



March 18, 2025

Diona Fong
UBC Properties Trust
200 - 3313 Shrum Lane
Vancouver, BC V6S 0C8

**DEVELOPMENT PERMIT
DP24010 AMENDMENT 1**

**Re: DP24010-1: Relocate Building and Expand Enclosed Outdoor Play Area
The open space along West Mall in front of Orchard Commons, 6363 Agronomy Road**

Dear Diona Fong,

Development Permit DP24010 is hereby revised to move the building footprint 3 metres to the north in order to expand the outdoor enclosed play area at for the childcare facility (Orchard Childcare) located within the open space along West Mall in front of Orchard Commons, 6363 Agronomy Road. There are also minor architectural, landscape, and stormwater management revisions. This permit is issued subject to the conditions listed below:

1. Approval is based upon general conformance to the following attached drawings:

- Architectural drawings dated January 10, 2025 prepared by Public Architecture [13 pages]
- Landscape drawings dated March 3, 2025 and prepared by Public Grounds Name [X pages]
- Civil drawings dated February 05, 2025 prepared by InterCAD Consulting Engineers [4 pages]
- Lighting Level Calculation Report dated February 5, 2025 prepared by O'M Engineering [7 pages]

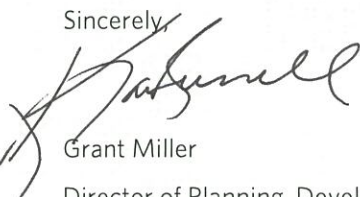
2. General Conditions:

- 2.1. The applicant shall consult with Planning and Design on the relocation of the existing planters north of the building once there is greater clarity on feasibility and prior to finalizing.
- 2.2. All provisions of DP24010 issued November 5, 2024 remain in effect.

Please apply to the Chief Building Official for a Building Permit. This Development Permit will expire if development does not substantially commence within 12 months from the date of permit issuance.

If you have any questions, please call 604-822-6991.

Sincerely,


(for)

Grant Miller
Director of Planning, Development Services

Enclosures: Approved Development Permit Documents

cc: K. Russell, Development Services
E. Lin, Chief Building Official
B. Liljefors, Urban Designer (Architect)
D. Gregory, Landscape Architect - Municipal Services
J. Li, Green Infrastructure Engineer, Municipal Engineer
R. Lussier, Landscape Architect / Planner - Planning and Design C+CP
K. Falkner, Manager, Transportation Engineering
P. Martyn, Manager, Green Building
J. Liu, Mechanical Utilities Engineer
D. Kiloh, Director Facilities and Building Services



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By: 
Date: March 18, 2025

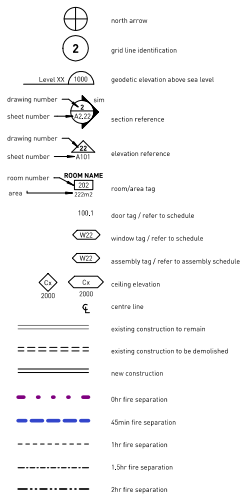


UBC Orchard Child Care

PUBLIC Architecture • UBC Properties Trust
Issued for DP - Amendment 2
Jan 10, 2025



Graphic legend



Abbreviation legend

- alt = above finished floor
- cl = centre line
- clw = complete with
- eq = equal
- exst = existing
- int = interior
- fec = fire extinguisher cabinet
- int = interior
- max = maximum
- min = minimum
- not = not applicable
- nc = not in contract
- on centre
- oss = owner supplied contractor installed
- oss = owner supplied owner installed
- rec = required
- req = required
- rm = room
- sim = similar
- smc = no match existing
- to = top of
- typ = typical
- unc = unless noted otherwise
- us = underside
- vf = verify in field
- w/ = with

Written Description

The project is a proposed one-storey 216 gross square meter purpose-built child care facility with an additional 164 square meters of outdoor activity space, providing 24 new child care spaces for the UBC campus.

Equitable access to child care is critical in meeting UBC's goal of increasing equity, diversity and inclusion and reducing barriers for historically underserved, marginalized or excluded families. Currently, families can wait up to 2.5 years for child care on campus. On February 9, 2024, the Province of BC announced that more than 100 child care centres BC will move into the \$1.0 a Day Child Care BC program, including more than 100 group child care spaces at UBC Child Care. The proposed Orchard Child Care (OCC) will provide 24 of those childcare spaces. The facility will be centrally located along the western edge of the main open space of the Orchard Commons (along West Mall).

The Orchard Child Care will create an excellent physical environment to support the best practices of high-quality child care in a facility that also enhances the campus experience at Orchard Commons.

The primary goals include:

- Develop a child care facility in close collaboration with UBC Child Care that reflects and support their values, pedagogical philosophy and practices in the delivery of high-quality child care.
- Use the creation of an excellent child care facility to enhance the function, performance and qualities that support a positive experience of Orchard Commons.

Design Policy Compliance

The project has been designed in accordance with the Vancouver Campus Plan Part 3 requirements. The project is sited within the Campus Core District at the edge with the Forest District, and is therefore subject to additional requirements outlined in section 2.1 of the Campus Plan Part 3 which are set out in the design as follows.

The OCC single-storey building is sited on the western edge of the public open space of Orchard Commons which is bounded by two tower blocks overlooking an L-shaped academic and student services podium. The podium and towers, which are home to over 1000 students, flank the north, east and south sides of the open space. The Commons open space acts as a neighbourhood living room for residents and the surrounding community. The quadrangle and south facing bleachers are highly used and integral to larger gatherings and outdoor learning.

The Orchard Commons design facilities serve the broader campus. In particular, the open space is used by walking students traveling between the campus core and the Forem and Thunderbird student residence precincts. The project development is tightly constrained on all sides. To the north and east are existing Energy and Water Services, to the north is fire department access to the northern tower block.

As a gathering space the existing Commons' western edge lacks definition, tapering out to West Mall. The OCC will improve the Commons' sense of enclosure and define its west edge.

The Commons' existing orthogonal grid does not address key pedestrian desire lines. The proposed building will reinforce existing and new pathways. A new diagonal portal and shade garden will welcome pedestrians entering the Commons from the south to access dining facilities and access to the campus core. Those entering from the north will be guided through an opening framed by the existing tower and bleachers on the one side and OCC on the other. The existing sidewalk and plantings along West Mall will remain to maintain the priority, clarity and feasibility of the West Mall street corridor.

Like the CBS building to the north, OCC occupies an inflection point in West Mall where the street chinkes westward. Because the OCC is sited to maximize open space to the east, the missing wall defines the shape of West Mall.

Surrounded by active public space on all sides, the OCC enclosure creates a protective and suitably scaled space for children. Where safe and appropriate, visual connections will activate the surrounding public realm with windows and openings at a variety of levels suitable to building inhabitants that may sit in high chairs, crawl on tummies, lie on backs while facing forward, as well as play actively indoors and out.

The OCC's volume is clad in standing seam metal cladding. As a low building with 20 story residential neighbours, the roof is a firm delineation with many viewers. Walls and openings rise and fold in a unified sweep of prefabricated metal.

The proposed location and massing for the OCC seeks to balance the following considerations:

- Contribute to a coherent Orchard Commons Precinct with a low mass that responds to the raked massing of the south facing bleacher and acts as a counterpoint to the taller tower masters.
- Build on the perimeter massing of the existing Orchard Commons Precinct buildings by providing a new west edge to a preserved court.
- Respond to the West Mall street alignment by aligning the OCC with the curb alignment and integrate with the orthogonal geometry of the Commons at north and south elevations, and via a roof ridge line aligned to act as a visual anchor from south on West Mall.
- Study the building and landscape into a single integrated composition to support a unique sense of place.
- Screen mechanical equipment from view by integrating within the overall building expression.
- Reinforce existing pedestrian pathways that support movement around the site.
- Create a sense of enclosure to enhance the safety and comfort within the Commons.
- Allow the existing court to the north as a construction staging area to minimize disruption to the existing Commons.

Development permit variances

Site constraints do not afford the ability to accommodate new loading or accessible parking stalls. A variance is requested to the existing building spaces and spaces along the eastern side of Orchard Commons.

CPTED description

The OCC will intervene natural surveillance at Orchard Commons. Its activity spaces overlooks the open space to the east. The OCC outdoor play area in turn benefits from line of site from the tower blocks. Access to the outdoor play area will be controlled through a fence with gates. Key CPTED strategies include:

1. Choice of routes in and out of the space.
2. Diverse mix of building programming that supports activities during different times of the day.
3. Visibility into the space from the street and from different building interiors.
4. Strategic placement of lighting.

Development permit summary

Site area:	78D
Building footprint:	280m ²
Site coverage:	78D
Net area floor:	n/a
Net area:	211.5 m ²
Gross area:	236.1 m ²
Building height:	3m
Setbacks:	n/a
Front yard (West):	n/a
Rear yard (East):	n/a
Side yard (North):	n/a
Side yard (South):	n/a
Parking spaces:	0
Required:	0
Proposed:	0
Loading spaces:	0
Required:	0
Proposed:	0
Bicycle parking (long-term):	0
Requested:	0
Proposed:	0
Bicycle parking (short term):	10
Requested:	10
Proposed:	10
Floor space ratio:	n/a
Permitted:	n/a
Proposed:	n/a

Project team

Client
 Diana Fong
 UBC Properties Trust
 280 - 3133 Steeles Lane
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 E: dfong@ubcproperties.com

Architect
 Brian Walsin, MABC, MCMC, LEED AP
 Martina Cangilo, ABC
 PUBLIC ARCHITECTS + COMMUNICATION
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 E: martina@publicarchitects.ca

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Civil Engineer
 Graham Wood
 InterCAD Services Ltd
 Vancouver, BC
 T: 604.270.7707
 E: g.wood@intercad.com

Drawing list

NO.	DESCRIPTION	DATE	ISSUED FOR
AS0 - General	Cover sheet		
DP - A0.00	Project information and drawing list		
DP - A0.01	Area plan		
DP - 05.03	Shadow Analysis		
DP - 05.04	Photographs		
A1.0 - Floor and ceiling plans			
DP - A6.10	Site plan		
DP - A6.11	Context plan		
DP - A1.01	L1 Floor plan		
DP - A1.02	Rear plan		
A2.0 - Elevations			
DP - A2.01	Elevations		
A3.0 - Sections			
DP - A3.01	Sections		
A4.0 - Schedules			
DP - A4.01	Door and frame schedule		
DP - A4.10	Window schedule		

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NO.	DESCRIPTION	DATE	ISSUED FOR
E	July 21, 2024	Issued for DP - Amendment 1	
F	Sept 20, 2024	Issued for DP - Amendment 1 B1	
I	Jan 10, 2025	Issued for DP - Amendment 2	



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UBC Orchard Child Care

2378 West Mall, Vancouver, BC V6T 1Z4

PROJECT CODE
 2316
SCALE
 As indicated

Project information and drawing list

SHEET
 DP - A0.01

1:20240618-10:41:14 AM - C:\Users\public\Documents\2025\2316-UBC Orchard Child Care\2316-UBC Orchard Child Care.dwg - 2316-UBC Orchard Child Care.dwg

Net Assignable Square Metres Schedule

Name	Required NASM	Proposed NASM	Difference
1 - Activity			
Gross motor	35.0 m ²	30.8 m ²	6.8 m ²
Open play	16.8 m ²	99.7 m ²	1.7 m ²
	126.6 m ²	130.5 m ²	2.5 m ²
2 - Support			
Art sink	0.0 m ²	2.1 m ²	2.1 m ²
Child WC	9.0 m ²	10.0 m ²	1.0 m ²
Cubby	14.0 m ²	17.9 m ²	2.9 m ²
Kitchen	8.1 m ²	5.1 m ²	1.0 m ²
Laundry / Janitorial	7.0 m ²	4.5 m ²	-2.5 m ²
Office	4.5 m ²	10.0 m ²	5.5 m ²
Storage	7.0 m ²	9.3 m ²	2.3 m ²
Universal WC	8.0 m ²	6.3 m ²	0.3 m ²
	57.6 m ²	73.2 m ²	15.6 m ²
Total Net-ASM	186.4 m ²	203.7 m ²	18.1 m ²

Non-Assignable Square Metres Schedule

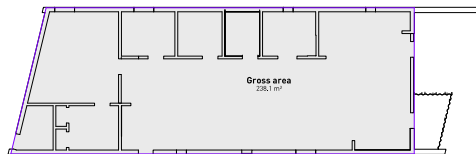
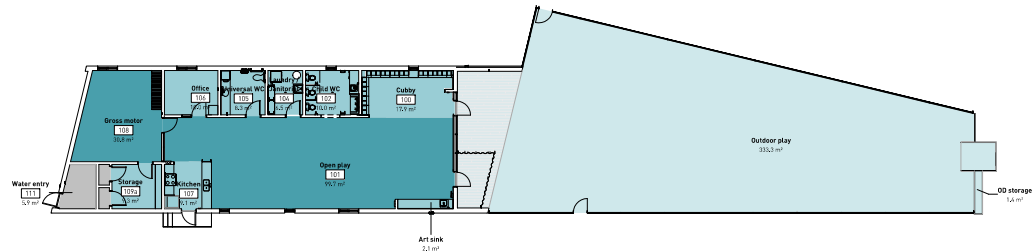
Name	Required NASM	Proposed NASM	Difference
3 - Service			
Comms Closet	0.0 m ²	0.9 m ²	0.9 m ²
Elec. Closet	0.0 m ²	0.8 m ²	0.8 m ²
Water entry	0.0 m ²	5.9 m ²	5.9 m ²
	0.0 m ²	7.8 m ²	7.8 m ²
Total Non-ASM	0.0 m ²	7.8 m ²	7.8 m ²

Outdoor space

Name	Required NASM	Proposed NASM	Difference
4 - Outdoor			
OD storage		1.4 m ²	
Outdoor play	240.0 m ²	334.3 m ²	93.3 m ²
Total Non-ASM	240.0 m ²	334.7 m ²	93.3 m ²

Gross Area Schedule

Area
238.1 m ²



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Revisions

NO.	DATE	DESCRIPTION
E	July 21, 2024	Issued for DP - Amendment 1
F	Sept 20, 2024	Issued for DP - Amendment 1.01
I	Jan 10, 2025	Issued for DP - Amendment 2

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PROJECT NORTH TRUE NORTH

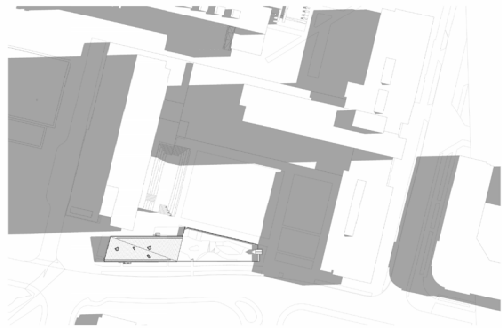
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Area plan
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 DP - G0.02

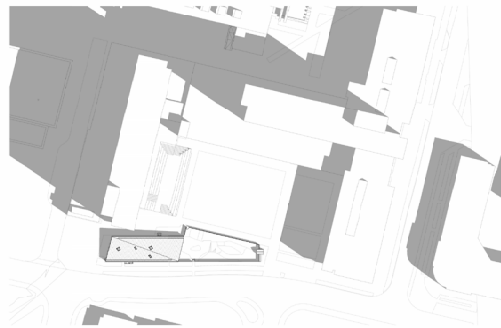
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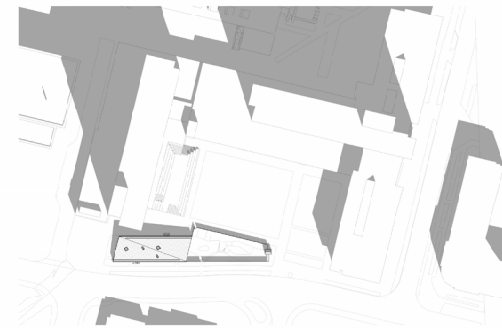
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 DATE: 2025-01-10
 E July 21, 2024 Issued for DP - Amendment 1
 F Sept 20, 2024 Issued for DP - Amendment 1 B1
 I Jan 10, 2025 Issued for DP - Amendment 2



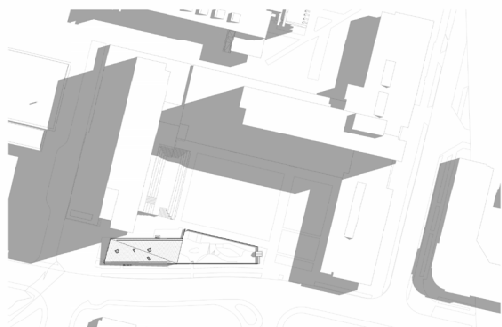
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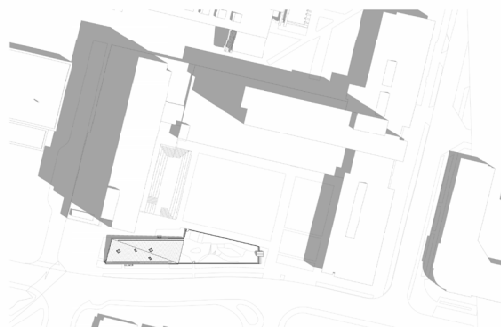
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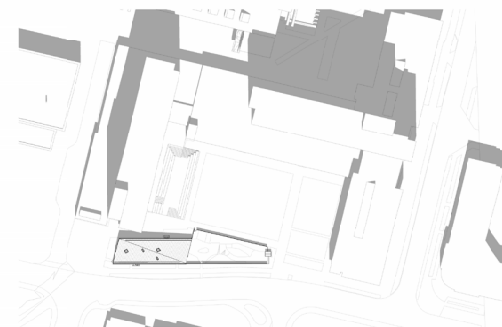
Spring Equinox: 14.00



Summer Solstice: 10.00

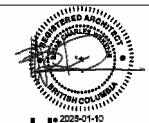


Summer Solstice: 12.00



Summer Solstice: 14.00

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UBC Orchard Child Care

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PROJECT CODE
 2316
 SCALE
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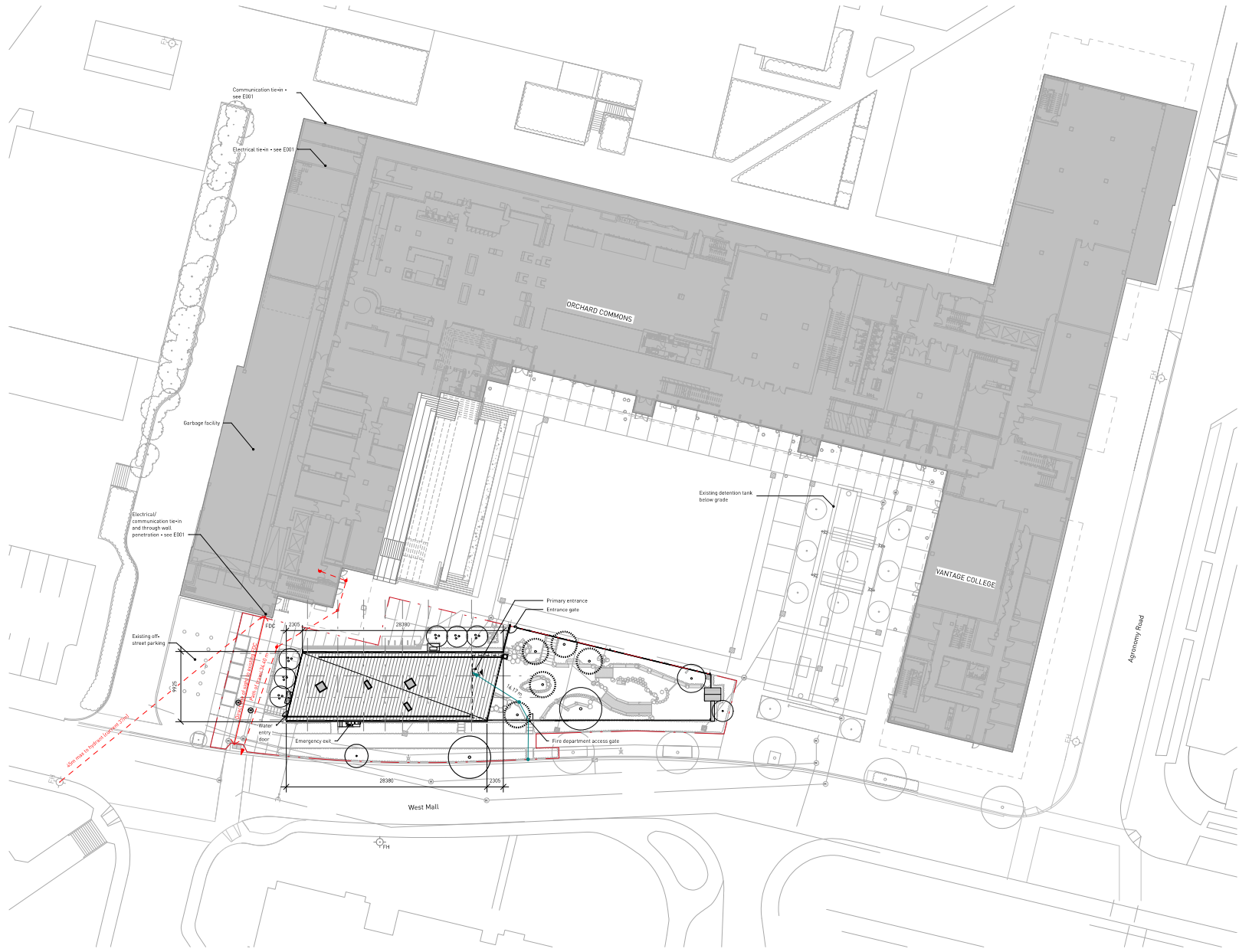
Shadow Analysis
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Legend

- (SDM STM)— Existing storm line
- (SDM SAN)— Existing sanitary line
- (SDM WM)— Existing water main
- (SDM WM)— New water main, refer to civil
- (SDM MH)— Path of travel
- (SDM E)— Electrical/communication tie-in
- (SDM E)— New man hole, refer to civil and landscape
- (SDM E)— Existing fire hydrant
- (SDM FC)— Fire department connection, refer to civil
- (SDM E)— Electrical pull box, refer to elec and landscape
- (SDM T)— Existing tree
- (SDM T)— New single stem deciduous tree, refer to landscape
- (SDM T)— New multi-stem deciduous tree, refer to landscape
- (SDM T)— New coniferous tree, refer to landscape
- (SDM P)— Primary entrance
- (SDM E)— Emergency exit

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 PROJECT NORTH TRUE NORTH
 PROJECT CODE 2316
 SCALE 1:250

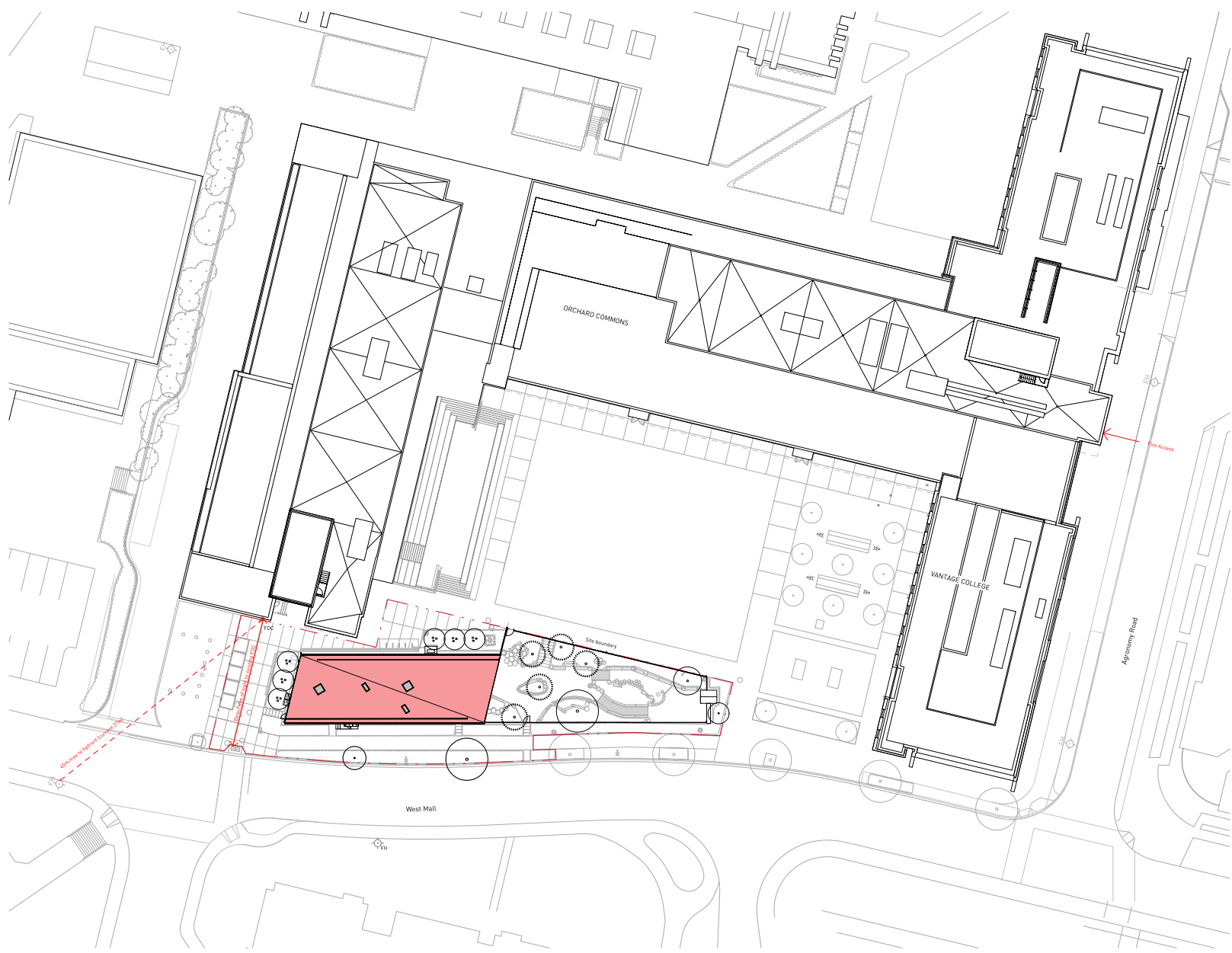
Site plan
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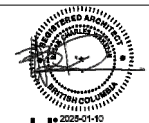
REVISIONS

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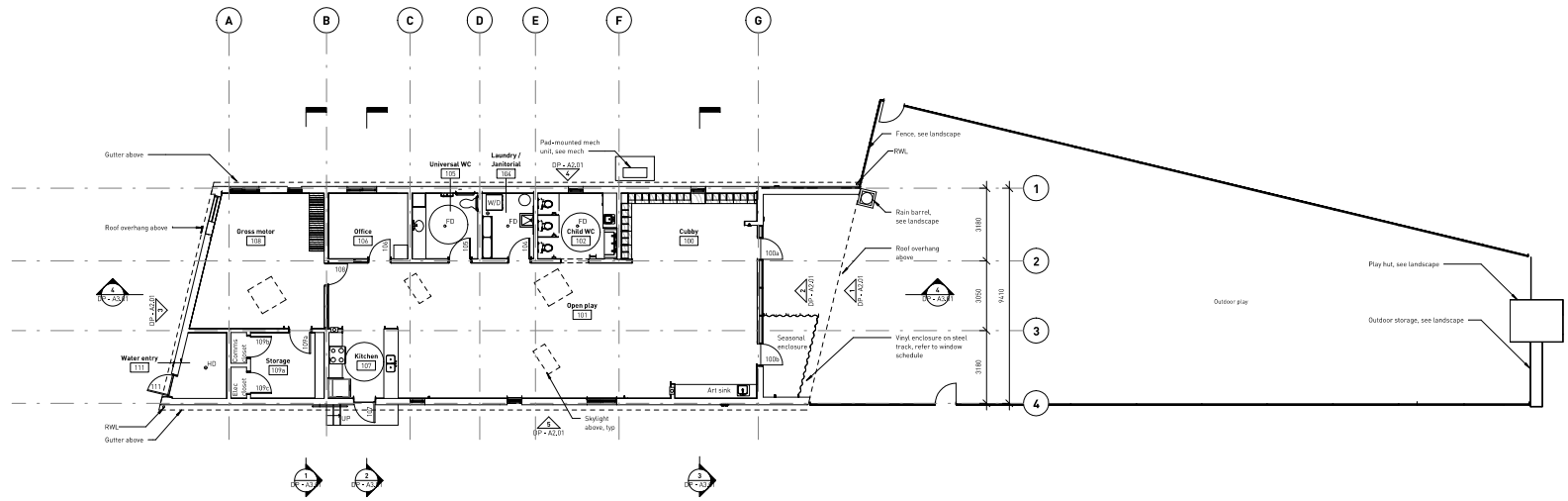
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Context plan
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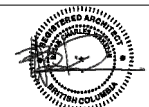
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PROJECT NORTH  TRUE NORTH 

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 2316
 SCALE
 1 : 100

L1 Floor plan
 SHEET
 DP - A1.01

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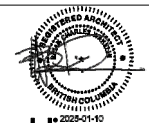
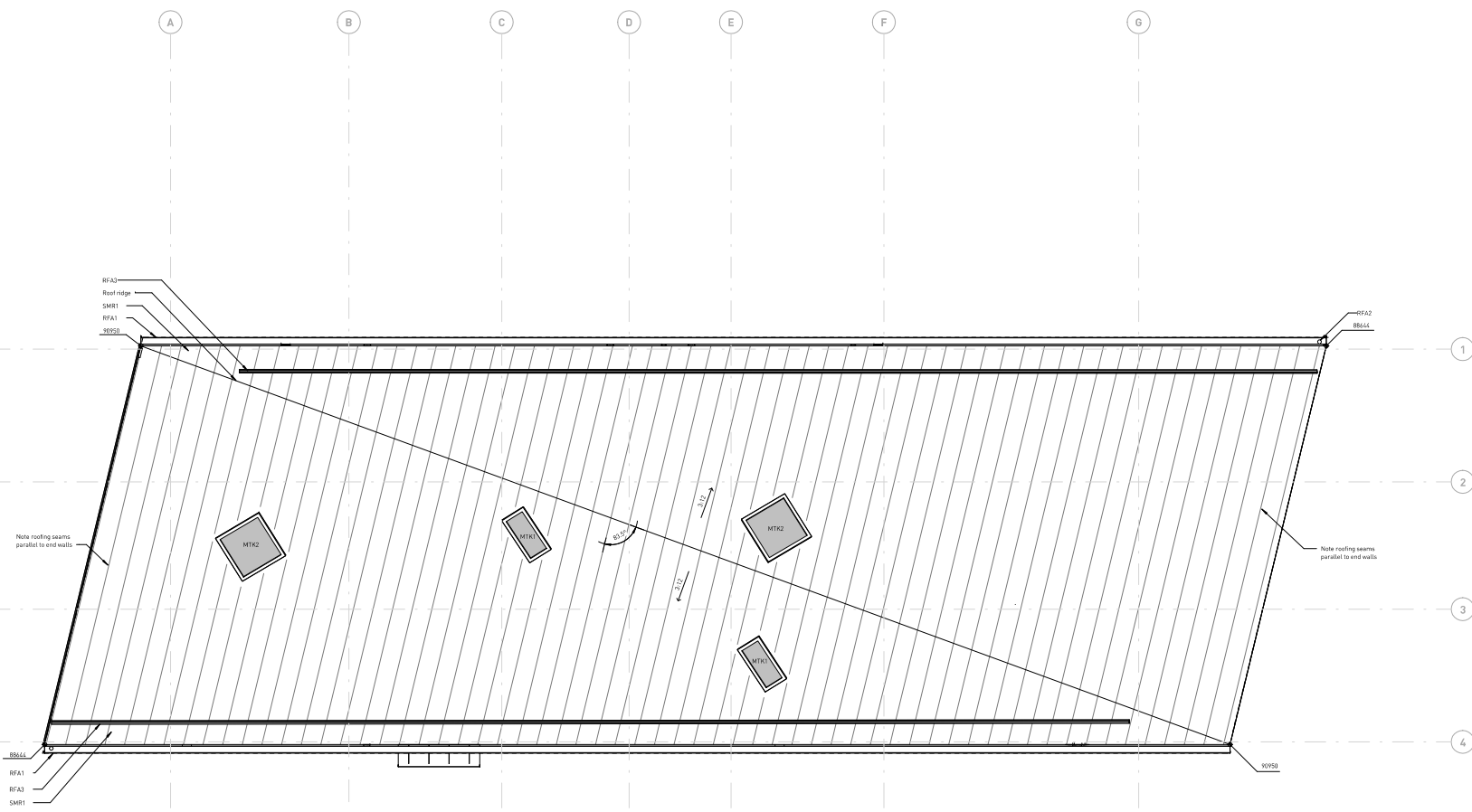
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Revisions

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 Date: **March 18, 2025**

Keynote	Description
RF1A1	Roof sheet metal gutter, galvalume
RF1A2	Roof sheet metal rainwater leader, galvalume
RF1A3	Roof sheet metal snow guard, galvalume
SMR1	Standing seam sheet metal roofing, galvalume



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UBC Orchard Child Care

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 PROJECT NORTH  TRUE NORTH 

PROJECT CODE: 2316
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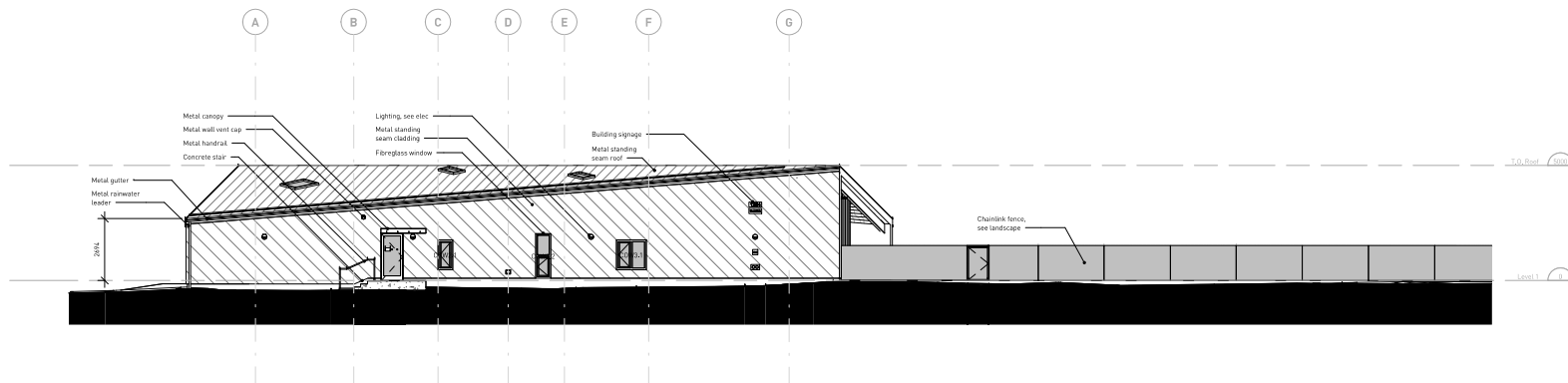
Roof plan
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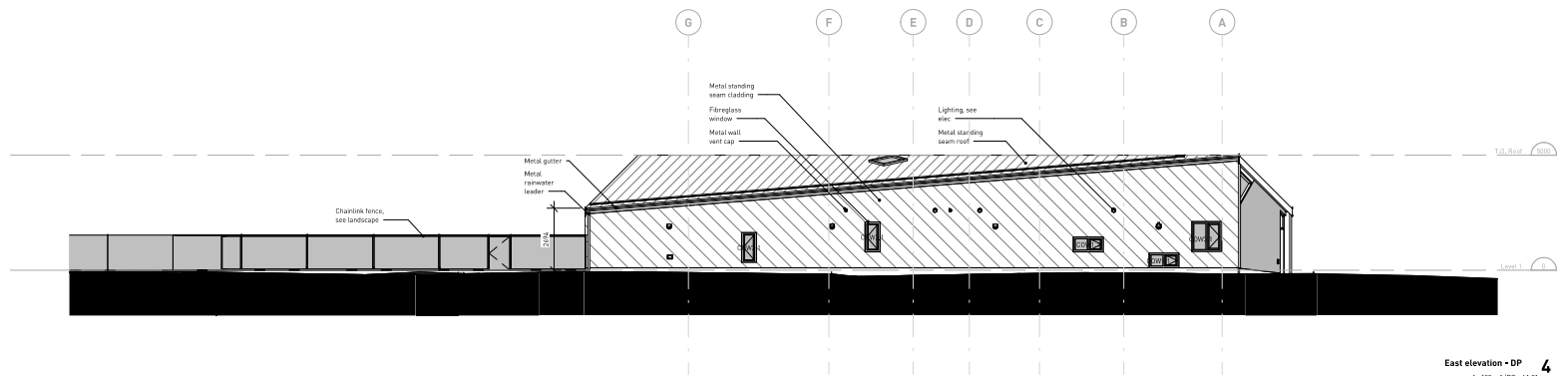
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REVISIONS

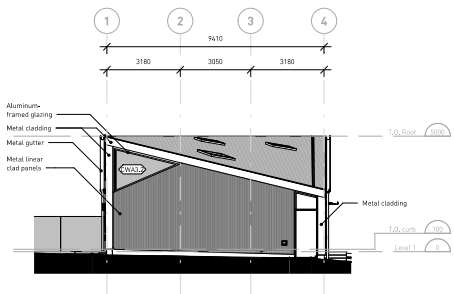
NO.	DATE	DESCRIPTION
A	July 21, 2024	Issued for DP - Amendment 1
B	Sept 20, 2024	Issued for DP - Amendment 1 B1
C	Jan 10, 2025	Issued for DP - Amendment 2



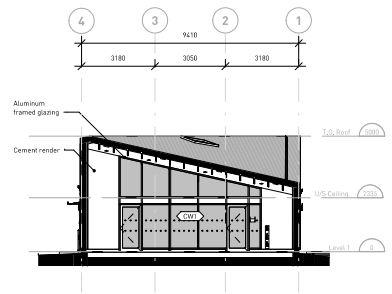
West elevation - DP 5
1:100 1/DP - A1.01



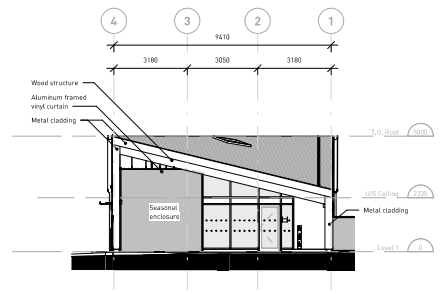
East elevation - DP 4
1:100 1/DP - A1.01



North elevation - DP 3
1:100 1/DP - A1.01

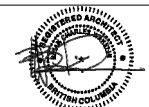


South elevation - covered outdoor - DP 2
1:100 1/DP - A1.01



South elevation - DP 1
1:100 1/DP - A1.01

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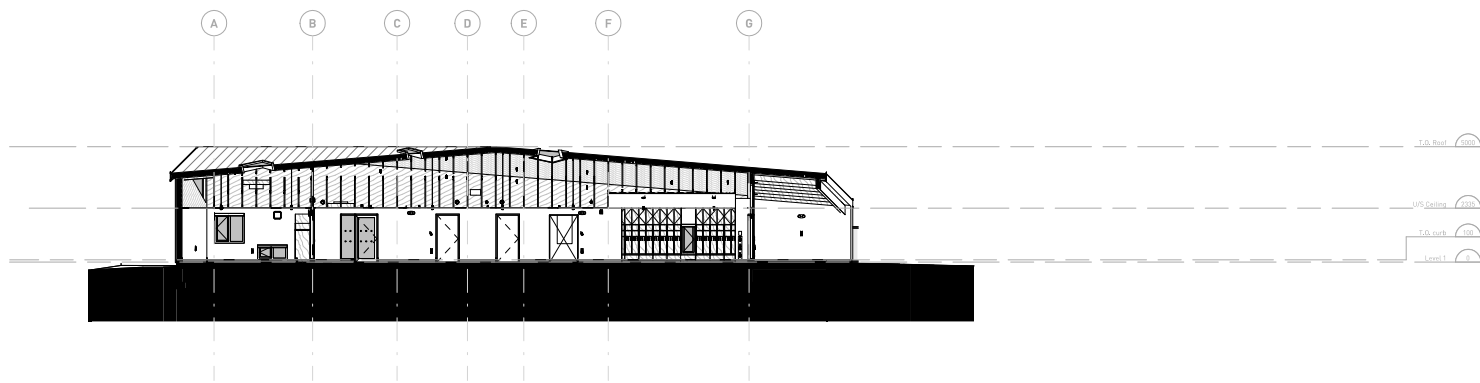
PROJECT CODE
2316
SCALE
1:100

Elevations
SHEET
DP - A2.01

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REVISIONS

NO.	DATE	DESCRIPTION
E	July 21, 2024	Issued for DP - Amendment 1
F	Sept 20, 2024	Issued for DP - Amendment 1.01
I	Jan 10, 2025	Issued for DP - Amendment 2

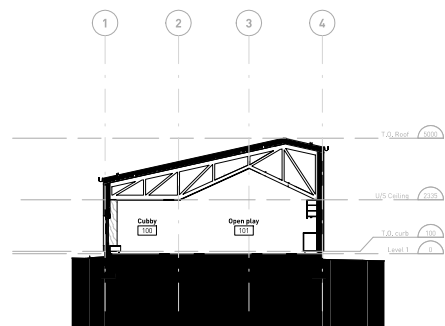


N-S Section - DP 4
1:100 1/DP - A1.01

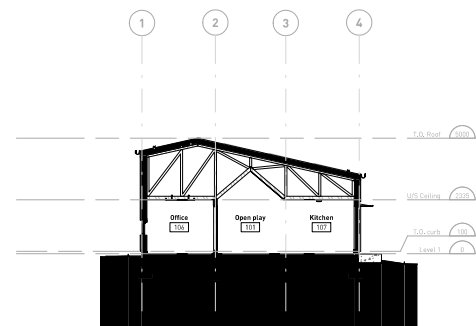
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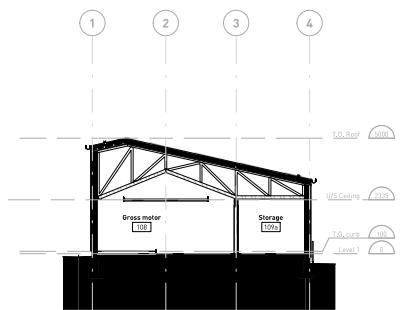
Date: **March 18, 2025**



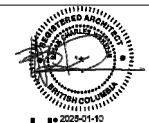
E-W Section 3 - DP 3
1:100 1/DP - A1.01



E-W Section 2 - DP 2
1:100 1/DP - A1.01



E-W Section 1 - DP 1
1:100 1/DP - A1.01



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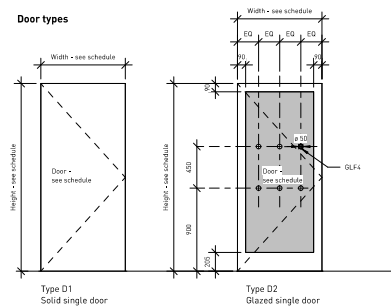
2378 West Mall, Vancouver, BC V6T 1Z4

PROJECT CODE
2316
SCALE
1:100

Sections
SHEET
DP - A3.01

1:100 1/DP - A1.01

Door types



Exterior door schedule

Door number	Height	Width	Door			Frame	
			Type	Finish	Configuration	Type	Configuration
100a	2032	D15	D3	BLG2, GLF4	EMFIX	-	CWX
100b	2032	D15	D3	BLG2, GLF4	EMFIX	-	CWX
107	2032	D15	D2	BLG2, GLF4	EMFIX	F1	CWX
111	2032	D15	D1	-	MTFIX	F2	MTFIX

Door legend

- ENT1X Aluminum-framed entrances (insulated exterior)
- AL1 Interior aluminum
- MTD1 Interior hollow metal door
- MTD1X Exterior hollow metal door (insulated exterior)
- WD2 Interior flush wood door

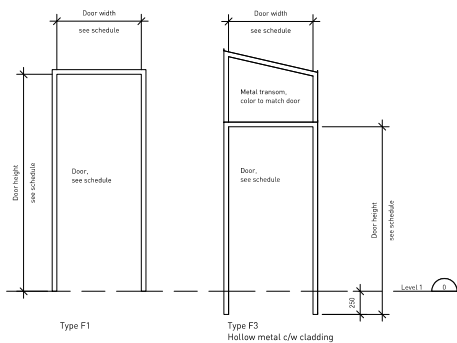
Frame legend

- CWX Exterior insulated curtain wall assembly - see Window Schedule for frame configuration
- CW Interior curtain wall assembly - see Window Schedule for frame configuration
- MTFIX Exterior hollow metal frame
- WD Interior wood frame

Glass legend

- GLF4 Decorative film
- GLG2.H Exterior glass glazing - single heat strengthened
- GLG2.LT.LT Exterior glass glazing - double laminated and tempered
- GLG2.T.T Exterior glass glazing - double tempered
- GLG3.HL Interior glass glazing - heat strengthened and laminated
- GLG3.T Interior glass glazing - heat strengthened and laminated

Frame types



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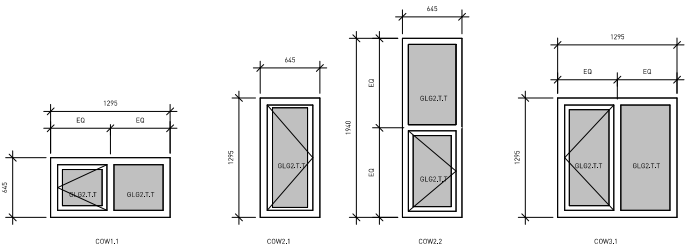
PROJECT CODE
 2316
 SCALE
 1 : 25

Door and frame schedule

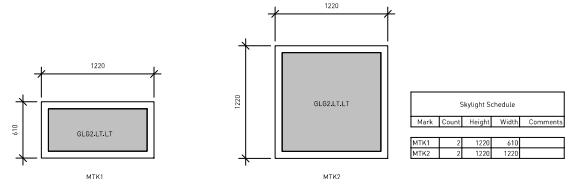
SHEET
 DP - A6.01

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Revised Schedule
 E July 21, 2024 Issued for DP - Amendment 1
 F Sept 20, 2024 Issued for DP - Amendment 1 B1
 I Jan 10, 2025 Issued for DP - Amendment 2



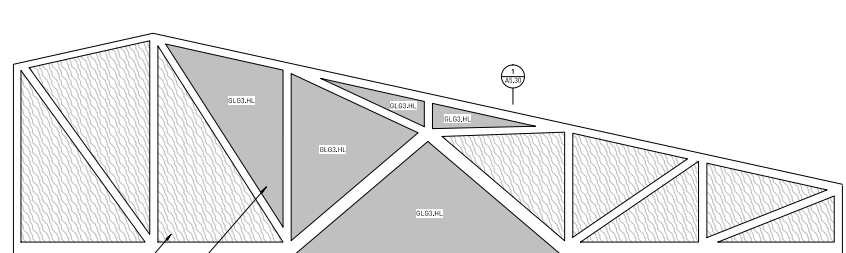
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COW1.1	1	665	665	1295	
COW1.1	1	665	1295	665	
COW1.1	1	475	1295	665	
COW1.1	1	665	1295	665	
COW2.2	1	1000	1640	665	
COW3.1	1	225	1295	1295	
COW3.1	1	475	1295	1295	



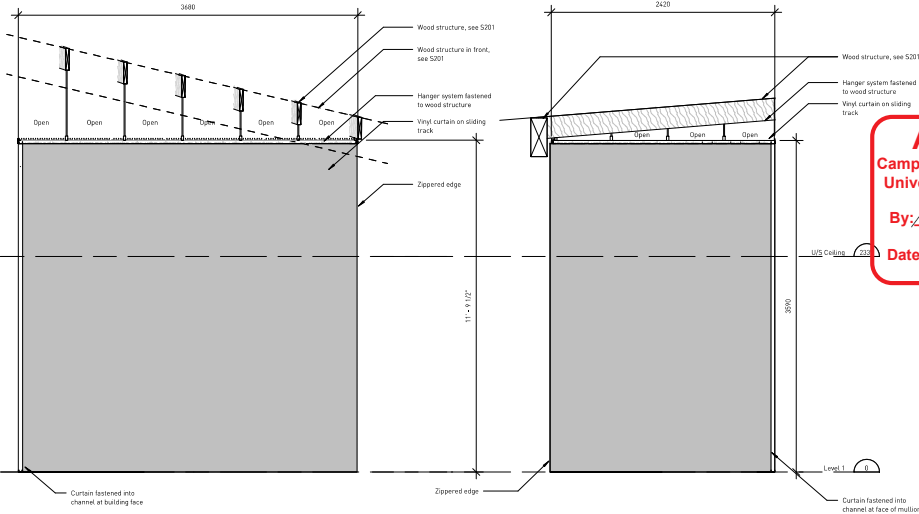
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MTK2	2	1220	1220	

Window legend
1:25 /

Skylight legend
1:25 /

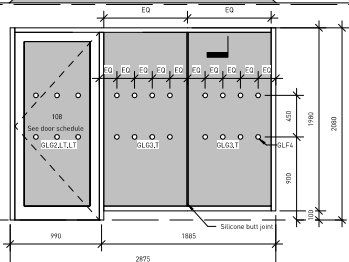


015 plywood, good side to face glass motor room
Glazing mull between truss webs



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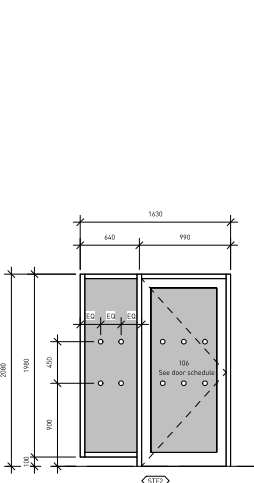
Keynote	Description
GLF4	Decorative film
GL02.H	Exterior glass glazing - single glazing - heat strengthened
GL02.L.T	Exterior glass glazing - double IGU - laminated and tempered
GL02.T	Exterior glass glazing - double IGU - tempered
GL03.H	Interior glass glazing - heat strengthened and laminated
GL03.T	Interior glass glazing - heat strengthened and laminated



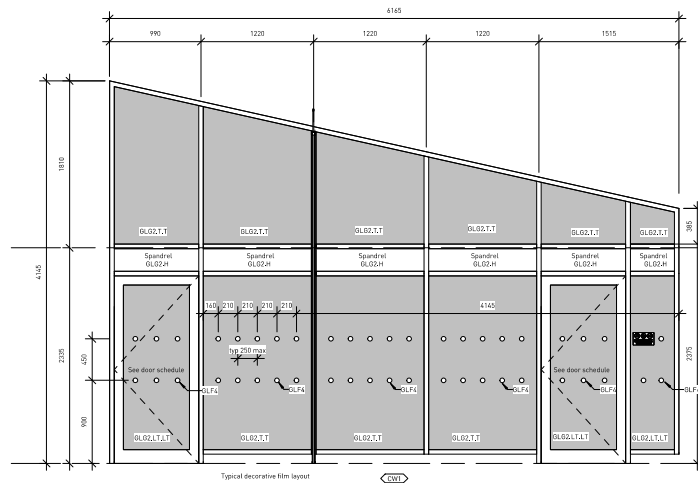
Interior glazing - Gross motor DP
1:25 /

Vinyl seasonal enclosure - south DP
1:25 1/AS.01

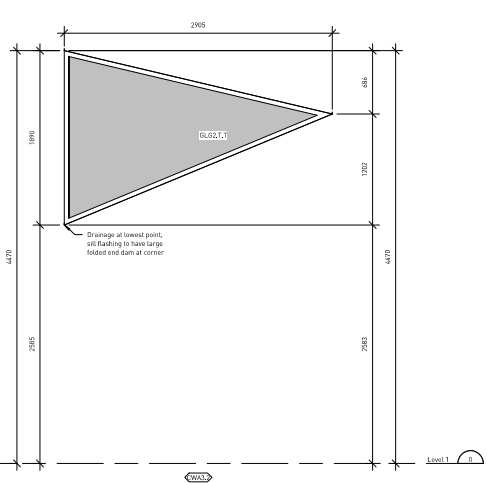
Vinyl seasonal enclosure - east DP
1:25 /



Interior glazing - Office DP
1:25 /



Exterior glazing - south elevation - DP
1:25 /



Exterior glazing - north elevation - DP
1:25 4/AS.01



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PROJECT CODE: 2316
 SCALE: 1:25
 Window schedule
 SHEET: DP - A6.10

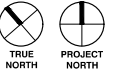
UBC ORCHARD CHILDCARE

LANDSCAPE DRAWING LIST

SHEET	DESCRIPTION
L0.00	COVER SHEET
L1.00	TREE MANAGEMENT PLAN
L1.50	DEMOLITION PLAN
L2.00	MATERIALS PLAN
L2.01	MATERIALS PLAN ENLARGEMENT
L4.00	GRADING PLAN
L5.01	PLANTING PLAN
L9.00	SOFTSCAPE DETAILS
L9.10	HARDSCAPE DETAILS
L9.20	FURNISHING DETAILS
L9.30	PLAY DETAILS
L9.40	PLAY HUT DETAILS

GENERAL NOTES

- A SURVEY HAS BEEN PROVIDED BY THE CLIENT FOR THIS PROJECT. IT HAS BEEN REFORMATTED FOR USE IN AND FOR PREPARING THESE DOCUMENTS. CONTRACTOR SHALL OBTAIN AN OFFICIALLY SIGNED COPY FROM THE CLIENT AND BECOME FAMILIAR WITH IT, THE EXISTING CONDITIONS AND SITE CONTEXT PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ASSOCIATED WITH PREPARATION OR DOCUMENTATION OF SURVEY.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR DETERMINING MEANS AND METHODS FOR CONSTRUCTION. THESE DRAWINGS MAY INDICATE A LIMIT OF PROPOSED IMPROVEMENTS. LIMITS OF SITE DEMOLITION, ETC. FOR DELINEATION OF EXPECTED EXTENTS OF DISTURBANCE. HOWEVER FINAL IMPACT SHALL BE DETERMINED IN THE FIELD. SHOULD LIMITS OF DISTURBANCE EXCEED BOUNDARIES DEFINED IN DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL WORK DISTURBED BY CONSTRUCTION OUTSIDE OF LIMIT LINES DEFINED ON DRAWINGS OR THROUGH HESHER MEANS AND METHODS TO A CONDITION BETTER THAN OR EQUAL TO THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A COMPLETE UP-TO-DATE SET OF DRAWINGS AND SPECIFICATIONS AT THE CONSTRUCTION SITE AND ENSURING THE DOCUMENTS ARE READILY AVAILABLE FOR REVIEW BY THE LANDSCAPE ARCHITECT AND GOVERNING AGENCY.
- THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY TO ONE ANOTHER AND IMPLIED TO CORRESPOND WITH ONE ANOTHER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- ROADWAYS AND BUILDINGS MUST BE CAPABLE OF SUPPORTING FIRE AND EMERGENCY APPARATUS DURING CONSTRUCTION.
- SEE CIVIL FOR SEDIMENTATION AND EROSION CONTROL MEASURES.
- SEE CIVIL FOR UTILITY AND UNDERGROUND STORM DRAINAGE INFORMATION.
- ALL MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL MEET THE UNIVERSITY OF BRITISH COLUMBIA SPECIFICATIONS AND DESIGN STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVING FOR ELECTRIC, DRAINAGE, IRRIGATION, AND UTILITIES PRIOR TO THE INSTALLATION OF COMPACTED SUB-GRADE, SUB-GRADE AND PAVEMENT AS NECESSARY. SLEEVES TO BE INSTALLED AT A MINIMUM DEPTH BELOW GRADE AS PER UNIVERSITY STANDARDS.



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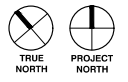
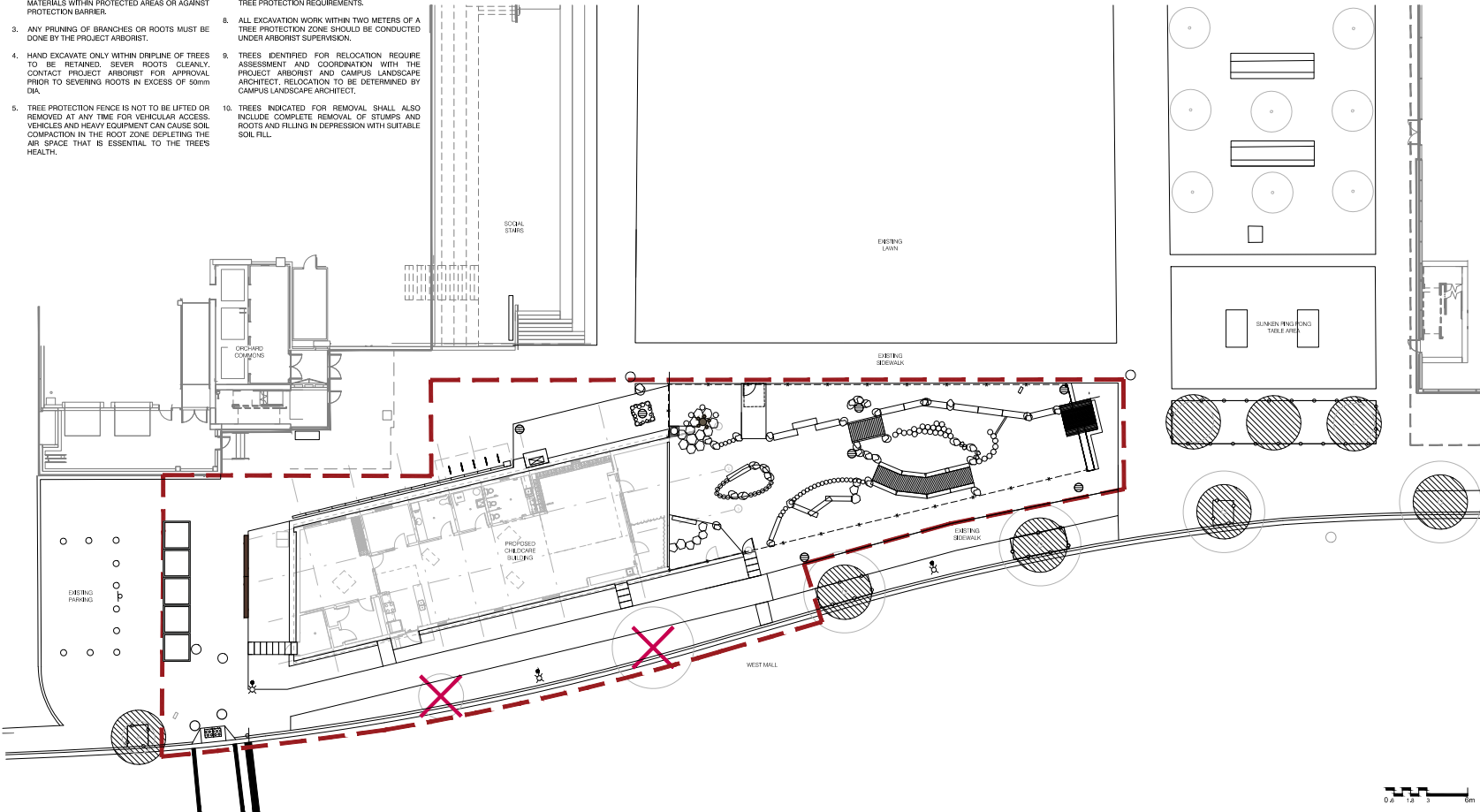
ISSUED FOR	PROJECT NO. 23-003
3 CLASS C R2	2024.05.31
4 CLASS C R3	2024.07.19
5 DP AMENDMENT 1	2024.07.23
6 DP AMENDMENT 1 R1	2024.09.20
7 50% CD COSTING	2024.10.16
8 BUILDING PERMIT	2024.11.13
9 BUILDING PERMIT R1	2025.01.08
10 DP AMENDMENT 2	2025.01.10
11 DP AMENDMENT 2 R1	2025.03.03

COVER SHEET

L0.00

PLANT PROTECTION AND REMOVALS

1. LOCATION OF TREE PROTECTION FENCING AND LIMIT OF ACCESS FENCING TO BE VERIFIED WITH CONSULTANT AND PROJECT ARBORIST PRIOR TO INSTALLATION.
2. NO STORAGE OF BUILDING / CONSTRUCTION MATERIALS WITHIN PROTECTED AREAS OR AGAINST PROTECTION BARRIER.
3. ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY THE PROJECT ARBORIST.
4. HAND EXCAVATE ONLY WITHIN DRIPLINE OF TREES TO BE RETAINED. SEVER ROOTS CLEANLY. CONTACT PROJECT ARBORIST FOR APPROVAL PRIOR TO SEVERING ROOTS IN EXCESS OF 50mm DIA.
5. TREE PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREES HEALTH.
6. BASED ON CONTRACTORS STAGING AND ACCESS REQUIREMENTS, ADDITIONAL TREE PROTECTION FENCING MAY BE REQUIRED.
7. THE TREE PROTECTION ZONE SHOWN IS A GRAPHICAL REPRESENTATION OF THE CRITICAL ROOT ZONE. REFER TO THE ARBORIST REPORT FOR TREE PROTECTION REQUIREMENTS.
8. ALL EXCAVATION WORK WITHIN TWO METERS OF A TREE PROTECTION ZONE SHOULD BE CONDUCTED UNDER ARBORIST SUPERVISION.
9. TREES IDENTIFIED FOR RELOCATION REQUIRE ASSESSMENT AND COORDINATION WITH THE PROJECT ARBORIST AND CAMPUS LANDSCAPE ARCHITECT. RELOCATION TO BE DETERMINED BY CAMPUS LANDSCAPE ARCHITECT.
10. TREES INDICATED FOR REMOVAL SHALL ALSO INCLUDE COMPLETE REMOVAL OF STUMPS AND ROOTS AND FILLING IN DEPRESSION WITH SUITABLE SOIL FILL.



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1 TREE MANAGEMENT PLAN
 1:150

- | | | | |
|--------------------------|---------------------------|--|-------------------------|
| GENERAL LEGEND | | TREE PROTECTION LEGEND | |
| LIMIT OF WORK | BUILDING OVERHANG | EXISTING TREE TO BE RETAINED
EXTENT OF TREE PROTECTION ZONE | |
| EXISTING DECIDUOUS TREES | EXISTING CONIFEROUS TREES | EXISTING TREE TO BE REMOVED | TREE PROTECTION FENCING |
| PROPOSED DECIDUOUS TREES | PROPOSED CONIFEROUS TREES | | |
| PA | PLANTING AREA | | |



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ISSUED FOR	PROJECT NO. 23-003
3 CLASS C R2	2024.05.31
4 CLASS C R3	2024.07.19
5 DP AMENDMENT 1	2024.07.23
6 DP AMENDMENT 1 R1	2024.09.20
7 50% CD COSTING	2024.10.16
8 BUILDING PERMIT	2024.11.13
9 BUILDING PERMIT R1	2025.01.08
10 DP AMENDMENT 2	2025.01.10
11 DP AMENDMENT 2 R1	2025.03.03

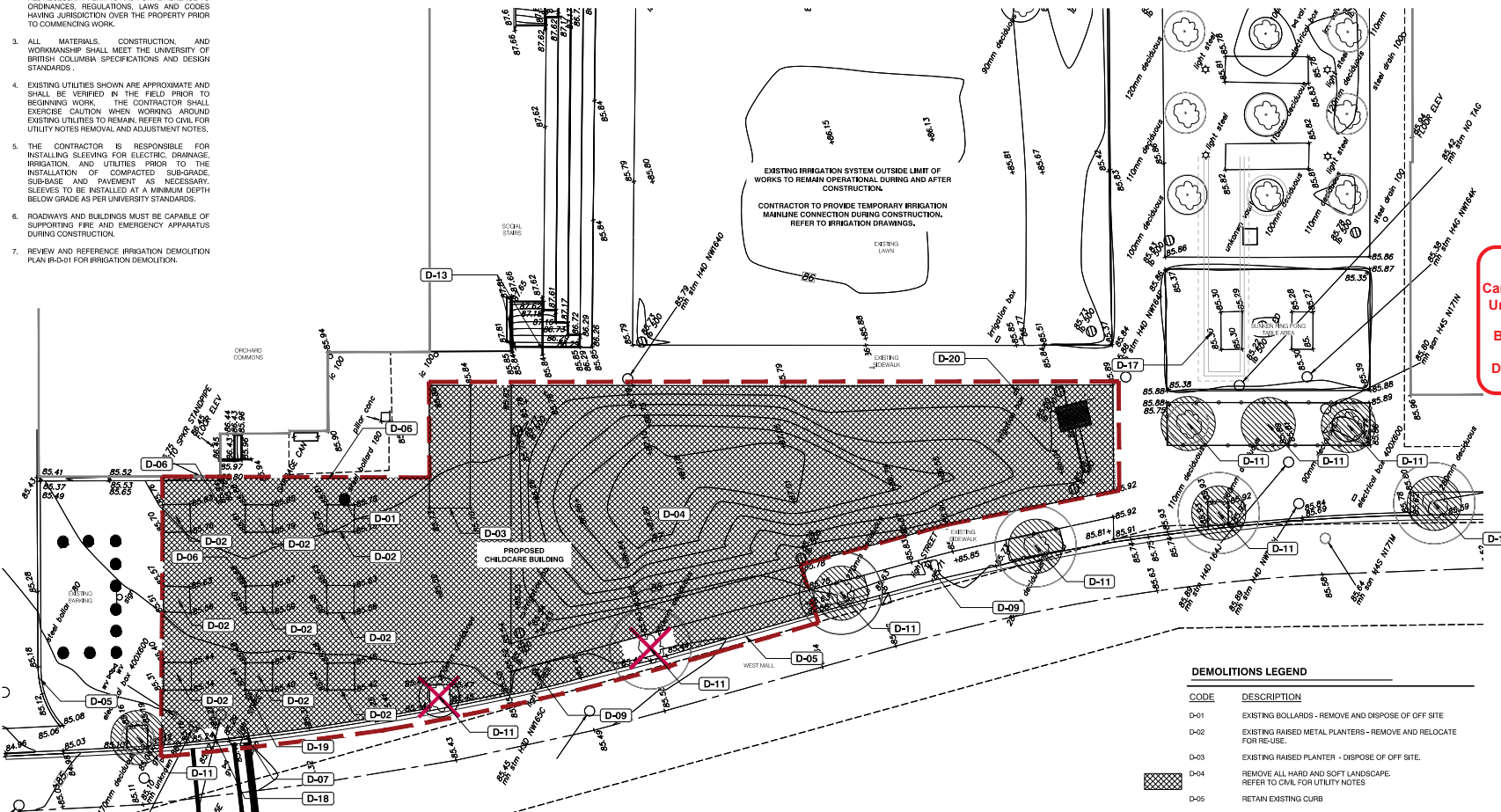
TREE MANAGEMENT PLAN

L1.00

20250304-16:52:13 PM L1.00 Tree Management Plan.dwg

SITE DEMOLITION NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
3. ALL MATERIALS, CONSTRUCTION AND WORKMANSHIP SHALL MEET THE UNIVERSITY OF BRITISH COLUMBIA SPECIFICATIONS AND DESIGN STANDARDS.
4. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN; REFER TO CIVIL FOR UTILITY NOTES REMOVAL AND ADJUSTMENT NOTES.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVING FOR ELECTRIC DRAINAGE, IRRIGATION AND UTILITIES PRIOR TO THE INSTALLATION OF COMPACTED SUB-GRADE, SUB-BASE AND PAVEMENT AS NECESSARY; SLEEVES TO BE INSTALLED AT A MINIMUM DEPTH BELOW GRADE AS PER UNIVERSITY STANDARDS.
6. ROADWAYS AND BUILDINGS MUST BE CAPABLE OF SUPPORTING FIRE AND EMERGENCY APPARATUS DURING CONSTRUCTION.
7. REVIEW AND REFERENCE IRRIGATION DEMOLITION PLAN IR-D-01 FOR IRRIGATION DEMOLITION.



1 DEMOLITION PLAN
1:150

GENERAL LEGEND

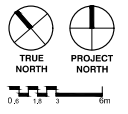
- LIMIT OF WORK
- BUILDING OVERHANG
- EXISTING DECIDUOUS TREES
- EXISTING CONIFEROUS TREES
- PA PLANTING AREA

TREE PROTECTION LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING

DEMOLITIONS LEGEND

CODE	DESCRIPTION
D-01	EXISTING BOLLARDS - REMOVE AND DISPOSE OF OFF SITE
D-02	EXISTING RAISED METAL PLANTERS - REMOVE AND RELOCATE FOR REUSE
D-03	EXISTING RAISED PLANTER - DISPOSE OF OFF SITE.
D-04	REMOVE ALL HARD AND SOFT LANDSCAPE. REFER TO CIVIL FOR UTILITY NOTES
D-05	RETAIN EXISTING CURB
D-06	SAW-CUT CONCRETE AT NEAREST CONTROL JOINT - VERIFY ON SITE WITH CONSULTANTS. DO NOT DAMAGE EXISTING CONCRETE TO REMAIN
D-07	EXISTING STOP SIGN TO REMAIN.
D-09	EXISTING POLE LIGHT TO REMAIN
D-11	EXISTING TREE - REFER TO L1.00 TREE MANAGEMENT AND THE ARBORIST REPORT
D-13	PROTECT EXISTING RAILINGS
D-17	EXISTING UNDERGROUND TANK TO BE PROTECTED AND RETAINED
D-18	EXISTING CURB CUT TO REMAIN
D-19	REMOVE AND RELOCATE EXISTING LIGHT POLE AND BASE. REFER TO ELECTRICAL.
D-20	EXISTING IRRIGATION BOX. REFER TO IRRIGATION PLANS.



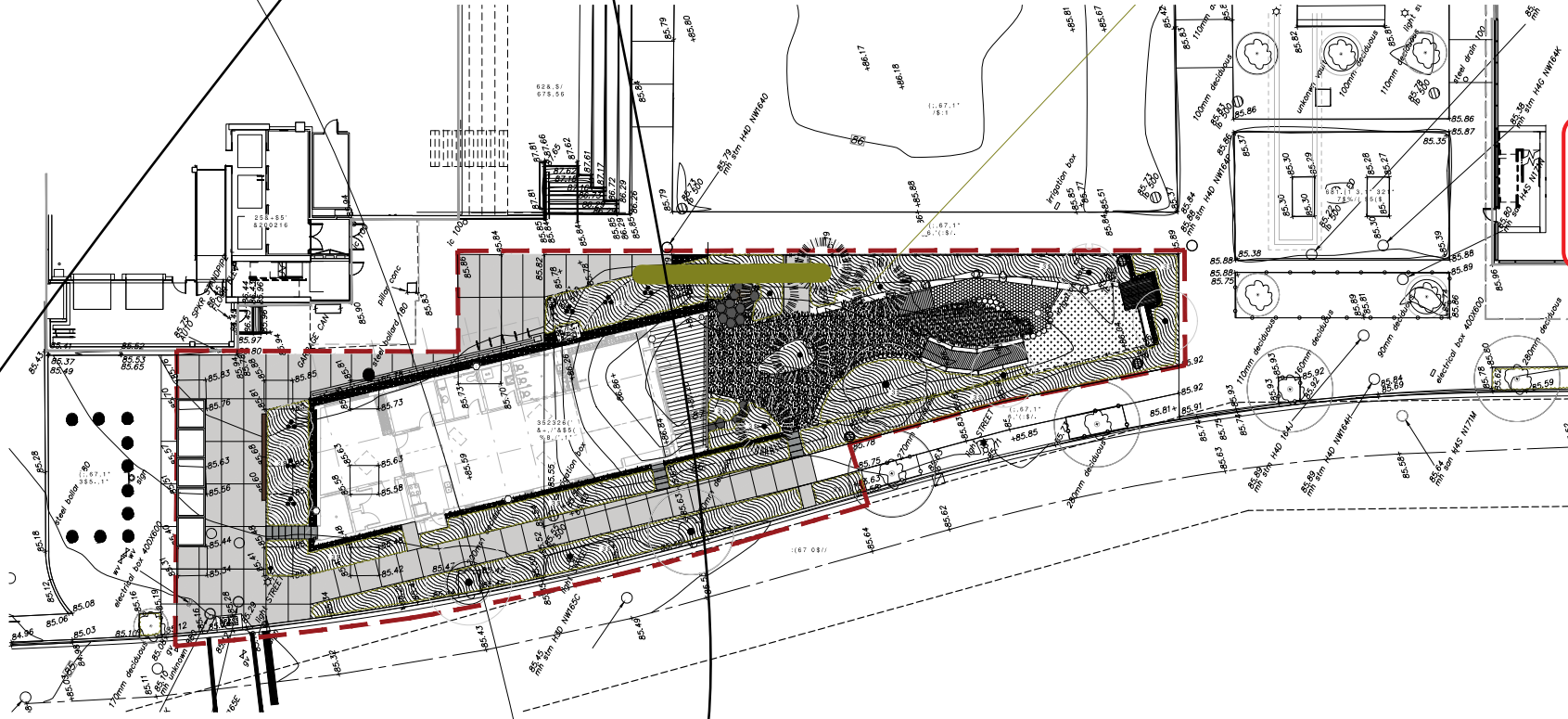
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ISSUED FOR	PROJECT NO. 23-003
4 CLASS C R2 ADDENDUM 1	2024.06.11
5 ISSUED FOR CLASS C R3	2024.07.19
6 DP AMENDMENT 1	2024.07.23
7 DP AMENDMENT 1 R1	2024.09.20
8 50% CD COSTING	2024.10.16
9 BUILDING PERMIT	2024.11.13
10 BUILDING PERMIT R1	2025.01.08
11 DP AMENDMENT 2	2025.01.10
12 DP AMENDMENT 2 R1	2025.03.03

DEMOLITION PLAN

L1.50



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Date: March 18, 2025

LEGEND

	EXISTING	DESIGN
CURB AND GUTTER	—	—
STORM SEWER	— 300 STM —	—
SANITARY SEWER	— 375 SAN —	—
WATERMAIN	— 250 WM —	—
STREETLIGHTING	☀	☀
STANDARD CATCH BASIN	▣	●
AREA DRAIN	▨	●
LAWN DRAIN	○	●
CLEAN OUT	○	●
MANHOLE	○	●
GATE VALVE	⊗	⊗
CAP OR PLUG	⌈	⌈
STREETLIGHT POLE	☀	☀
TREE	☁	☁

PROPOSED 1050mm DIA OVERBUILD MANHOLE. SEE MMCD STD DWG S1
RIM = 85.79m
W INV = 84.22m
EX N INV = 84.17m
EX S INV = 84.17m

100mm DIA PVC SDR 28 LAWN BASIN CONNECTION (TYP) GRADE TO SUIT TIE IN LOCATION

600mm DIA LAWN BASIN SEE MMCD STD DWG S12 RIM = 85.50m

600mm DIA LAWN BASIN SEE MMCD STD DWG S12 RIM = 85.62m

600mm DIA LAWN BASIN SEE MMCD STD DWG S12 RIM = 85.62m

EXISTING LAWN BASIN TO REMAIN

100mm DIA PVC SDR 28 TRENCH DRAIN CONNECTION. CONNECT TO EXISTING LAWN BASIN

6.9m - (150mm) DIA PVC SDR 28 SANITARY CONNECTION @ 1.0% INV AT CAP = 83.84m

4.9m - (150mm) DIA PVC SDR 28 STORM CONNECTION @ 2.0% INV AT CAP = 83.08m

PROPOSED 1050mm DIA STANDARD MANHOLE. SEE MMCD STD DWG S1 RIM = 85.47m S INV = 82.98m W INV = 82.93m

PROPOSED 1050mm DIA STANDARD MANHOLE. SEE MMCD STD DWG S1 RIM = 85.47m S INV = 83.77m W INV = 83.72m

5.6m - (200mm) DIA PVC SDR 35 SANITARY CONNECTION @ 1.0% INV AT CAP = 83.66m EX S INV = 83.11m EX W INV = 83.09m

CONNECT SANITARY SEWER INTO EXISTING MANHOLE AND REBENCH MANHOLE TO ADD AN INSIDE RAMP STRUCTURE AS PER MMCD STD DWG S3

4.1m - (200mm) DIA PVC SDR 35 STORM CONNECTION FOR ROOF LEADERS AND FOOTING DRAINS @ 2.0%

CONNECT STORM SEWER INTO EXISTING MANHOLE AND REBENCH MANHOLE E INV = 82.85m EX N INV = 82.70m EX S INV = 82.70m

ACO K100 PLASTIC TRENCH DRAIN BODY SEE LANDSCAPE DWGS FOR GRATE SPECIFICATION

ACO K100 PLASTIC CATCH BASIN c/w 600 SERIES GRATE

REMOVE AND DISPOSE OF EXISTING LAWN BASIN AND LEAD

11.1m - (150mm CLASS 50) DUCTILE IRON WATER SERVICE AT MINIMUM 1.0m COVER INVERT AT CAP = 84.30m (RESTRAIN ALL JOINTS. SEE NOTE 4)

HOT TAP EXISTING 300mm DIA DI PIPE WITH JCM 421-1320 x 6 (150mm OUTLET) CARBON STEEL FLANGED TAPPING SLEEVE c/w GATE VALVE OR APPROVED EQUAL c/w 0.5m² THRUST BLOCK AS PER MMCD STD DETAIL DWG W1.

LOCATE AND CONNECT INTO EXISTING LAWN BASIN LEAD

CONNECT TO EXISTING PIPE WITH REPAIR COUPLING (TYP)

100mm PVC SDR 28 PIPE FOR PERFORATED PIPE CONNECTION

MAINTAIN EXISTING LAWN BASIN (TYP) UNLESS OTHERWISE INDICATED

EXISTING DETENTION TANK

OUTDOOR PLAY AREA

PROPOSED CHILD CARE BUILDING

WEST MALL

NOTES:

- PIPE BEDDING MATERIAL SHALL BE PLACED FROM THE BOTTOM OF THE TRENCH TO MINIMUM 300mm ABOVE PIPE AND CONFORM TO MMCD STD DRAWING G4. ALL BACKFILL MATERIALS SHALL BE IN ACCORDANCE WITH MMCD SECTION 31 05 17.
- WATERMAIN TESTING SHALL BE CONDUCTED BY CONTRACTOR IN ACCORDANCE WITH UBC TECHNICAL GUIDELINES SECTION 33 10 00 AND MMCD SECTION 33 11 01. TESTING TO BE COMPLETED AFTER BACKFILLING COMPLETE AND RESULTS PROVIDED TO ENGINEER FOR SUBMISSION TO UBC UTILITIES. WATERMAIN TIE-IN WILL NOT BE PERMITTED UNTIL RESULTS ARE ACCEPTED BY UBC UTILITIES.
- CCTV VIDEO INSPECTION OF EXISTING STORM AND SANITARY SEWERS ARE REQUIRED BEFORE AND AFTER CONSTRUCTION AND SUBMITTED TO UBC UTILITIES.
- JOINT RESTRAINTS, WHERE REQUIRED, TO BE:
 - EBAA MEGALUG SERIES 1100HD AT PIPE-TO-PIPE JOINTS
 - EBAA MEGALUG SERIES 1100 AT PIPE-TO-FITTING JOINTS
 JOINT RESTRAINTS TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR TO PROVIDE RED LINE MARK-UP OF THE JOINT RESTRAINT LOCATIONS AND ROD LENGTHS.
- WATERMAIN SHUTDOWNS MUST BE REQUESTED IN WRITING ADHERING TO UBC'S CAMPUS-WIDE STANDARD SHUTDOWN PROCEDURES. OBTAIN A SERVICE SHUTDOWN REQUEST FORM AND UTILITY SERVICE ACTIVATION REQUEST FORM FROM: [HTTP://WWW.BUILDINGOPERATIONS.UBC.CA/RESOURCES/POLICIES-PROCEDURES-FORMS/](http://www.buildingoperations.ubc.ca/resources/policies-procedures-forms/)
- OPERATING VALVES ON THE WATER DISTRIBUTION SYSTEM SHALL ONLY BE PERFORMED BY UBC ENERGY & WATER SERVICES.
- CONNECTIONS TO EXISTING WATERWORKS SYSTEM MAY BE MADE BY CONTRACTOR WITH APPROVED DESIGN AND PROPER NOTIFICATION.
- NOTIFY MECHANICAL DISTRIBUTION ENGINEER (FAX: 604-822-8833) AND UBC ENERGY & WATER SERVICES HEAD PLUMBER (FAX: 604-822-4416) WITH A MINIMUM 24 HOURS IN ADVANCE OF SCHEDULED CONNECTION.
- MAKE CONNECTION IN PRESENCE OF MECHANICAL DISTRIBUTION ENGINEER OR UBC ENERGY & WATER SERVICES HEAD PLUMBER. TO PREVENT DAMAGE TO EXISTING UTILITIES. EXCAVATE THE LAST 300mm OVER UTILITY BY HAND.

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By: 
Date: March 18, 2025

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NO.	DATE	REVISIONS	BY	APPROVED
13	25-02-04	Issued for Building Permit R1	HG	GW
12	25-01-10	Issued for DP Amendment 2	HG	GW
11	25-01-08	Building Permit Second Submission	PS	GW
10	24-11-06	Building Permit First Submission	GW	GW
9	24-10-16	Issued for 50% CD Costing	PS	PS
8	24-10-02	Revised Service Connections	HG	GW
7	24-08-21	Revised Storm Sewer	HG	GW
6	24-08-09	Revised As Per UBC Comments	HG	GW
5	24-07-23	Issued for DP Amendment 1	PS	GW

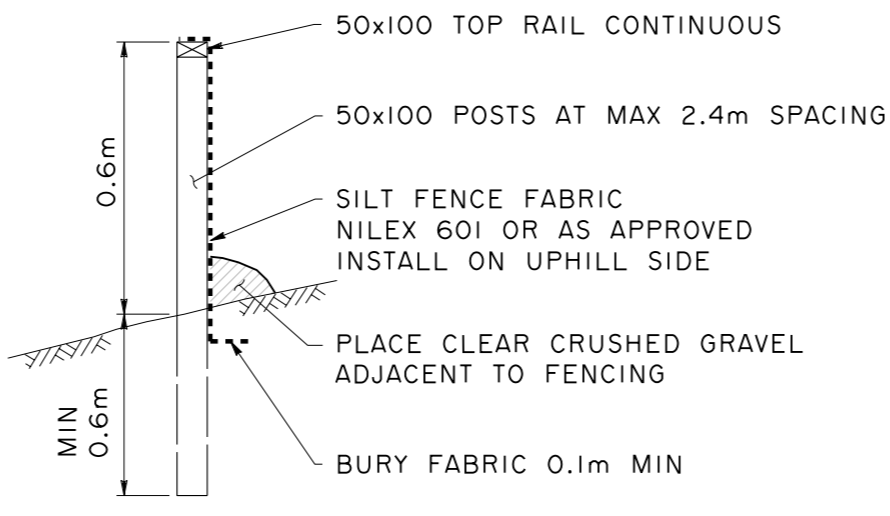
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Project	Orchard Child Care

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Design	G. Wood
Drawn	H. Godel
Plot Date	25/02/05
Plot Time	11:09:35 AM

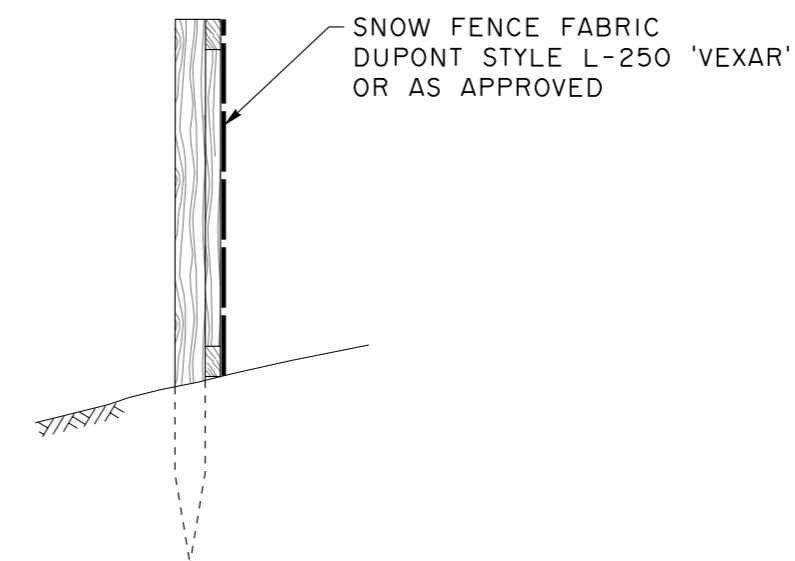
Servicing Plan	
Drawing Number	AF46-001
Revision	13

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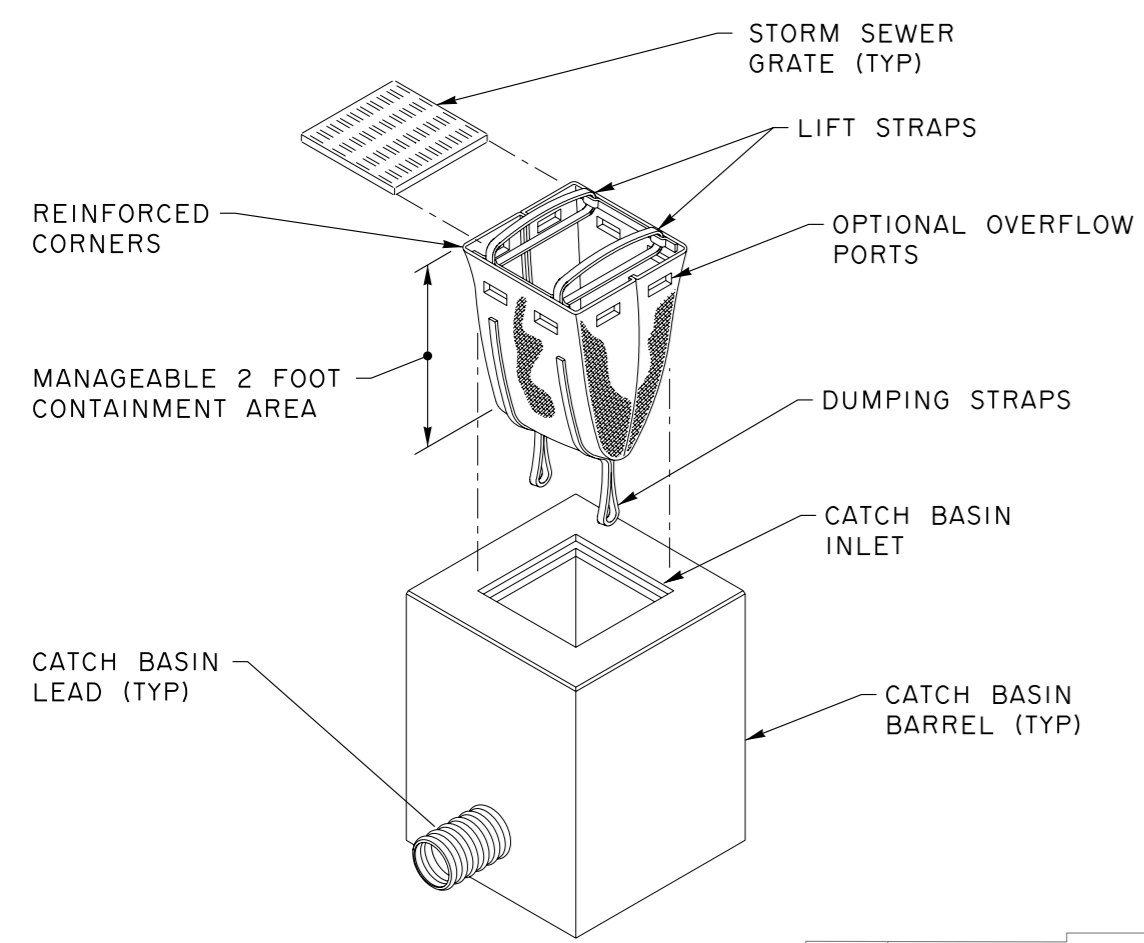
	EXISTING	DESIGN
CURB AND GUTTER	—	—
STORM SEWER	— 300 STM —	—
SANITARY SEWER	— 375 SAN —	—
WATERMAIN	— 250 WM —	—
STREETLIGHTING	☀	☀
STANDARD CATCH BASIN	☐	☐
AREA DRAIN	▨	▨
LAWN DRAIN	○	○
CLEAN OUT	○ CO	○
MANHOLE	○	●
GATE VALVE	⊗	⊗
CAP OR PLUG	⊕	⊕
STREETLIGHT POLE	☀	☀
TREE	☁	☁



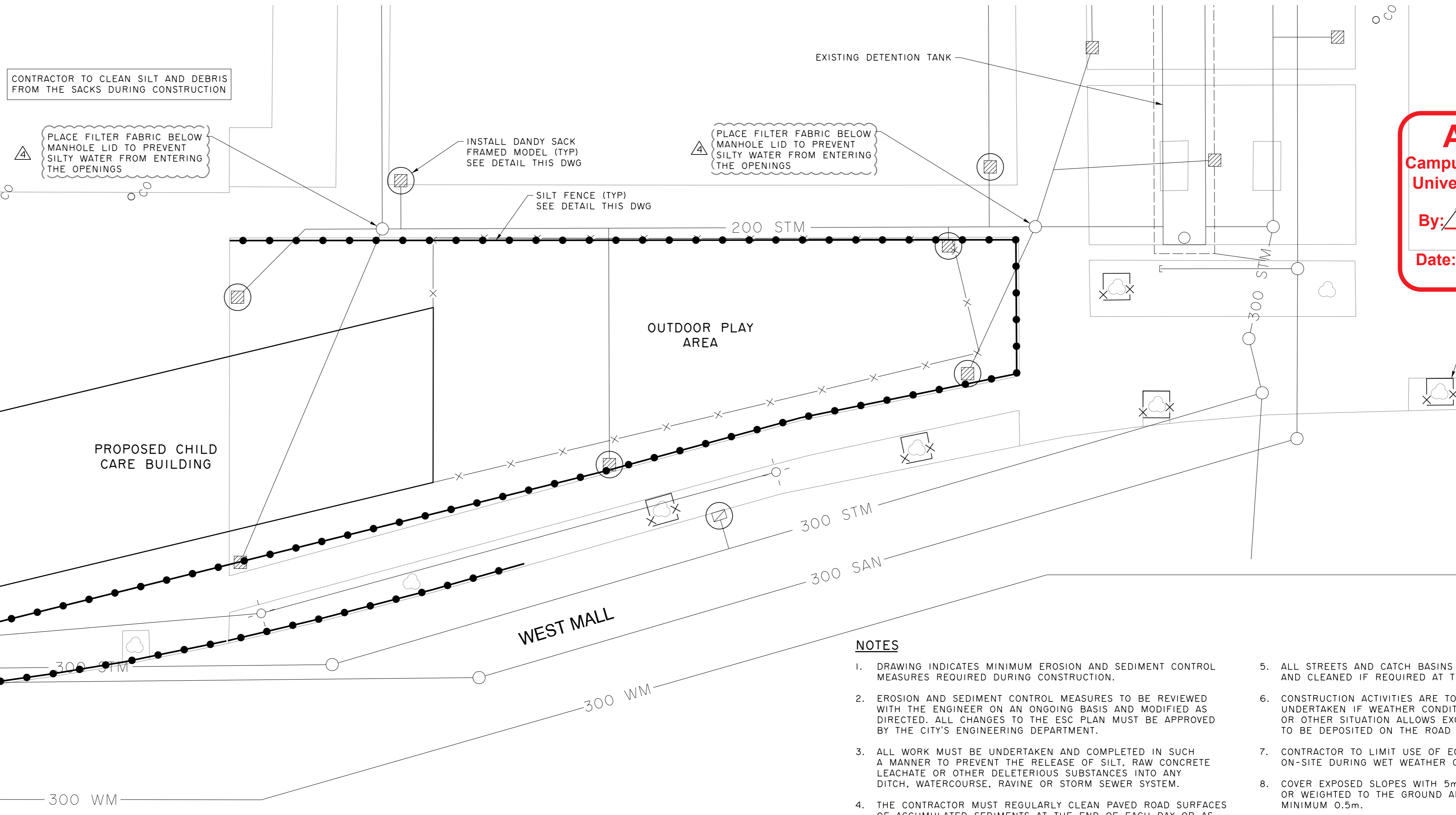
SILT FENCE DETAIL
1:25



SNOW FENCE DETAIL
1:25



DANDY SACK FILTRATION
NTS



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University of British Columbia

By:

Date: **March 18, 2025**

NOTES

- DRAWING INDICATES MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED DURING CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL MEASURES TO BE REVIEWED WITH THE ENGINEER ON AN ONGOING BASIS AND MODIFIED AS DIRECTED. ALL CHANGES TO THE ESC PLAN MUST BE APPROVED BY THE CITY'S ENGINEERING DEPARTMENT.
- ALL WORK MUST BE UNDERTAKEN AND COMPLETED IN SUCH A MANNER TO PREVENT THE RELEASE OF SILT, RAW CONCRETE LEACHATE OR OTHER DELETERIOUS SUBSTANCES INTO ANY DITCH, WATERCOURSE, RAVINE OR STORM SEWER SYSTEM.
- THE CONTRACTOR MUST REGULARLY CLEAN PAVED ROAD SURFACES OF ACCUMULATED SEDIMENTS AT THE END OF EACH DAY OR AS REQUIRED. NO SOIL, SAND OR OTHER MATERIAL WITH A HIGH SEDIMENT CONTENT SHALL BE DEPOSITED OR PILED OUTSIDE OF THE PROPERTY BOUNDARIES, PARTICULARLY ON PAVED ROAD SURFACES. STREETS ARE TO BE SWEEPED, FLUSHING IS STRICTLY PROHIBITED.
- ALL STREETS AND CATCH BASINS ARE TO BE INSPECTED DAILY AND CLEANED IF REQUIRED AT THE END OF EACH WORK DAY.
- CONSTRUCTION ACTIVITIES ARE TO BE STOPPED AND MAINTENANCE UNDERTAKEN IF WEATHER CONDITIONS OR GRAVEL ACCESS PADS, OR OTHER SITUATION ALLOWS EXCESSIVE CONSTRUCTION MATERIAL TO BE DEPOSITED ON THE ROAD SURFACES.
- CONTRACTOR TO LIMIT USE OF EQUIPMENT/HEAVY MACHINERY ON-SITE DURING WET WEATHER CONDITIONS.
- COVER EXPOSED SLOPES WITH 5mil POLY. POLY TO BE STAKE OR WEIGHTED TO THE GROUND AND OVERLAPPED AT SEAMS BY MINIMUM 0.5m.

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4	25-02-04	Issued for Building Permit R1	HG	GW
3	25-01-10	Issued for DP Amendment 2	HG	GW
2	25-01-08	Building Permit Second Submission	PS	GW
1	24-10-31	Building Permit First Submission	HG	GW

Client: **UBC Properties Trust**

Project: **Orchard Child Care**

Scale:

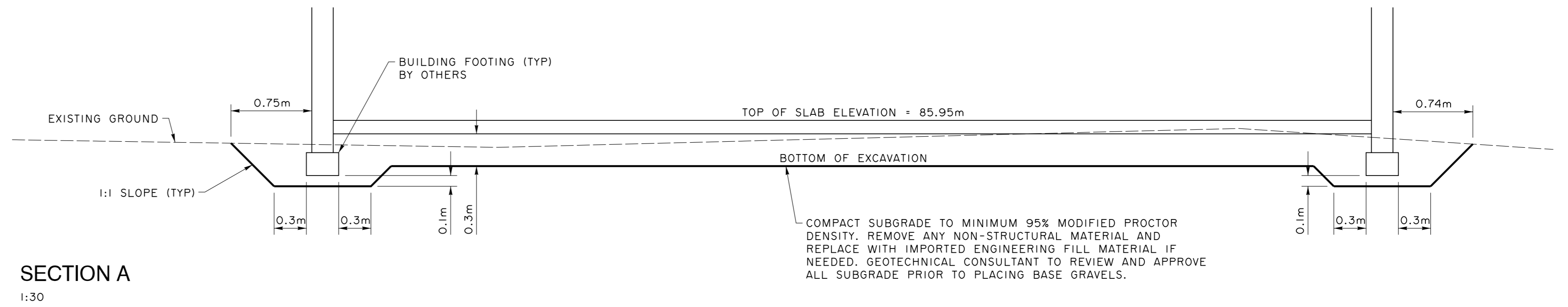
Design: **G. Wood**
Drawn: **H. Godel**
Plot Date: **25/02/05**
Plot Time: **11:10:43 AM**

Erosion and Sediment Control Plan

Drawing Number: **AF46-002**
Revision: **4**

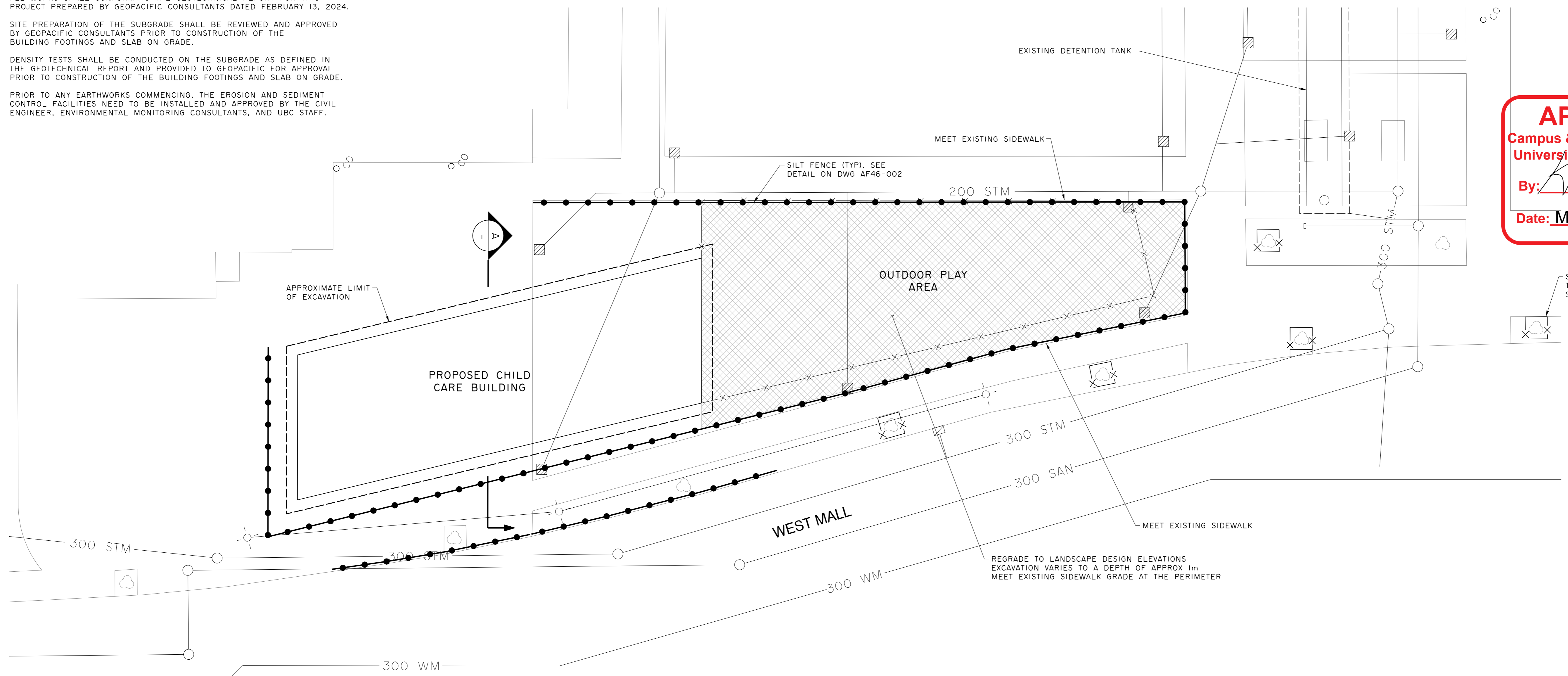
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	EXISTING
CURB AND GUTTER	
STORM SEWER	
SANITARY SEWER	
WATERMAIN	
STREETLIGHTING	
STANDARD CATCH BASIN	
AREA DRAIN	
CLEAN OUT	
MANHOLE	
CAP OR PLUG	
STREETLIGHT POLE	
TREE	



NOTES

1. ALL WORKS SHALL CONFORM TO THE GEOTECHNICAL REPORT FOR THIS PROJECT PREPARED BY GEOPACIFIC CONSULTANTS DATED FEBRUARY 13, 2024.
2. SITE PREPARATION OF THE SUBGRADE SHALL BE REVIEWED AND APPROVED BY GEOPACIFIC CONSULTANTS PRIOR TO CONSTRUCTION OF THE BUILDING FOOTINGS AND SLAB ON GRADE.
3. DENSITY TESTS SHALL BE CONDUCTED ON THE SUBGRADE AS DEFINED IN THE GEOTECHNICAL REPORT AND PROVIDED TO GEOPACIFIC FOR APPROVAL PRIOR TO CONSTRUCTION OF THE BUILDING FOOTINGS AND SLAB ON GRADE.
4. PRIOR TO ANY EARTHWORKS COMMENCING, THE EROSION AND SEDIMENT CONTROL FACILITIES NEED TO BE INSTALLED AND APPROVED BY THE CIVIL ENGINEER, ENVIRONMENTAL MONITORING CONSULTANTS, AND UBC STAFF.



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NO.	DATE	REVISIONS	BY	APPROVED
1	25-01-30	Issued for Building Permit R1	HG	GW

Client: **UBC Properties Trust**

Project: **Orchard Child Care**

Scale:

Design: **G. Wood**
 Drawn: **H. Godel**

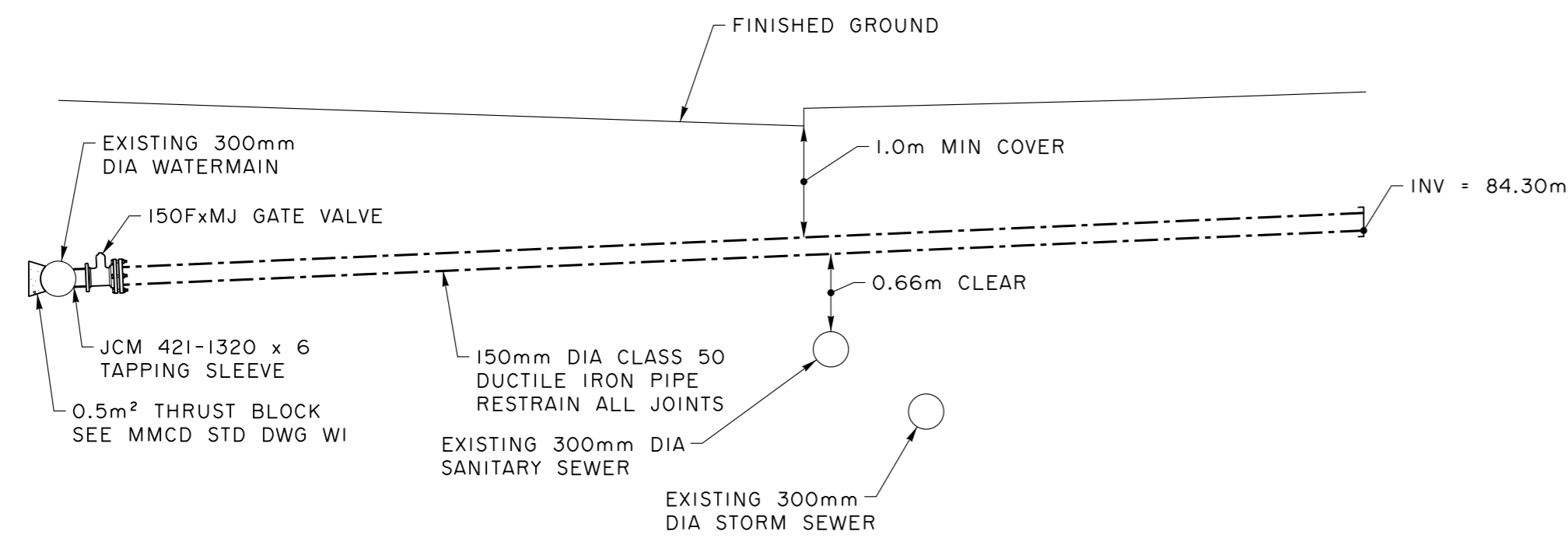
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 Plot Time: **11:11:35 AM**

Excavation Plan

Drawing Number: **AF46-004**

Revision: **1**

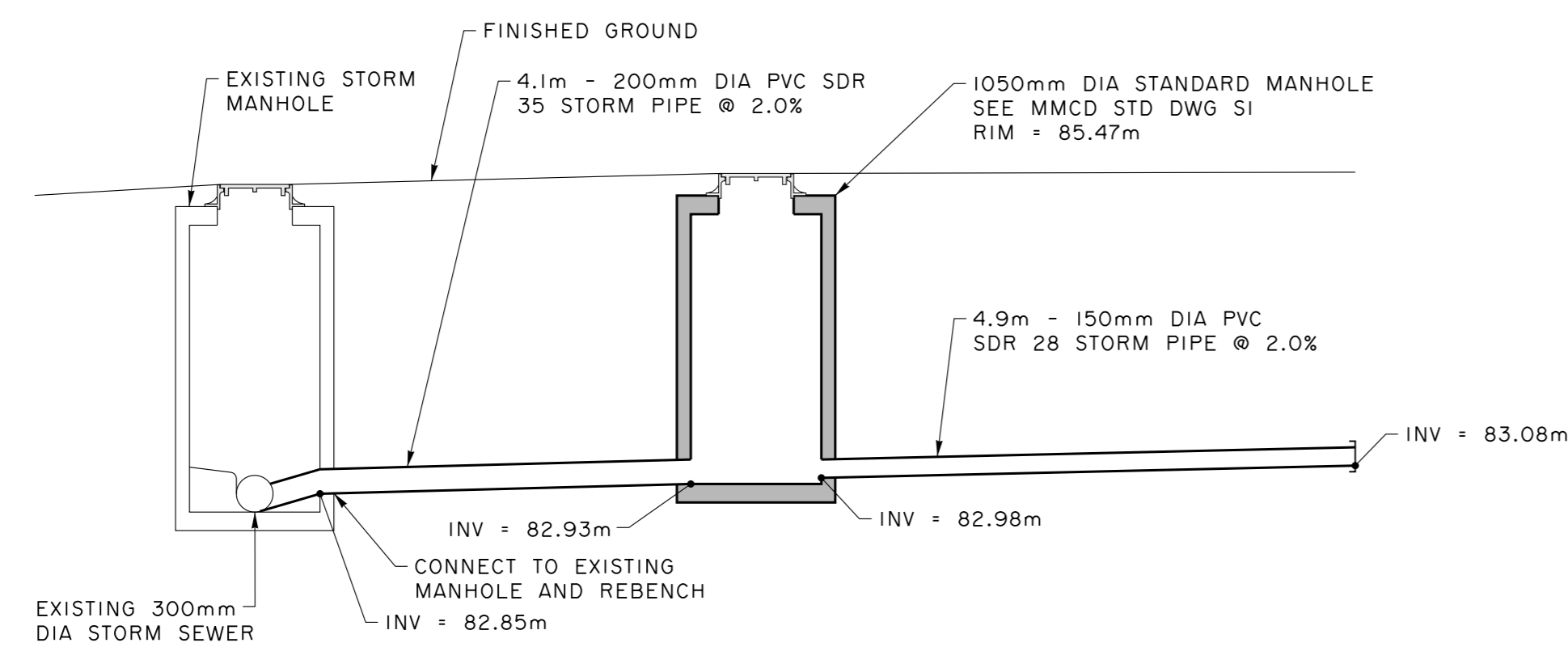
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WATER SERVICE CONNECTION

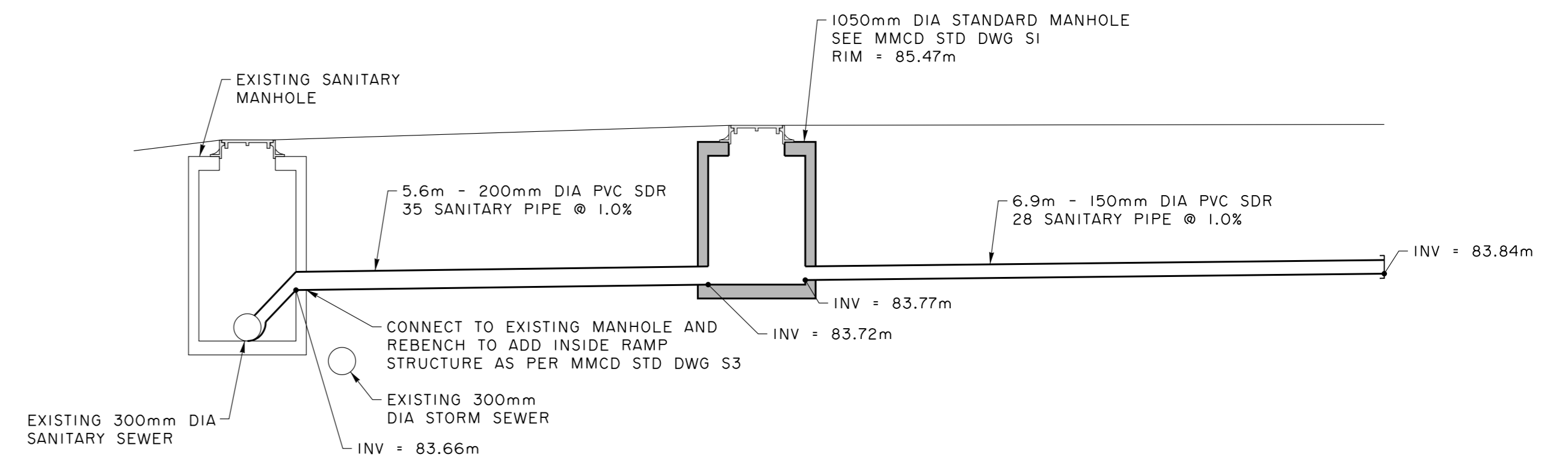
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STORM SERVICE CONNECTION

1:50



SANITARY SERVICE CONNECTION

1:50

<p>InterCAD CONSULTING ENGINEERS 1111 West 81st Avenue Vancouver, BC V6H 1C5 Tel 604.739.7707 / Fax 604.739.7727</p>					Client	UBC Properties Trust		Scale	AS SHOWN		Title	Servicing Profiles											
					Project	Orchard Child Care		Design	G. Wood	Drawn	H. Godel	Plot Date	25/02/05	Plot Time	11:12:18 AM	Drawing Number	AF46-005	Revision	1				
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NO.	DATE	REVISIONS	BY	APPROVED																			
1	25-02-04	Issued for Building Permit R1																					

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UBC CHILD CARE AT ORCHARD COMMONS

LIGHTING LEVEL CALCULATION REPORT



APPROVED

Campus & Community Planning
 University of British Columbia

By: _____
 Date: March 18, 2025

Prepared for:			
DIONA FONG, UBC PROPERTIES			
200-3313 SHURUM LANE, VANCOUVER, BC V6S 0C8			
Project No.	Date	Authored by	Reviewed by
23-508	February 5, 2025	Omer Karakuzulu, Electrical Designer	Mo Khan, Pr Eng BSc.Eng. (SA)

Permit to Practice No: 1001261

PROFESSIONAL SEAL & SIGNATURE

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1.0 INTRODUCTION3

2.0 SIMULATION RESULT3

3.0 CONCLUSION.....3

APPENDIX-A4

APPENDIX-B7



1.0 INTRODUCTION

This Lighting Level Calculation Report has been prepared by O'M Engineering in accordance with applicable building codes and UBC standards for the UBC Orchard Child Care facility at 2378 West Mall, Vancouver, BC. The purpose of this report is to address the comments received on the Development Permit (DP) submission regarding the lighting levels in the walkway on the northwest side of the new daycare building, located between the daycare and Orchard Commons.

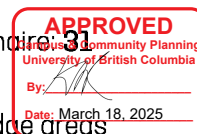
To resolve this conflict, a lighting simulation was conducted to evaluate the illuminance levels in this area. The results of the simulation are presented in the following sections.

2.0 SIMULATION RESULT

The lighting simulation was performed using the Type L luminaire, model Luminis SN805-L1L8-30K-120-SWK-MST, which is installed at a height of 6 feet above the finished ground. Refer to Appendix A for more information about the chosen luminaire.

The simulation results are summarized as follows:

- Average illuminance in the walkway area: **7.91 lux**
- Maximum illuminance directly beneath the luminaire: **89.1 lux**
- Average illuminance within 2.5 meters from the wall and 5 meters to the left and right of the luminaire: **31 lux**



According to the UBC Vancouver Campus Plan (VCP), the required average illuminance for exterior edge areas should be **10 lux or less**. Refer to Appendix B for the simulation report.

The simulation confirms that the installed lighting meets the required levels, ensuring sufficient illumination for pedestrian safety while remaining within regulatory limits.

3.0 CONCLUSION

Based on the lighting simulation, the installed Luminis SN805-L1L8-30K-120-SWK-MST luminaires provide adequate lighting for the walkway between the daycare building and Orchard Commons. The measured average illuminance of 7.91 lux complies with the UBC Vancouver Campus Plan (VCP) requirement of 10 lux or less for exterior edge areas.

As a result, the current lighting installation is deemed suitable, resolving the conflict noted in the DP submission.

END OF REPORT

APPENDIX-A

LUMINIS

SN805
SCENA
WALL

PROJECT NAME: _____


QUANTITY: _____

TYPE: _____

ORDERING CODE: _____




- ① Corrosion resistant diecast aluminum housing.
- ② Integrated standard 0-10V driver.
- ③ Precision LEDs with individual lenses for downlight asymmetric light.
- ④ Clear tempered glass.
- ⑤ Sealed enclosure with durable gaskets.
- ⑥ All hardware in stainless steel.



SN805



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MATERIALS

Scena is made of aluminum diecast offering exceptional precision and durability. The main housing is perfectly sealed with durable gaskets. The integrated LED light module and 0-10V driver are protected by a clear tempered glass. With a distinctive look and perceptible quality, Scena is designed for uniform lighting performance.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: <https://www.luminis.com/technical/warranty/>

ELECTRICAL DRIVER

Standard driver is 0-10V dimming-ready (min. dim 10%)* with 120-277 multi-volt compatibility, operating temperature range of -30°C/-22°F to 60°C/140°F, over current and output short circuit protection.

MOUNTING

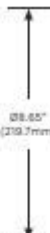
Scena is designed for ease of access and installation. The mounting plate is designed to fit on a 4" (102mm) octagonal electrical box using 3.5" (89mm) C/C mounting holes.

LED LIGHT ENGINE


Offered in 2700K, 3000K, 3500K & 4000K / 80CRI. 70% LED lumen maintenance at 60,000 hours (L70/B50) based on IESNA LM-80-08 LED extrapolated life, calculated per IESNA TM-21-21. Optional true amber LED for turtle sensitive areas. Wavelengths: 609nm to 620nm.


MEASUREMENTS

Maximum weight: 3.6lbs (1.6kg)



88.65"
(2257mm)





3.77"
(95.7mm)

FINISH

Five-stage preparation process includes preheating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

CERTIFICATION

UL certified to Canadian and U.S. safety standards. Certified for use in wet locations. Rated IP65. Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Actual performance may differ as a result of end-user environment and application.

* LUXGA light output dims to min. 1% / dim-to-off

LUMINIS.COM

Toll free: (866) 586-4647 | Fax: (514) 683-8872 | Email: info@luminis.com
 260 Labrosse, Pointe-Clair (QC) Canada H9R 5L5


SN805
Rev. 02/09/24

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LUMINIS[®]

SN805
SCENA
WALL

ORDERING CODE

*SERIES	*LIGHT OUTPUT	*CCT ¹	*VOLTAGE	CONDUIT COVER
SN805 	<u>Static White</u>	27K 2700K	120 120V 277 277V MVOLT 120V-277V	SWK Decorative cover for 3/4" conduit junction box
	L1L5 553 lm / 12w	30K 3000K		
	L1L8 801 lm / 19w	35K 3500K		
	<u>True Amber</u>	40K 4000K		
	L1LK2A 217 lm / 7w ¹	AMB Wavelengths: 609nm to 620nm		

Delivered lumens calculated at 4000K/80CRI except for amber. Typical power consumption. Refer to LCF table for outputs at other CCTs.

PHOTOCELL	*FINISH	ENVIRONMENT
PH Photocell	BKT Jet black	MG Marine grade paint ⁵ NT Natatorium suitable ⁶
	BZT Bronze	
	CHT Champagne	
	DGT Gun metal	
	GRT Titanium gray	
	MST Matte silver	
	SGT Steel gray	
	WHT Snow white	
	CMC Custom matched color ⁴	
	RAL RAL color ⁴	

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OPTION DETAILS



AMB
True amber LED for turtle sensitive areas. It protects local habitat and promotes sustainability.



PH
Button-size photocell mounted on top casted housing. Instant turn-on, standard 5-10 second turn-off time delay.



SWK
Surface (wall) mounting option for Ø4" weatherproof surface junction box (3/4" conduit trade size). Weatherproof junction box, conduit and connectors by others. The SWK option adds 1.65" to the total depth of the product. (Not ADA compliant).

NOTES

- *- Denotes a required field
- 1- Available only with AMB.
- 2- For IIDA certification compliance, luminaires must be ordered with 3000K or warmer.
- 3- Contact factory to coordinate custom matching color.
- 4- Specify RAL number.
- 5- Marine grade paint for harsh, coastal environment and exposure to salt water. Additional delay required.
- 6- Available only in WHT and BKT.

LUMINIS.COM

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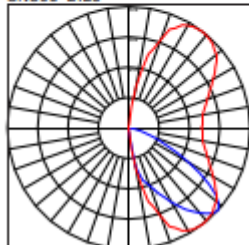
Page 2 of 3

LUMINIS[®]

SN805
SCENA
WALL

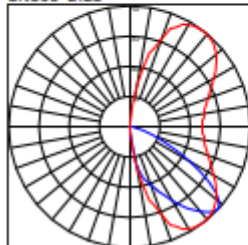
TYPICAL PHOTOMETRY SUMMARY

SN805-L1L5



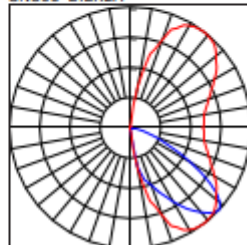
Total Lms: 553 Lumens
Total Input Watts: 12.2 W
Efficacy: 45.5 Lumens/Watt
CCT/CRI: 4000K/80
Max. Candela: 509.22 @ 52.5°H/47.5°V
BUG: B0-U0-G0

SN805-L1L8



Total Lms: 801 Lumens
Total Input Watts: 19 W
Efficacy: 43 Lumens/Watt
CCT/CRI: 4000K/80
Max. Candela: 738 @ 52.5°H/47.5°V
BUG: B0-U0-G0

SN805-L1LK2A



Total Lms: 217 Lumens
Total Input Watts: 6.8 W
Efficacy: 32 Lumens/Watt
CCT/CRI: Not applicable
Max. Candela: 199.26 @ 52.5°H/45°V
BUG: B0-U0-G0

LUMEN CONVERSION FACTOR (LCF)		
CCT	CRI	LCF
2700K	80	0.91
3000K	80	0.92
3500K	80	0.96
4000K	80	1.00

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All Photometry shown use the 80CRI 4000K LEDs. Tested with jet black (BK) paint.
 Please visit our web site www.luminis.com for complete I.E.S. file.

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APPENDIX-B

Calculation Summary

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_2	Illuminance	Lux	7.91	89.1	0.0	N.A.	N.A.



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