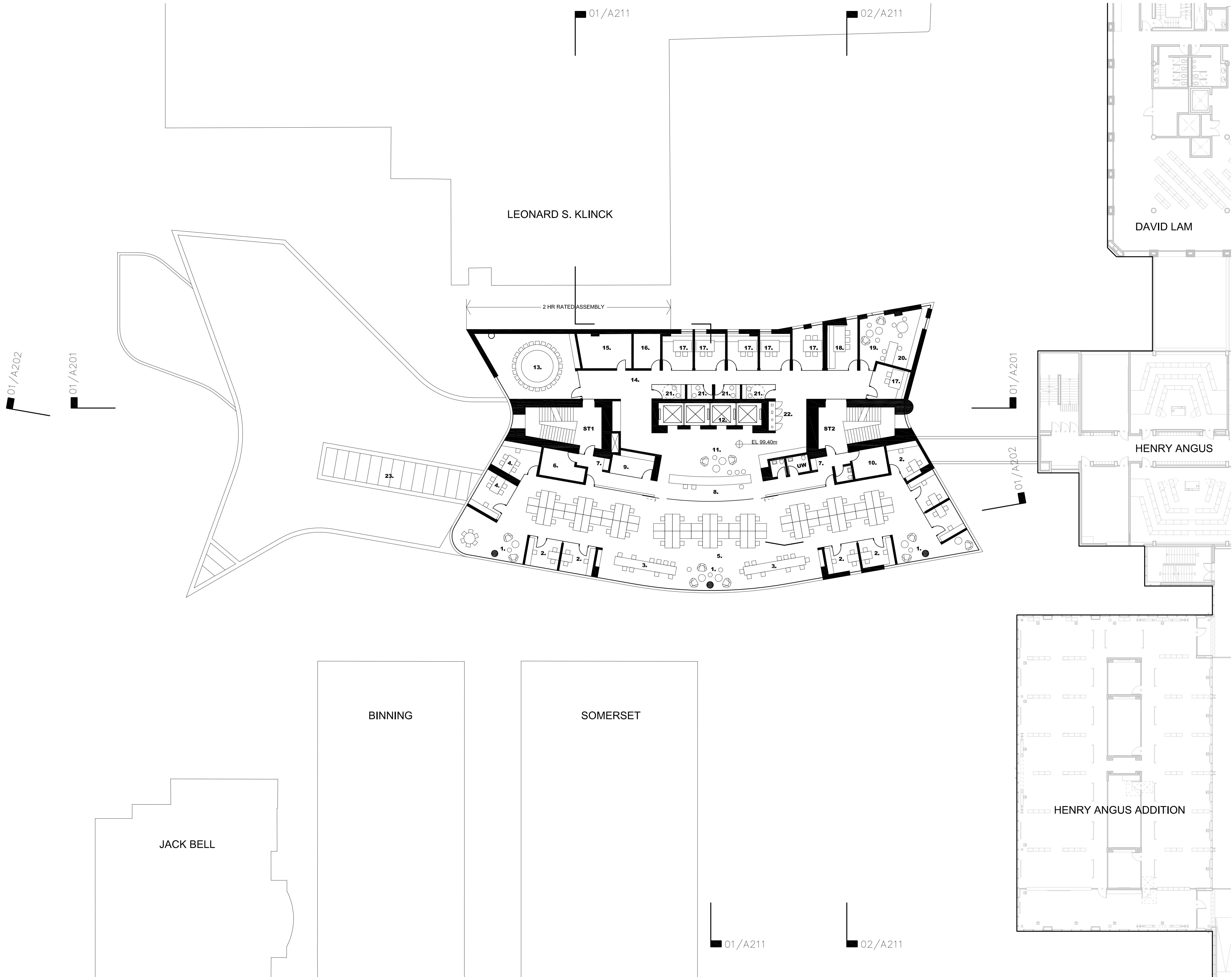
Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



**Level 3 Floor Plan**

drawing number  
**A103**



**KEY**

- 1. INFORMAL MEETING
- 2. OFFICE (10.5 SM)
- 3. HOTELING WORKSTATIONS
- 4. OFFICE (14 SM)
- 5. OPEN OFFICE
- 6. COMMS RM
- 7. COATS
- 8. RHL ADMIN RECEPTION
- 9. WORK RM
- 10. ELECTRICAL RM
- 11. RHL ADMIN SEATING
- 12. PASSENGER ELEVATORS
- 13. RHL ADMIN MEETING RM (24 SEATS)
- 14. CORRIDOR
- 15. STORAGE
- 16. CUSTODIAL RM
- 17. MEETING RM (4 SEATS)
- 18. MEETING ROOM (6 SEATS)
- 19. RHL ADMIN LOUNGE
- 20. RHL ADMIN KITCHEN
- 21. PHONE BOOTH
- 22. WASTE STATION
- 23. SKYLIGHT

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**Issues**

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29 Jun 2023 Issued for Development Permit

**Patkau + Acton Ostry Architects**

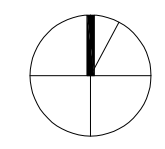
<b>Patkau Architects</b>	<b>Acton Ostry Architects</b>
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**UBC Sauder School of Business Expansion**

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



**Level 4 Floor Plan**

drawing number  
**A104**

KEY

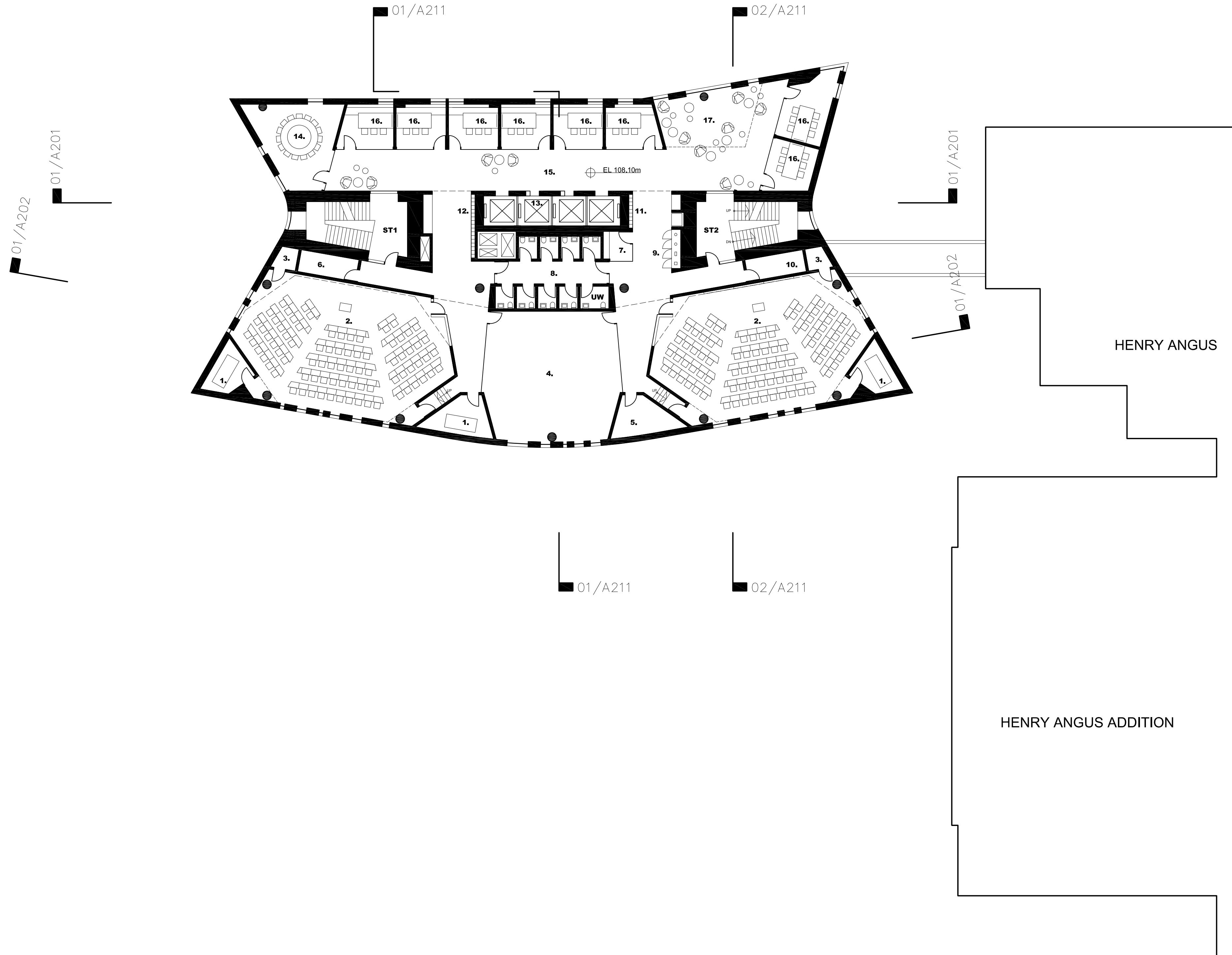
1. MECHANICAL RM
2. TIERED CLASSROOM (80 SEATS)
3. AV CLOSET
4. RHL LOUNGE
5. CUSTODIAL
6. COMMS CLOSET
7. PHONE BOOTH
8. WASHROOMS
9. WASTE STATION
10. ELECTRICAL RM
11. LOCKERS (18)
12. LOCKERS (34)
13. PASSENGER ELEVATORS
14. SEMINAR RM
15. CORRIDOR
16. BREAKOUT RM (6 SEATS)
17. LOUNGE

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Issues

19 May 2023 Issued for Schematic Design  
29 Jun 2023 Issued for Development Permit

DAVID LAM



HENRY ANGUS

HENRY ANGUS ADDITION

Patkau + Acton Ostry Architects

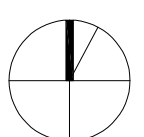
<b>Patkau Architects</b> 1564 W 6 Avenue Vancouver BC Canada V6J 1R2 t 604.683.7633 f 604.683.7634 info@patkau.ca	<b>Acton Ostry Architects</b> 111 E 8 Avenue Vancouver BC Canada V5T 1R8 t 604.739.3344 f 604.739.3355 info@actonostry.ca
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UBC Sauder School of Business Expansion

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



Level 5 Floor Plan

drawing number

A105

KEY

1. MECHANICAL RM
2. TIERED CLASSROOM (81 SEATS)
3. AV CLOSET
4. CLASSROOM (50 SEATS)
5. CUSTODIAL
6. COMMS CLOSET
7. PHONE BOOTH
8. WASHROOMS
9. WASTE STATION
10. ELECTRICAL RM
11. LOCKERS (18)
12. LOCKERS (34)
13. PASSENGER ELEVATORS
14. RECORDING STUDIO / POST PRODUCTION / CONTROL RM
15. CORRIDOR
16. BREAKOUT RM (6 SEATS)
17. LOUNGE

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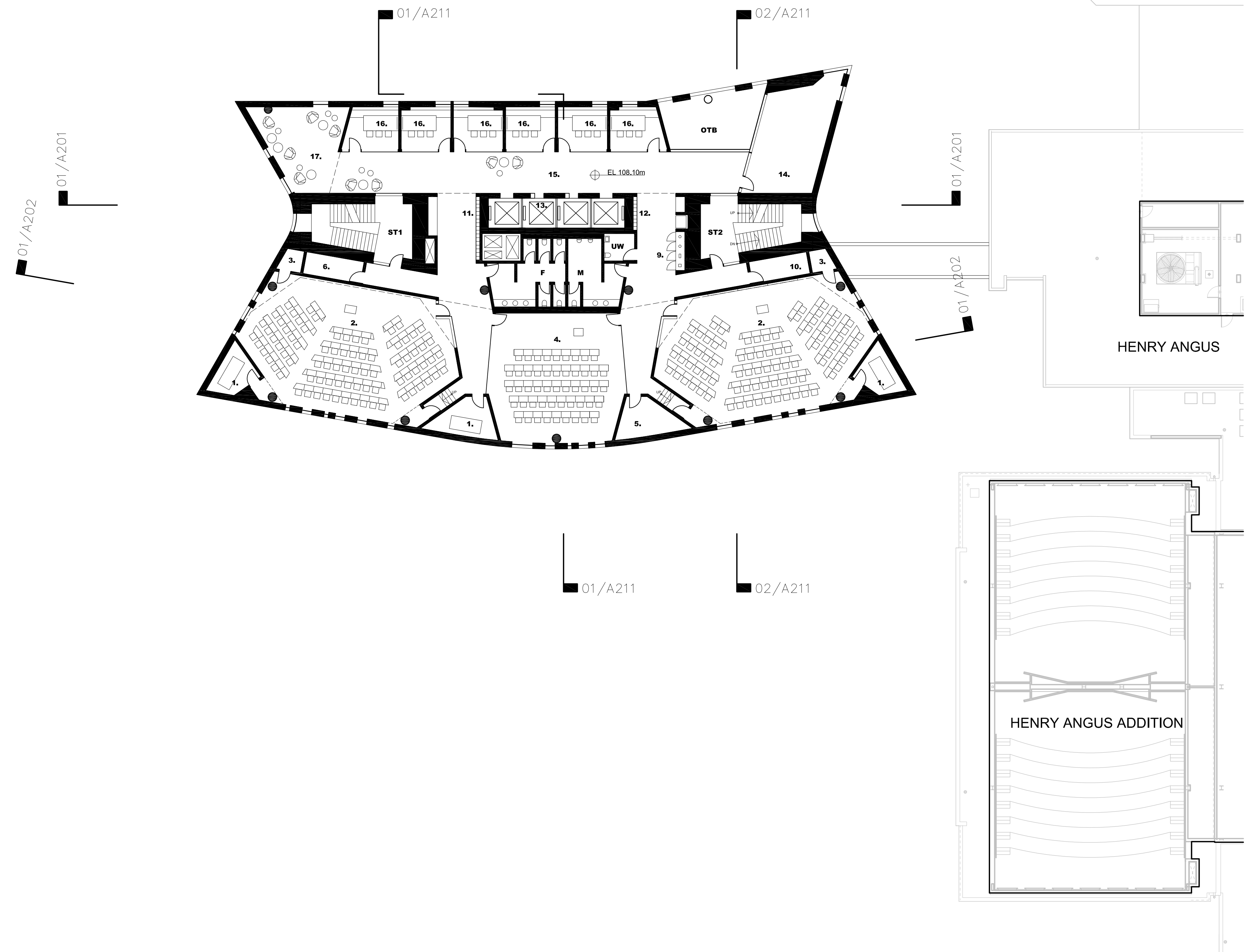
**issues**

19 May 2023 Issued for Schematic Design  
29 Jun 2023 Issued for Development Permit

DAVID LAM

HENRY ANGUS

HENRY ANGUS ADDITION



**Patkau + Acton Ostry Architects**

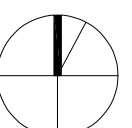
<b>Patkau Architects</b> 1564 W 6 Avenue Vancouver BC Canada V6J 1R2 t 604.683.7633 f 604.683.7634 info@patkau.ca	<b>Acton Ostry Architects</b> 111 E 8 Avenue Vancouver BC Canada V5T 1R8 t 604.739.3344 f 604.739.3355 info@actonostry.ca
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**UBC Sauder School of Business Expansion**

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



**Level 6 Floor Plan**

drawing number  
**A106**

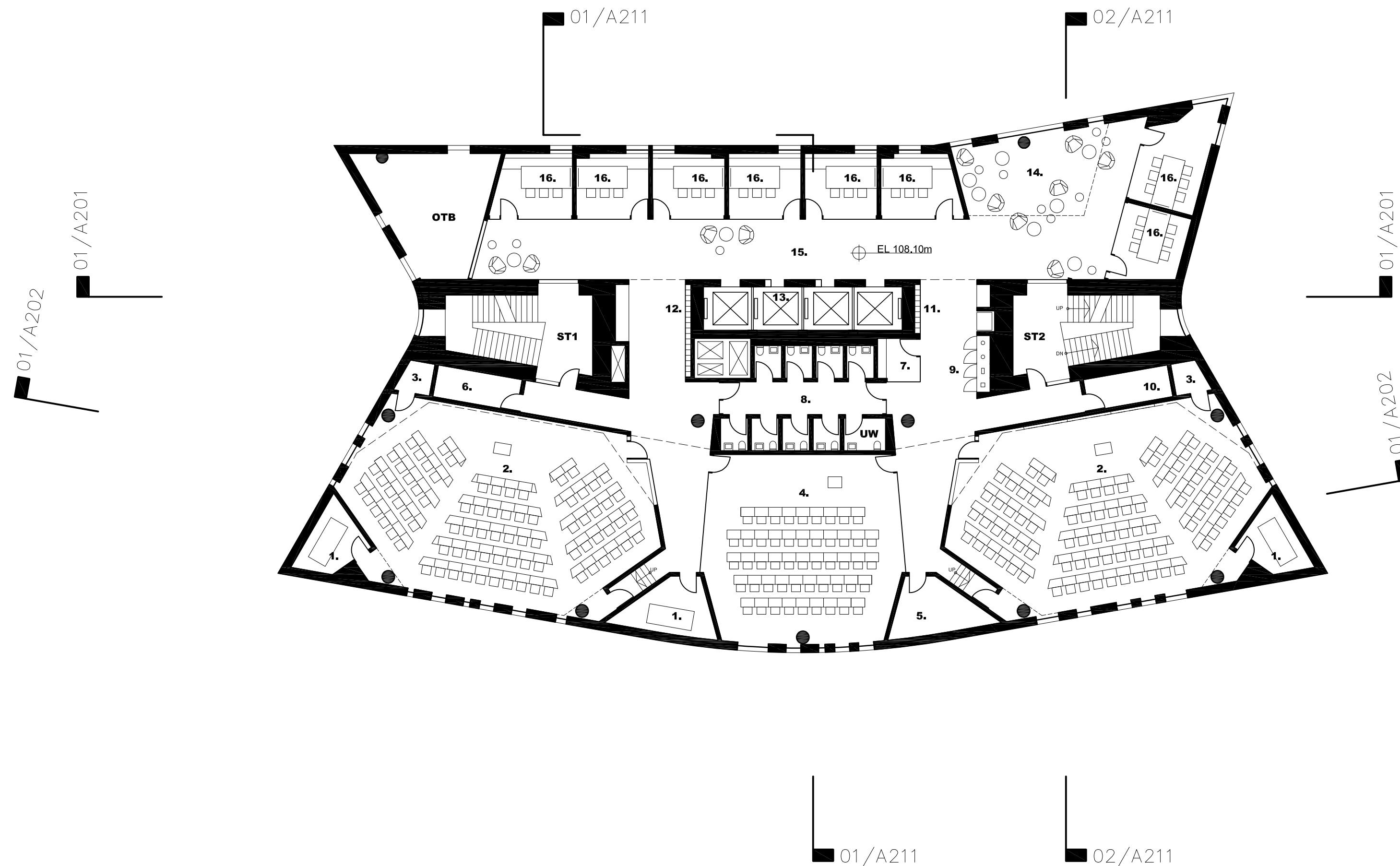
KEY

1. MECHANICAL RM
2. TIERED CLASSROOM (80 SEATS)
3. AV CLOSET
4. CLASSROOM (50 SEATS)
5. CUSTODIAL
6. COMMS CLOSET
7. PHONE BOOTH
8. WASHROOMS
9. WASTE STATION
10. ELECTRICAL RM
11. LOCKERS (18)
12. LOCKERS (34)
13. PASSENGER ELEVATORS
14. LOUNGE
15. CORRIDOR
16. BREAKOUT RM (6 SEATS)

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ISSUES

19 May 2023 Issued for Schematic Design  
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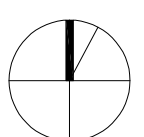
<b>Patkau Architects</b>	<b>Acton Ostry Architects</b>
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DRAWINGS TO FOLLOW

UBC Sauder School of Business Expansion

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



Level 7 Floor Plan

drawing number  
A107

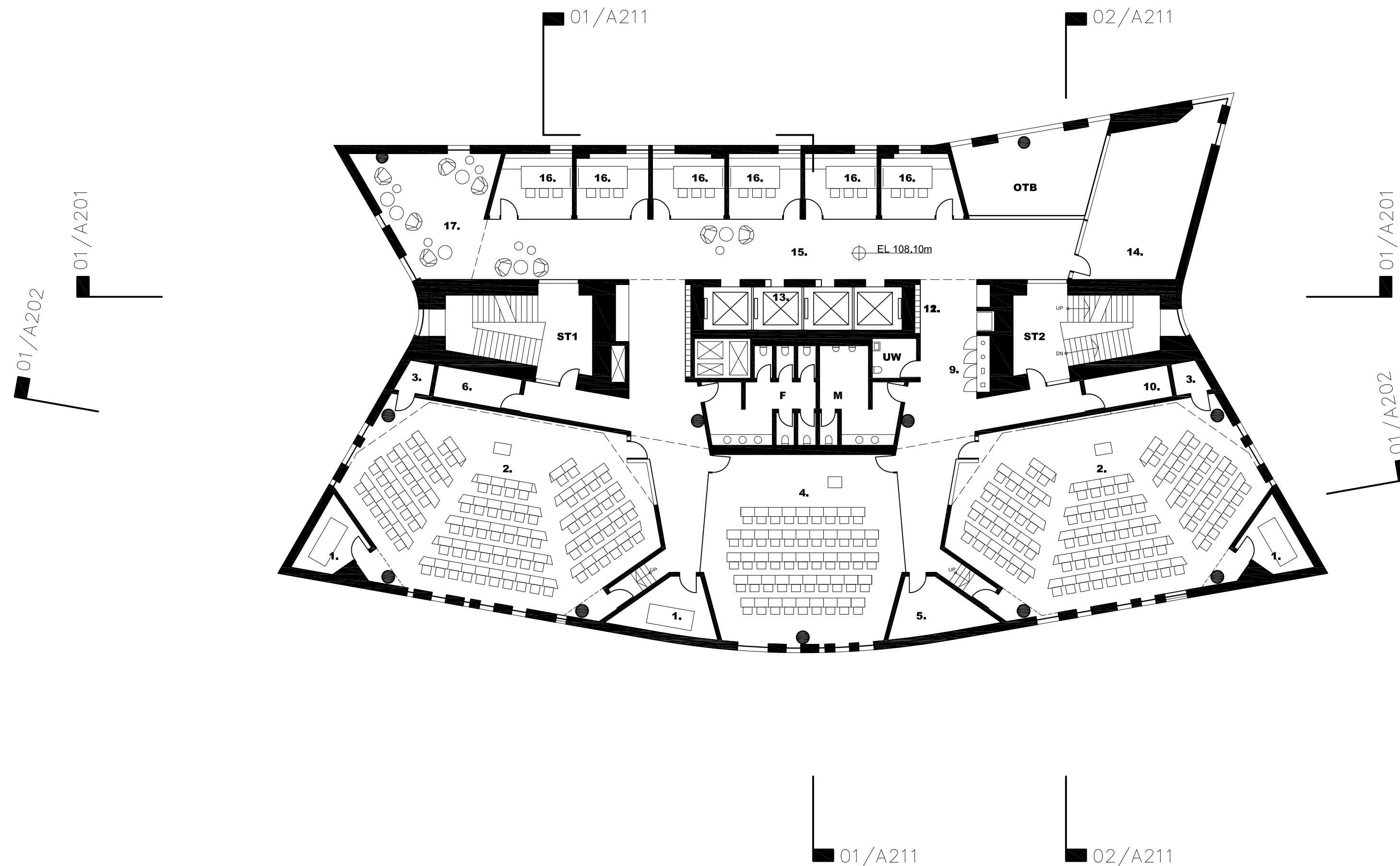
KEY

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2. TIERED CLASSROOM (81 SEATS)
3. AV CLOSET
4. CLASSROOM (50 SEATS)
5. CUSTODIAL
6. COMMS CLOSET
7. PHONE BOOTH
8. WASHROOMS
9. WASTE STATION
10. ELECTRICAL RM
11. LOCKERS (18)
12. LOCKERS (34)
13. PASSENGER ELEVATORS
14. FINANCE LAB
15. CORRIDOR
16. BREAKOUT RM (6 SEATS)
17. LOUNGE

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ISSUES

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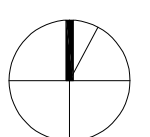
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1564 W 6 Avenue Vancouver BC Canada V6J 1R2 t 604.683.7633 f 604.683.7634 info@patkau.ca	111 E 8 Avenue Vancouver BC Canada V5T 1R8 t 604.739.3344 f 604.739.3355 info@actonostry.ca

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DRAWINGS TO FOLLOW

UBC Sauder School of Business Expansion

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



Level 8 Floor Plan

drawing number  
A108

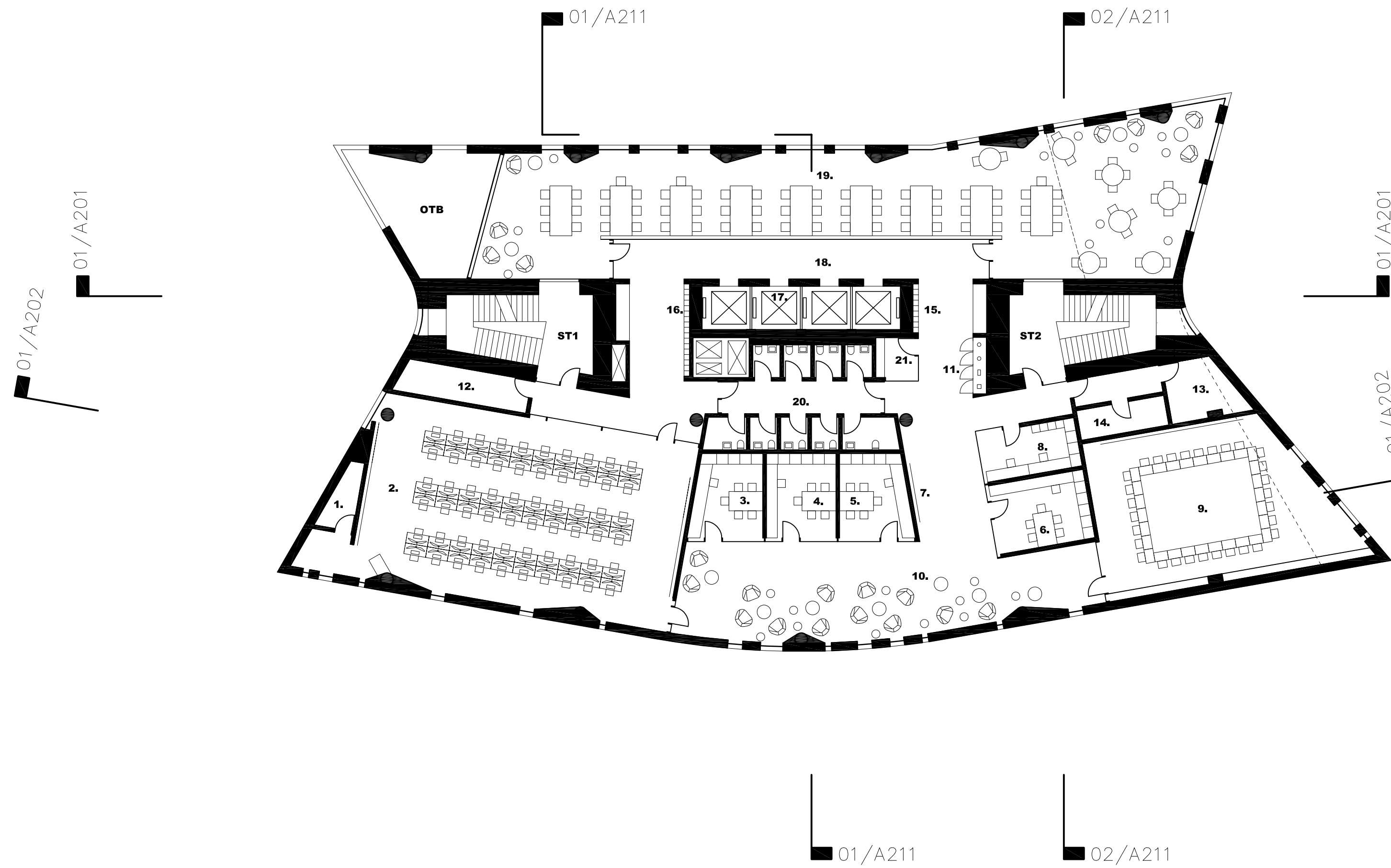
KEY

1. SERVER RM
2. FINANCE LAB
3. HOME BASE SIF
4. HOME BASE SWIFT
5. HOME BASE PMF
6. HOME BASE FUTURE GROWTH
7. DISPLAY
8. ELF STAFF
9. MULTIPURPOSE RM
10. LOUNGE & INFORMAL LEARNING SPACE
11. WASTE STATION
12. COMMS RM
13. ELECTRICAL RM
14. CUSTODIAL
15. LOCKERS (18)
16. LOCKERS (34)
17. PASSENGER ELEVATORS
18. CORRIDOR
19. QUIET LEARNING (100 SEATS)
20. WASHROOMS
21. PHONE BOOTH

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Issues

29 Jun 2023 Issued for Development Permit  
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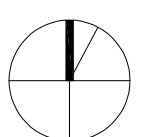
<b>Patkau Architects</b>	<b>Acton Ostry Architects</b>
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DRAWINGS TO FOLLOW

UBC Sauder School of Business Expansion

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	GB/AP



Level 9 Floor Plan

drawing number  
A109



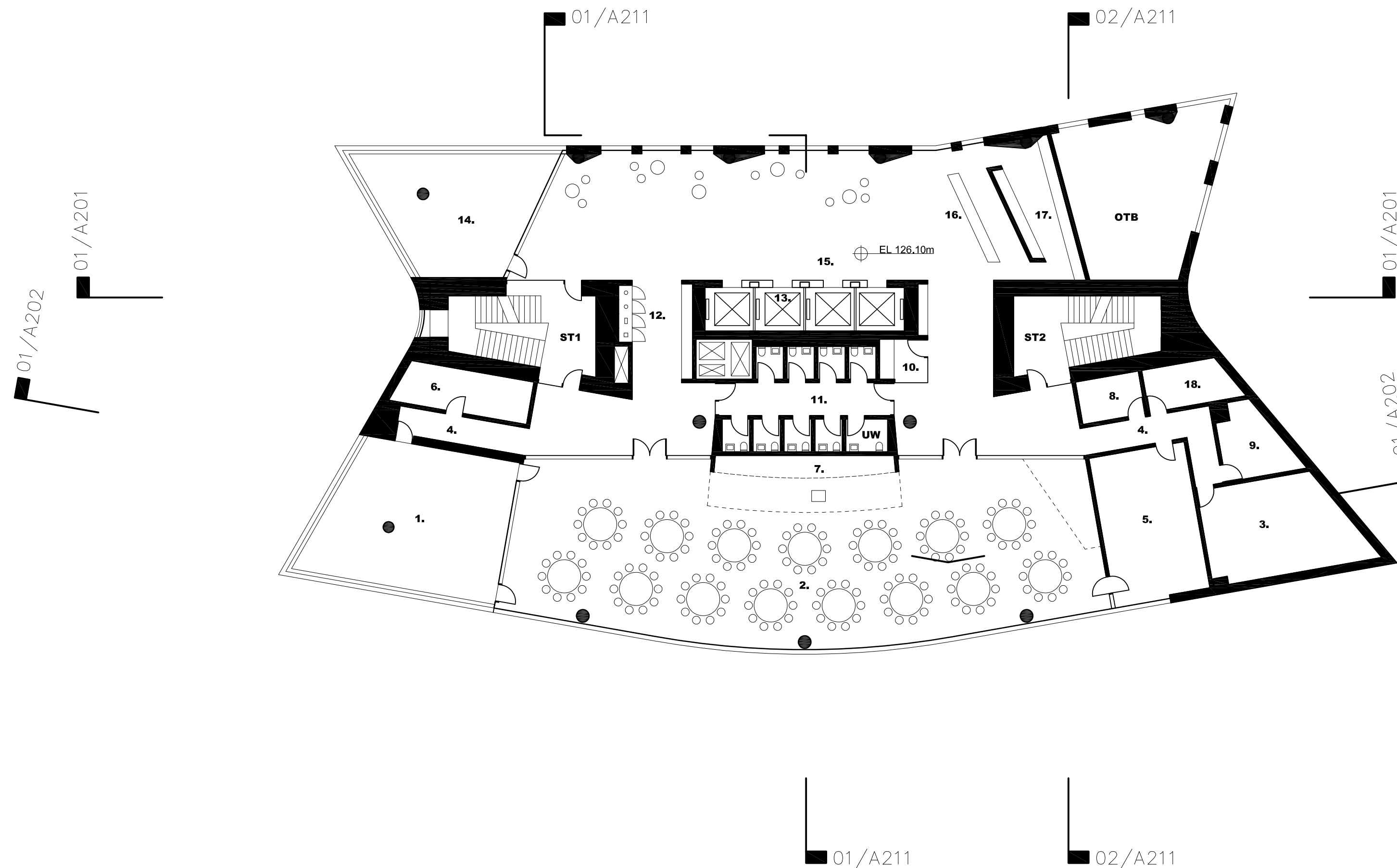
KEY

1. EVENT TERRACE (150 PEOPLE)
2. UPPER EVENT SPACE (150 SEATS)
3. EVENT SPACE STORAGE
4. CORRIDOR
5. CATERING KITCHEN
6. COMMS RM
7. STAGE
8. ELECTRICAL RM
9. CUSTODIAL
10. PHONE BOOTH
11. WASHROOMS
12. WASTE STATION
13. PASSENGER ELEVATORS
14. EVENT TERRACE (50 PEOPLE)
15. PRE EVENT SPACE
16. RECEPTION
17. COAT STORAGE
18. EVENT SPACE CTRL RM

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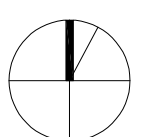
<b>Patkau Architects</b> 1564 W 6 Avenue Vancouver BC Canada V6J 1R2 t 604.683.7633 f 604.683.7634 info@patkau.ca	<b>Acton Ostry Architects</b> 111 E 8 Avenue Vancouver BC Canada V5T 1R8 t 604.739.3344 f 604.739.3355 info@actonostry.ca
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SIGNED & SEALED  
DRAWINGS TO FOLLOW

UBC Sauder School of Business Expansion

Sauder School of Business  
2040 West Mall, Vancouver BC

scale	date
1:200	19 May 2023
project code	status
PHX	SD
drawn	checked
MG/SK	AP



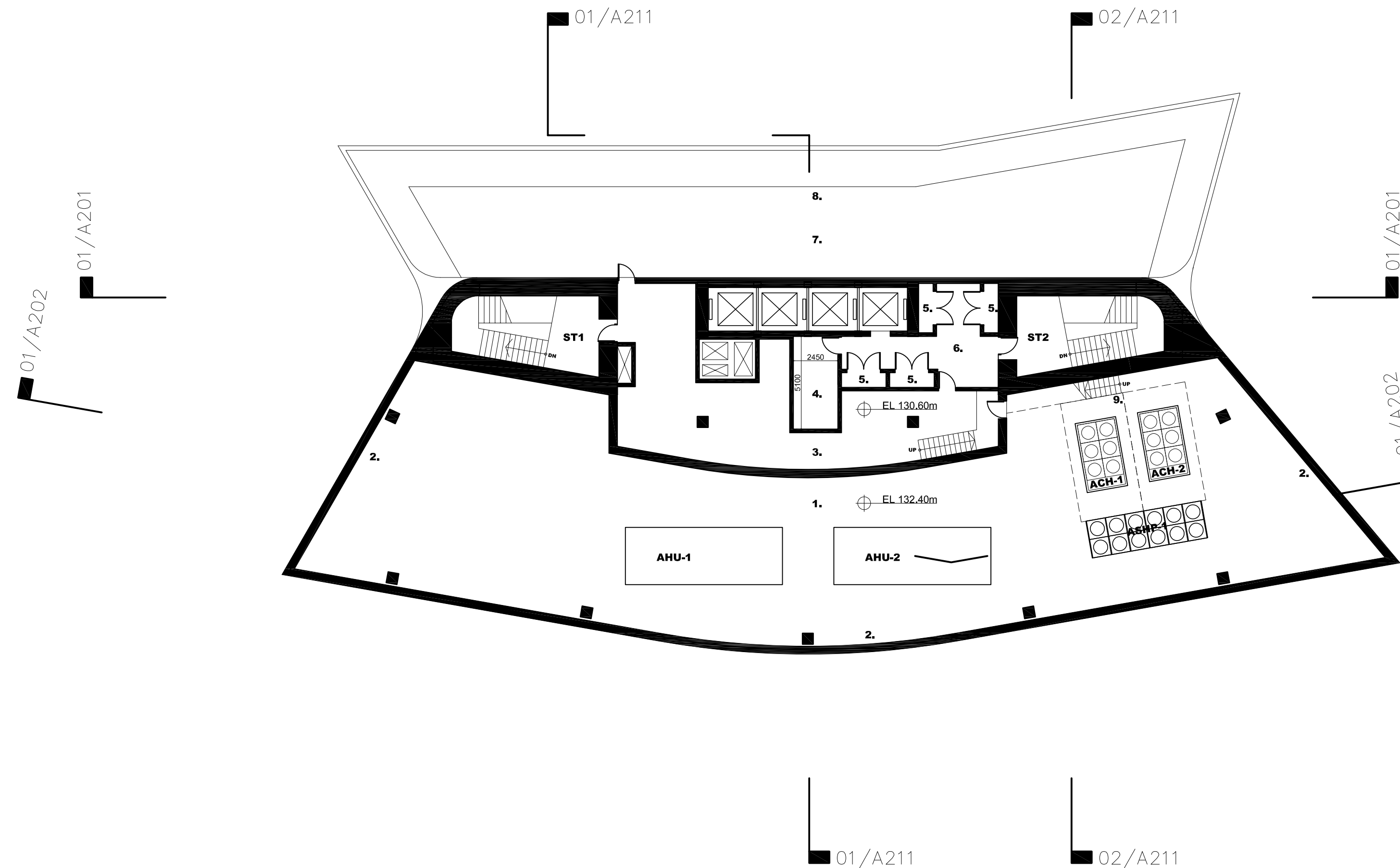
KEY

1. MECHANICAL ROOF ENCLOSURE
2. SCREEN
3. MECHANICAL RM
4. ELEVATOR CTRL RM
5. ELEVATOR LOBBY
6. ELEVATOR CTRL CLOSET
7. ROOF
8. GUARD RAIL
9. EXTERIOR STAIR

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Issues

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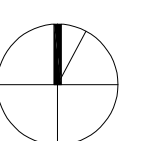
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Level 11 Floor Plan

drawing number

A111

01/A211

02/A211

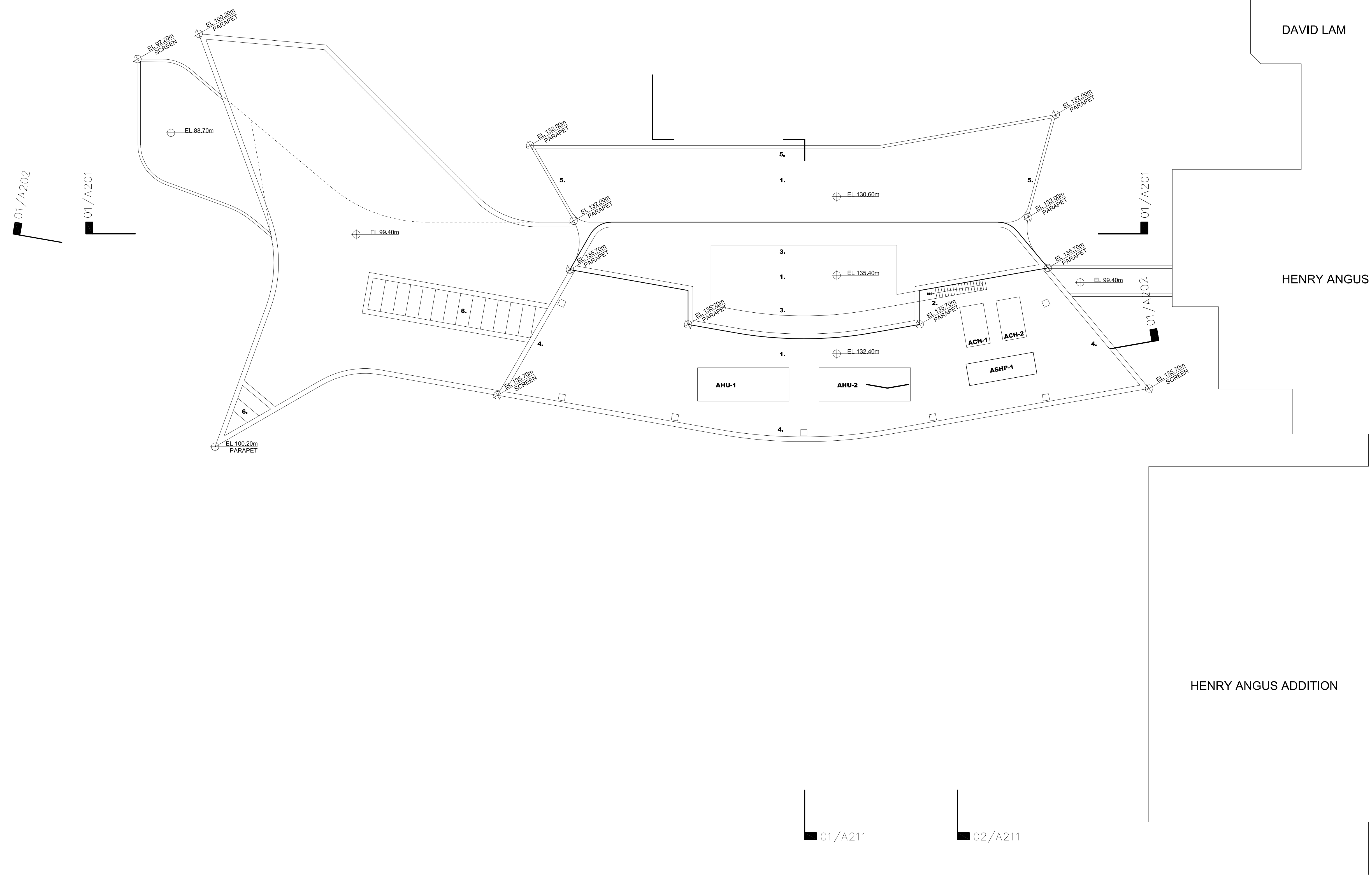
KEY

- 1. ROOF
- 2. EXTERIOR STAIR
- 3. GUARD RAIL
- 4. SCREEN
- 5. GUARD HEIGHT PARAPET
- 6. SKYLIGHT

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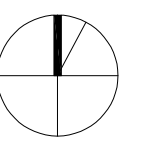
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KEY

1. CAFE
2. INFORMAL LEARNING AND EVENT SPACE
3. WASHROOMS
4. AUDITORIUM CTRL RM
5. AUDITORIUM (150 SEATS)
6. IBC
7. BRIDGE
8. CONVENIENCE STAIR
9. LOBBY
10. END OF TRIP
11. CENTRAL CUSTODIAL
12. CDL COLLISION LAB
13. CDL RECEPTION
14. ELF CLASSROOM
15. ELF LOUNGE
16. ELF FINANCE LAB
17. BRIDGE
18. OFFICE
19. OPEN OFFICE
20. TIERED CLASSROOM (80 SEATS)
21. CLASSROOM (50 SEATS)
22. MECHANICAL
23. COLLABORATION LAB
24. LOUNGE
25. EVENTS TERRACE (150 PEOPLE)
26. UPPER EVENT SPACE (150 SEATS)
27. STORAGE
28. CATERING KITCHEN
29. MECHANICAL ROOF ENCLOSURE
30. SKYLIGHT
31. IEC LOUNGE
32. CDL LOUNGE

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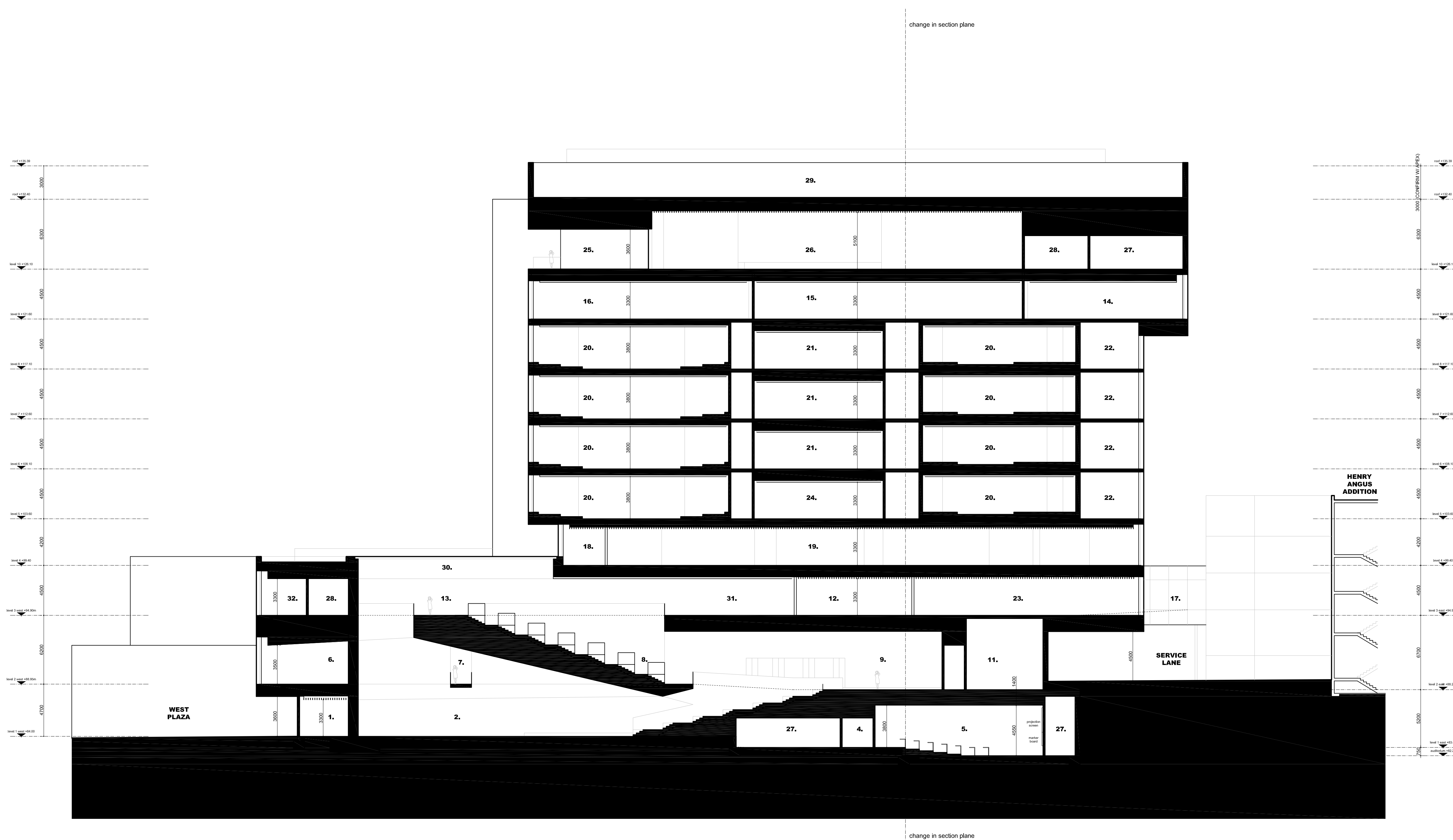
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Building Section

drawing number  
A202



01 E-W Section Through Podium  
A202

KEY

1. MAIN ELECTRICAL RM
2. CENTRAL CUSTODIAL
3. AUDITORIUM (150 SEATS)
4. COVERED SERVICE LANE
5. SERVICE ENTRY
6. END OF TRIP
7. VESTIBULE
8. SKYLIGHT
9. COVERED BIKE STORAGE
10. NOT USED
11. COLLISION LAB
12. ADMIN LOUNGE
13. CORRIDOR
14. COATS
15. OPEN OFFICE
16. OFFICE
17. LOUNGE
18. CORRIDOR
19. TIERED CLASSROOM (80 SEATS)
20. QUIET STUDY (100 SEATS)
21. INFORMAL LEARNING
22. ELF MULTIPURPOSE RM
23. UPPER EVENT SPACE
24. MECHANICAL ROOF ENCLOSURE
25. SCREEN
26. MECHANICAL RM
27. PASSENGER ELEVATORS
28. INFORMAL LEARNING
29. WASHROOMS
30. ELEVATOR LOBBY
31. CONVENIENCE STAIR / INFORMAL LEARNING TERRACE
32. LEARNING LAB
33. MEETING RM
34. ADMIN LOBBY / RECEPTION
35. BREAKOUT RM (6 SEATS)
36. CLASSROOM (50 SEATS)
37. FIRE EVENT SPACE
38. ELEVATOR CONTROL RM

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02 N-S Section Through East Stair  
A211



01 N-S Section Through Elevator Shaft  
A211

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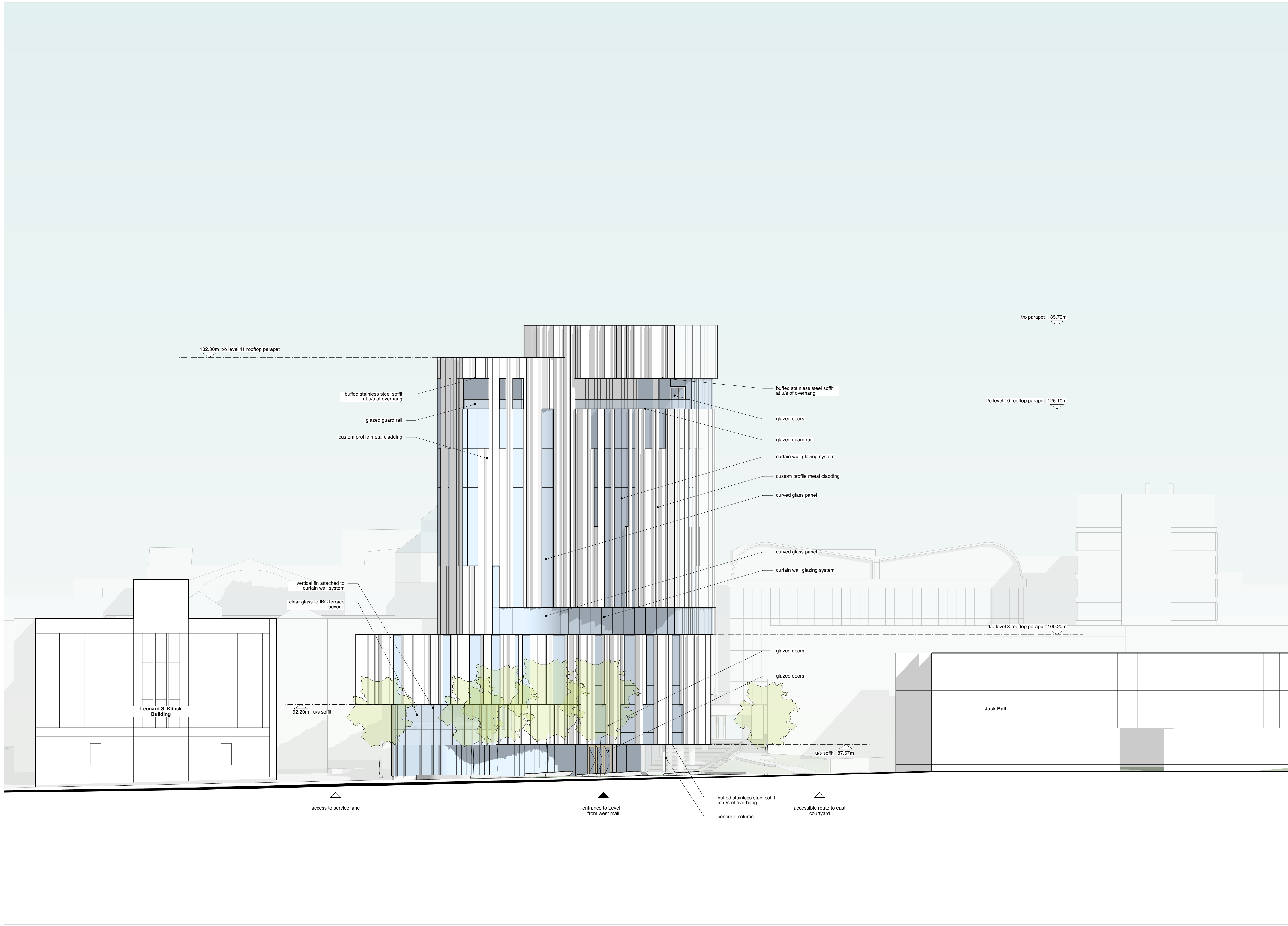
Building Section

drawing number  
A211

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**Elevation - West**

drawing number  
**A301**

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**Elevation - South**

drawing number  
**A302**

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**Elevation - East**

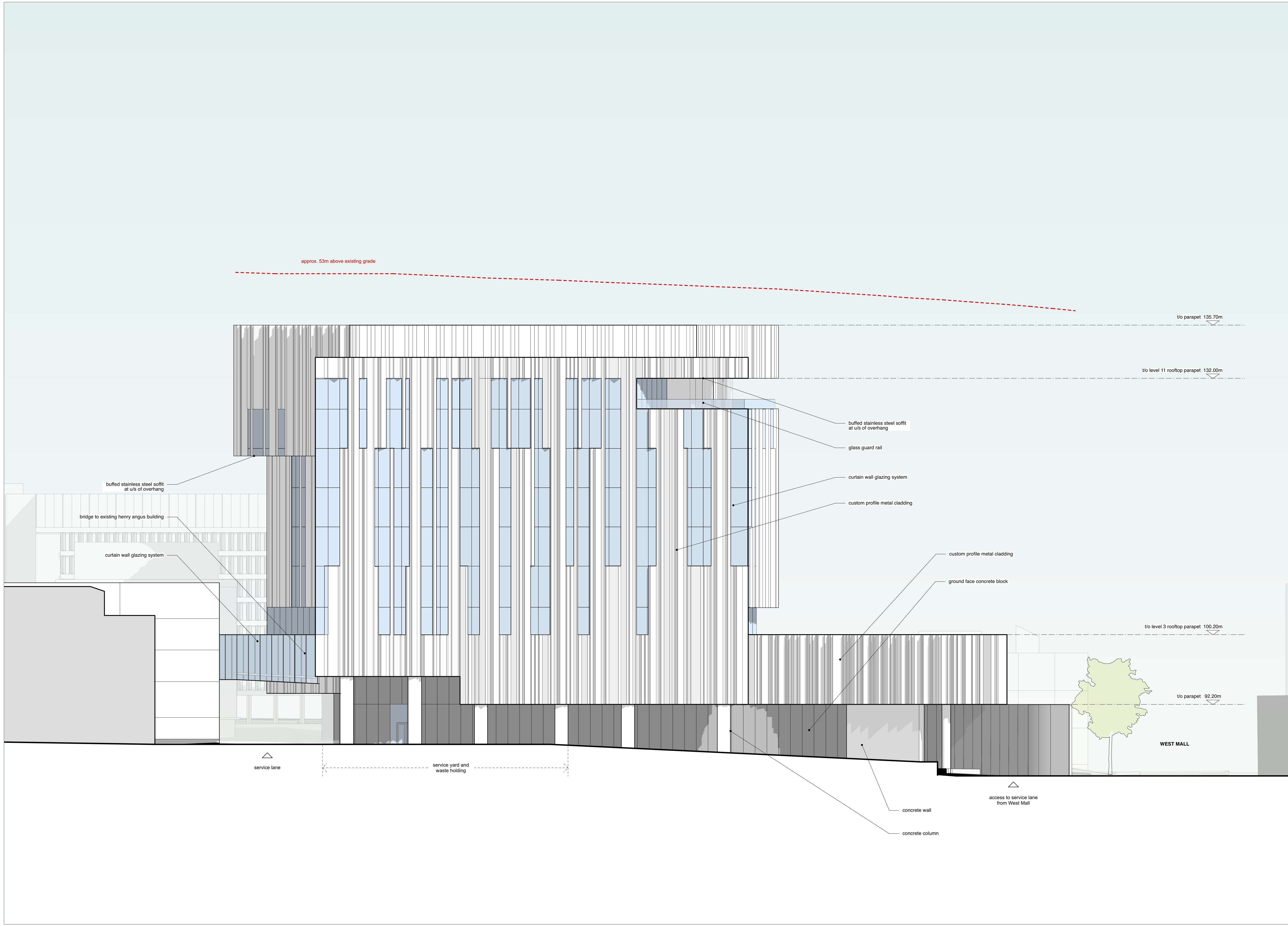
drawing number  
**A303**



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drawn	checked
SK/GA	AP/GB

**Elevation - North**

drawing number  
**A304**